

TOWN OF WELLESLEY



MASSACHUSETTS

ZONING BOARD OF APPEALS

TOWN HALL • 525 WASHINGTON STREET • WELLESLEY, MA 02482-5992

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ZBA 2003-46  
Petition of Matthew and Lorna Haywood  
91 Parker Road

Pursuant to due notice, the Special Permit Granting Authority held a Public Hearing on Thursday, June 19, 2003 at 7:30 p.m. in the Great Hall at the Town Hall, 525 Washington Street, Wellesley, on the petition of MATTHEW AND LORNA HAYWOOD requesting a Special Permit/Finding pursuant to the provisions of Section XVII and Section XXV of the Zoning Bylaw that the demolition of their existing nonconforming deck and construction of a one-story 15.2 foot by 35.5 foot addition with less than the required left side yard setback to their nonconforming dwelling with less than the required left side yard setback, at 91 PARKER ROAD, in a 10,000 square foot Single Residence District, shall not be substantially more detrimental to the neighborhood than the existing nonconforming structure.

On June 2, 2003, the petitioners filed a request for a hearing before this Authority, and thereafter, due notice of the hearing was given by mailing and publication.

Presenting the case at the hearing was Matthew Haywood, who said they would like to remove an existing deck built in 1991, and add a one-story addition consisting of a side entrance, an eating area and a family room expansion. The garage, which was pre-existing when the house was built in the '40's, is nonconforming in regard to the left side line. The addition would be less nonconforming. The affected left side yard abutter has sent a letter in support of the petition.

The Board commented that the houses in the neighborhood appear to be larger than that of the Haywoods. Mr. Haywood agreed, and added that the roof line of the one-story addition would be the same height as that of the existing garage.

The Board noted that the Wetlands Protection had issued a Determination of Applicability, which states that an Order of Conditions is not necessary.

The Board stated that the Planning Board had no objection to the granting of the request.

No other person present had any comment on the petition.

Statement of Facts

The subject property is located at 91 Parker Road, in a 10,000 square foot Single Residence District, on an 18,176 square foot lot and has a minimum left side yard clearance of 14.9 feet.

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The petitioners are requesting a Special Permit/Finding to demolish their existing nonconforming deck and construct a one-story 15.2 foot by 35 foot addition which will have a minimum left side yard clearance of 17 feet.

A plot plan dated May 10, 2003, stamped by John J. Caffrey, Registered Professional Land Surveyor; Existing and Proposed Floor Plans and Elevations prepared by Jonathan Haywood; and photographs were submitted.

A letter in support of the petition was received from Louis and Jean Mountzoures, 93 Parker Road.

On June 5, 2003, the Wetlands Protection Committee issued a Determination of Applicability stating that the Haywoods did not have to file a Notice of Intent for the project.

On June 10, 2003, the Planning Board reviewed the petition and had no objection to the granting of the request.

Decision

This Authority has made a careful study of the materials submitted and the information presented at the hearing. The subject dwelling does not conform to the current Zoning Bylaw, as noted in the foregoing Statement of Facts.

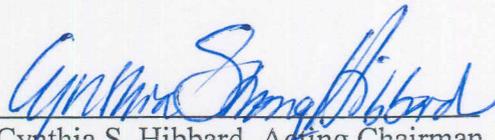
It is the finding of this Authority that the proposed demolition of the nonconforming deck and construction of the one-story 15.2 foot by 35.5 foot addition, with a minimum left side yard clearance of 17 feet, shall not be substantially more detrimental to the neighborhood than the existing nonconforming structure as the one-story addition shall neither intensify the existing nonconformance, nor create new nonconformity.

Therefore, a Special Permit is granted, as voted unanimously by this Authority at the Public hearing, for demolition of the deck and construction of the one-story addition in accordance with the submitted plot plan and construction drawings.

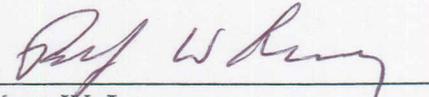
The Inspector of Buildings is hereby authorized to issue a permit for construction upon receipt and approval of a building application and detailed construction plans.

APPEALS FROM THIS DECISION,  
IF ANY, SHALL BE MADE PURSUANT  
TO GENERAL LAWS, CHAPTER 40A,  
SECTION 17, AND SHALL BE FILED  
WITHIN 20 DAYS AFTER THE DATE  
OF FILING OF THIS DECISION IN  
THE OFFICE OF THE TOWN CLERK.

Cc: Planning Board  
Inspector of Buildings  
Wetlands Protection Committee

  
Cynthia S. Hibbard, Acting Chairman

  
Robert A. Bastille

  
Robert W. Levy

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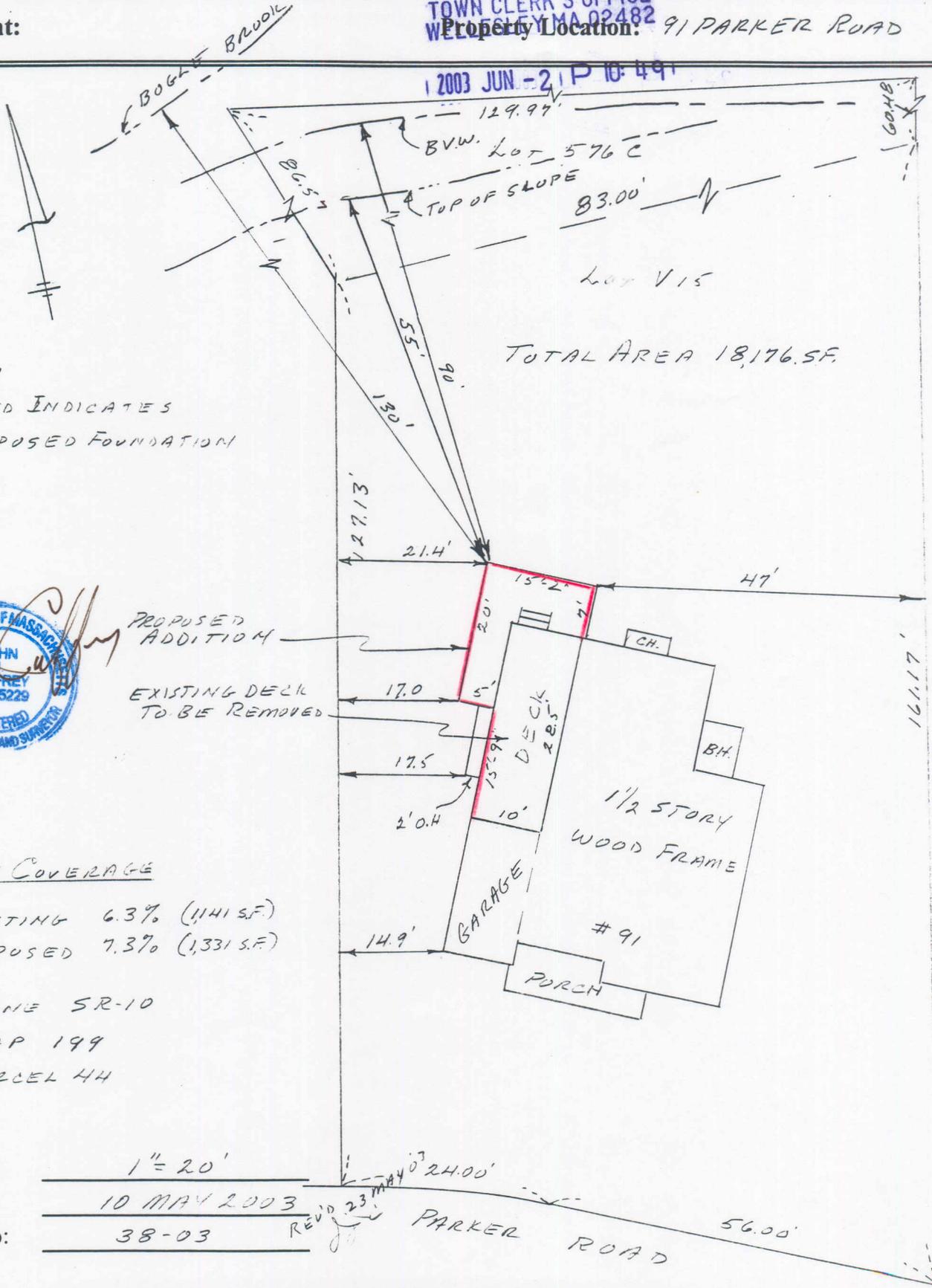
# PLOT PLAN FOR PROPERTY IN WELLESLEY, MA

Applicant:

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WELLESLEY, MA 02482

Property Location: 91 PARKER ROAD

2003 JUN - 21 P 10:49



NOTE:

RED INDICATES  
PROPOSED FOUNDATION

TOTAL AREA 18,176.5F.



PROPOSED ADDITION

EXISTING DECK TO BE REMOVED

LOT COVERAGE

EXISTING 6.3% (1,141 S.F.)  
PROPOSED 7.3% (1,331 S.F.)

ZONE SR-10

MAP 199

PARCEL 44

Scale: 1" = 20'

Date: 10 MAY 2003

File No: 38-03

REV'D 23 MAY 03  
PARKER ROAD 56.00'

## CAFFREY ASSOCIATES, INC.

24 Granison Road, Weston, MA 02493

(781) 891-9222