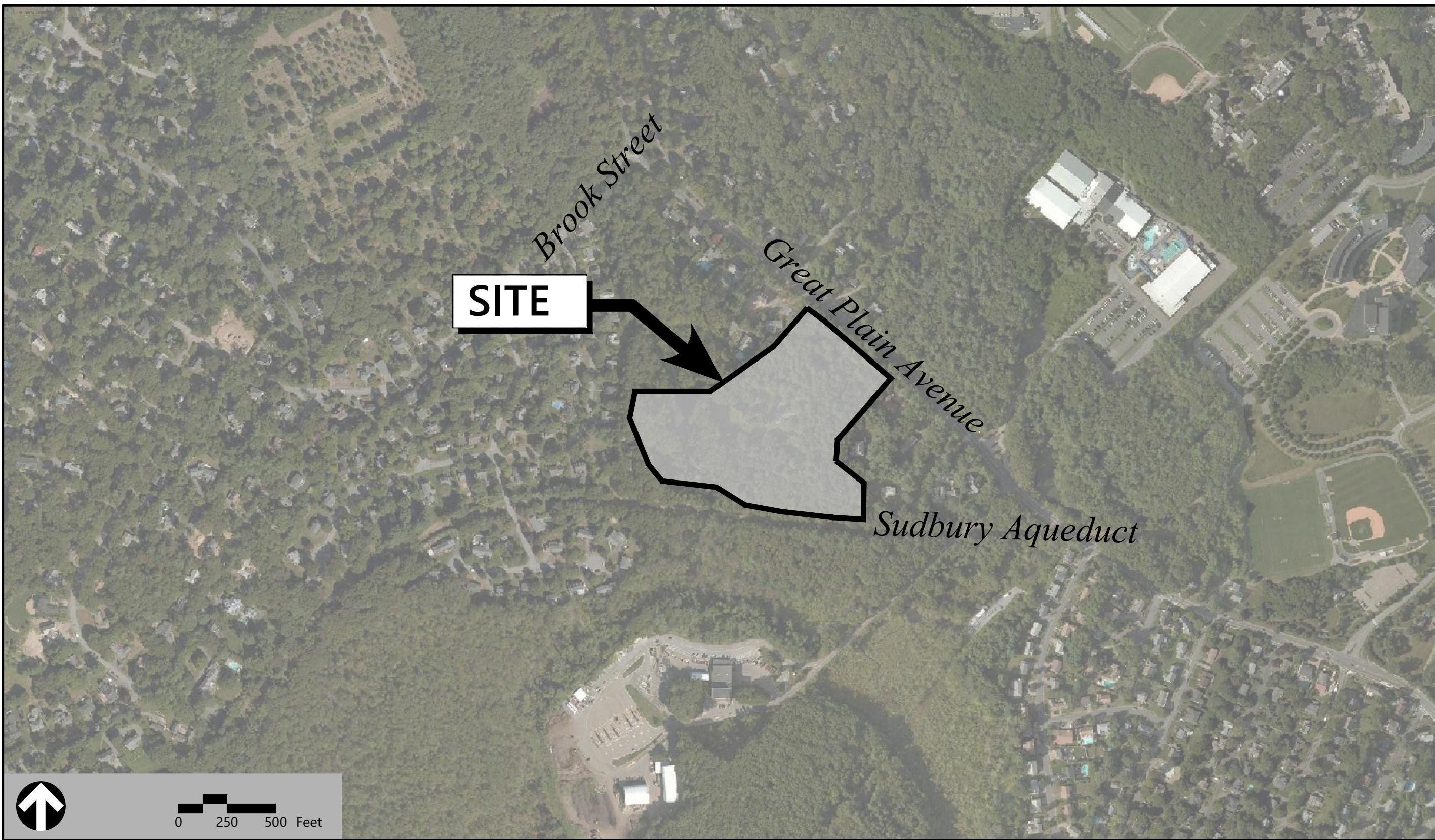


Site Plans

Issued for	Comprehensive Permit Application
Date Issued	February 16, 2018
Latest Issue	August 30, 2018

Fieldstone Way

135 Great Plain Avenue
Wellesley, Massachusetts



Applicant

Wellesley Residential, LLC.
80 Beharrell Street
Concord, MA 01742

Sheet Index

No.	Drawing Title	Latest Issue
C-1	Legend And General Notes	August 30, 2018
C-2	Layout and Materials Plan	August 30, 2018
C-3	Grading and Drainage Plan	August 30, 2018
C-4	Utility Plan	August 30, 2018
C-5	Erosion and Sediment Control Plan	August 30, 2018
C-6.1-6.3	Site Details	August 30, 2018

Reference Drawings

No.	Drawing Title	Latest Issue
	Existing Conditions Plan	January 5, 2015
	Existing Conditions Plan	January 5, 2015

Surveyor

CHA
101 Accord Park Drive
Norwell, MA 02061
781.982.5400

vhb.com



101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770

Architect

Union Studio
140 Union Street
Providence, RI 02903
401.272.4724

Landscape Architect

Ryan Associates
144 Moody Street
Building 4
Waltham, MA 02453
781.314.0401

Assessor's Map: 68
Lot: 68-1





101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770

Notes

1. DRAINAGE
 - 1.1. STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE (HDPE).
 - 1.2. PIPE INVERTS WILL BE SET TO MEET MINIMUM COVER, SLOPE AND CAPACITY REQUIREMENTS.
 - 1.3. ROOF DRAINS ARE TO BE ROUTED TO THE DETENTION AND INFILTRATION SYSTEMS AS INDICATED IN THE STORMWATER MANAGEMENT REPORT.
 - 1.4. REFER TO THE PROJECT'S STORMWATER MANAGEMENT REPORT FOR ADDITIONAL INFORMATION ABOUT THE DRAINAGE COLLECTION AND TREATMENT SYSTEM AND CONFORMANCE TO THE STATE STORMWATER STANDARDS.



0 20 40 80 Feet

Fieldstone Way

135 Great Plain Avenue
Wellesley, Massachusetts

No.	Revision	Date	Appvd.
1	Layout Updates	8/30/18	CRQ

Designed by **WNM** Checked by **CRQ**
Issued for

Comprehensive Permit February 16, 2018
Application

Not Approved for Construction

Drawing title

Grading and Drainage Plan

Drawing Number

C-3

3

8

Project Number

13936.00



101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770

Notes

1. DRAINAGE
 - 1.1. STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE (HDPE).
 - 1.2. PIPE INVERTS WILL BE SET TO MEET MINIMUM COVER, SLOPE AND CAPACITY REQUIREMENTS.
 - 1.3. ROOF DRAINS ARE TO BE Routed TO THE DETENTION AND INFILTRATION SYSTEMS AS INDICATED IN THE STORMWATER MANAGEMENT REPORT.
 - 1.4. REFER TO THE PROJECT'S STORMWATER MANAGEMENT REPORT FOR ADDITIONAL INFORMATION ABOUT THE DRAINAGE COLLECTION AND TREATMENT SYSTEM AND CONFORMANCE TO THE STATE STORMWATER STANDARDS.
2. SEWER
 - 2.1. SANITARY SEWER PIPES SHALL BE POLYVINYL CHLORIDE (PVC) SDR-35 SEWER PIPE.
 - 2.2. SEWER PIPE INVERTS WILL BE SET TO MEET MINIMUM COVER, SLOPE AND CAPACITY REQUIREMENTS.
3. WATER PIPES SHALL BE CLASS 52 CEMENT LINED DUCTILE IRON.
4. ELECTRIC, GAS AND TELECOM STRUCTURES AND PIPE/CONDUIT SHALL MEET THE INDIVIDUAL UTILITY PROVIDER REQUIREMENTS.



Fieldstone Way

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Wellesley, Massachusetts

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Application
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Drawing title **Utility Plan**

Drawing Number

C-4

4 8

Project Number

13936.00

Erosion and Sediment Control Notes

THE EROSION CONTROL MEASURES ON THIS PLAN SHOW TYPICAL APPLICATIONS TO PREVENT SEDIMENTATION AND EROSION, AND ARE PROVIDED AS A STARTING POINT FOR CONTRACTOR'S STORMWATER POLLUTION PREVENTION PLAN (SWPPP).

General Requirements:

1. THIS PROJECT DISTURBS MORE THAN ONE ACRE OF LAND AND FALLS WITHIN THE NPDES CONSTRUCTION GENERAL PERMIT (CGP) PROGRAM AND EPA JURISDICTION. PRIOR TO THE START OF CONSTRUCTION, CONSTRUCTION MANAGER IS TO FILE CGP NOTICE OF INTENT WITH THE EPA AND PREPARE A STORMWATER POLLUTION PREVENTION PLAN IN ACCORDANCE WITH THE NPDES REGULATIONS. CONSTRUCTION MANAGER SHALL CONFIRM THE OWNER HAS ALSO FILED A NOTICE OF INTENT WITH THE EPA.
2. THE CONTRACTOR IS RESPONSIBLE FOR THE IMPLEMENTATION, INSPECTION, AND REPAIR OF THE EROSION CONTROLS. THE OWNER SHALL BE RESPONSIBLE FOR INSPECTION AND OPERATION OF THE STORM WATER MANAGEMENT SYSTEM UPON COMPLETION OF CONSTRUCTION.
3. THE CONTRACTOR SHALL LIMIT THE EXTENT OF DISTURBANCE AND STABILIZE SURFACES AS SOON AS POSSIBLE. THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN UNTREATED OR UNVEGETATED CONDITION FOR A MINIMUM TIME. AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 15 DAYS OF FINAL GRADING (7 DAYS IF WITHIN 100 FEET OF A STREAM, POND OR WETLAND).
4. THE CONTRACTOR MAY ELECT TO CONSTRUCT TEMPORARY DIVERSION SWALES AND SETTLING BASINS IN PRESENTLY DISTURBED AREAS.
5. AT NO TIME SHALL SILT-LADEN WATER BE ALLOWED TO ENTER SENSITIVE AREAS (OFF-SITE AREAS, WETLAND RESOURCE AREAS, DRAINAGE SYSTEMS AND STORMWATER MANAGEMENT AREAS). ANY RUNOFF FROM DISTURBED SURFACES SHALL BE DIRECTED THROUGH SETTLING BASINS, FILTERED CATCH BASIN INLETS AND EROSION CONTROL BARRIERS PRIOR TO ENTERING ANY SENSITIVE AREAS.
6. REFUELING OF CONSTRUCTION VEHICLES AND EQUIPMENT SHALL NOT BE CONDUCTED IN PROXIMITY TO CATCH BASINS.
7. NO ON-SITE DISPOSAL OF SOLID WASTE, INCLUDING BUILDING MATERIALS, IS ALLOWED.
8. NO MATERIALS SHALL BE DISPOSED OF INTO THE EXISTING OR PROPOSED DRAINAGE SYSTEMS. ALL CONTRACTORS, INCLUDING CONCRETE SUPPLIERS, PAINTERS AND PLASTERERS, SHALL BE INFORMED THAT THE CLEANING OF EQUIPMENT IS PROHIBITED IN AREAS WHERE THE WASH-WATER WILL DRAIN DIRECTLY TO DRAINAGE SYSTEMS.
9. CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL, WHICH SHALL INCLUDE STREET SWEEPING OF ALL PAVED SURFACES WITHIN THE SITE AND OFF-SITE AREAS THAT ARE IMPACTED BY SITE CONSTRUCTION ON A REGULAR BASIS, AS NEEDED.
10. ALL SITE WORK SHALL BE STABILIZED AT THE END OF THE WORK DAY OR PRIOR TO ANTICIPATED CONDITIONS WHICH COULD CAUSE EROSION OR AIR-BORNE SEDIMENT PROBLEMS (I.E. RAIN, HIGH WINDS, EXPOSED SURFACES OR STEEP SLOPES).

Pre-Construction:

1. AN EROSION CONTROL BARRIER (SILT FENCE, STRAW WATTLE OR SILT SOCK) SHALL BE INSTALLED TO LIMIT THE AREA OF DISTURBANCE. THIS IS ESPECIALLY IMPORTANT ON PORTIONS OF THE SITE ADJACENT TO SENSITIVE AREAS. THESE BARRIERS SHALL REMAIN IN PLACE UNTIL ALL TRIBUTARY SURFACES HAVE BEEN FULLY STABILIZED. INSTALL EROSION CONTROL BARRIER TO AVOID EXISTING TREES AND UNDERBRUSH TO MAXIMUM EXTENT POSSIBLE.
2. TEMPORARY STONE ACCESS AREAS SHALL BE ESTABLISHED AT THE DRIVEWAY ENTRANCES TO COLLECT ENTRAPPED SOILS AND SEDIMENT FROM CONSTRUCTION AND SERVICE VEHICLES ENTERING AND LEAVING THE SITE. THE STONE SHALL BE REPLACED REGULARLY AS WELL AS WHEN THE STONE IS SILT LADEN. THE CONSTRUCTION ENTRANCES SHALL BE LEFT IN PLACE UNTIL THE PERMANENT DRIVEWAY SURFACE IS INSTALLED.
3. THE CONTRACTOR SHALL ESTABLISH STAGING AREAS WITHIN THE AREA OF DISTURBANCE FOR THE OVERNIGHT STORAGE OF EQUIPMENT AND STOCKPILING OF MATERIALS.
4. CONSTRUCTION MATERIALS SHALL BE PILED IN SUCH A MANNER AS NOT TO CONCENTRATE RUNOFF.
5. IN THE STAGING AREA, THE CONSTRUCTION MANAGER SHALL HAVE A STOCKPILE OF MATERIALS REQUIRED TO CONTROL EROSION ON-SITE TO BE USED TO SUPPLEMENT OR REPAIR EROSION CONTROL DEVICES. THESE MATERIALS SHALL INCLUDE, BUT ARE NOT LIMITED TO, STRAW BALES, SILT FENCE AND CRUSHED STONE.
6. THE CONSTRUCTION MANAGER IS RESPONSIBLE FOR EROSION CONTROL ON SITE AND SHALL UTILIZE EROSION CONTROL MEASURES WHERE NEEDED AND WHEN NEEDED, REGARDLESS OF WHETHER THE MEASURES ARE SPECIFIED HEREIN OR IN CONDITIONS ISSUED BY PERMITTING AUTHORITIES.

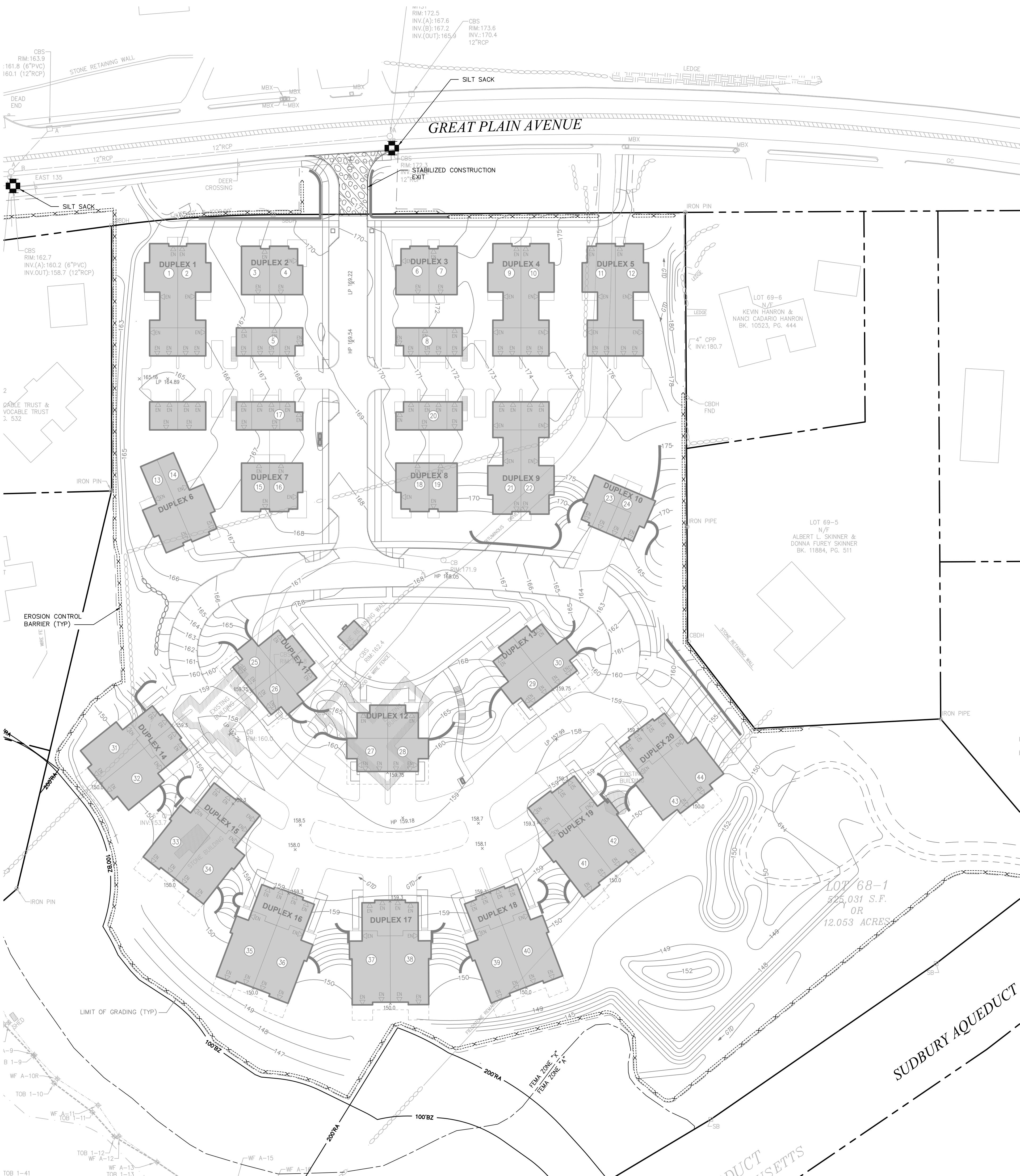
Preliminary Site Work:

1. MATERIAL REMOVED SHOULD BE STOCKPILED, SEPARATING THE TOPSOIL FOR FUTURE USE ON THE SITE. EROSION CONTROLS SHALL BE UTILIZED ALONG THE DOWN SLOPE SIDE OF THE PILES IF THE PILES ARE TO REMAIN MORE THAN THREE WEEKS. RUNOFF SHALL BE DIRECTED AWAY FROM STOCKPILES.
2. STOCKPILES SHALL BE LOCATED WITHIN THE LIMITS OF DISTURBANCE, IN AREAS OF MINIMAL IMPACT.
3. IF INTENSE RAINFALL IS ANTICIPATED, THE INSTALLATION OF SUPPLEMENTAL SILT FENCES, OR ARMORED DIKES SHALL BE UTILIZED.

Drainage System:

1. THE DRAINAGE SYSTEM SHALL BE INSTALLED FROM THE DOWNSTREAM END UP. SEDIMENT SHALL NOT BE ALLOWED TO ENTER THE SYSTEM. UNTREATED RUNOFF SHALL NOT BE ALLOWED TO DIRECTLY ENTER DRAINAGE SYSTEM FROM UNSTABILIZED SURFACES.
2. FOR THE LONG-TERM FUNCTION OF THE INFILTRATION BASIN(S)/STRUCTURE(S), CARE SHALL BE TAKEN IN THE INFILTRATION AREAS. DURING CONSTRUCTION THE CONTRACTOR SHALL EMPLOY THE FOLLOWING MINIMUM BEST MANAGEMENT PRACTICES (BMPs):

 - 2.1. INFILTRATION AREAS SHALL NOT BE USED AS TEMPORARY CONSTRUCTION SEDIMENTATION BASINS WITHOUT THE PRIOR APPROVAL OF THE ENGINEER. IF INFILTRATION AREAS ARE USED AS TEMPORARY SEDIMENTATION BASINS DURING CONSTRUCTION, THEN THE SOILS SHALL BE EXCAVATED A MINIMUM OF 2' FROM THE TEMPORARY BASIN BOTTOM TO REMOVE CLOGGED SOILS.
 - 2.2. STORMWATER RUNOFF FROM EXPOSED SURFACES SHALL BE DIRECTED AWAY FROM THE INFILTRATION BASIN(S)/STRUCTURE(S) DURING CONSTRUCTION.
 - 2.3. CONSTRUCTION EQUIPMENT, VEHICULAR TRAFFIC, PARKING OF VEHICLES, AND STOCKPILING OF CONSTRUCTION MATERIALS SHALL BE LOCATED OUTSIDE OF THE INFILTRATION AREAS.
 - 2.4. EXCAVATION FOR CONSTRUCTION OF THE INFILTRATION BASIN(S)/STRUCTURE(S) SHALL ENSURE THAT THE SOIL AT THE BOTTOM OF THE EXCAVATION IS NOT COMPACTED OR SMEARED.
 - 2.5. THE PERIMETER OF THE INFILTRATION AREAS SHALL BE STAKED AND FLAGGED TO PREVENT THE USE OF THE AREA FOR ACTIVITIES THAT MIGHT DAMAGE THE INFILTRATION ABILITY OF THE SYSTEM.
 - 2.6. SILT FENCES SHALL BE INSTALLED AT THE OUTFALLS OF ALL TEMPORARY BASINS AND SWALES. THEY SHALL REMAIN IN PLACE UNTIL ALL TRIBUTARY AREAS ARE STABILIZED.
 - 2.7. UNTIL TRIBUTARY AREAS ARE STABILIZED FILTERED CATCH BASIN SILT SACKS SHALL COVER CATCH BASINS TO MINIMIZE SILTATION IN THE CATCH BASINS.
 - 2.8. TRENCH EXCAVATIONS SHALL BE LIMITED TO THE MINIMUM LENGTH REQUIRED FOR DAILY PIPE INSTALLATION. ALL TRENCHES SHALL BE BACKFILLED AS SOON AS POSSIBLE. THE ENDS OF PIPES SHALL BE BLOCKED NIGHTLY WITH PLYWOOD.
 - 2.9. IF UNSTABLE AREAS ARE ENCOUNTERED DUE TO NATURAL SPRINGS OR GROUNDWATER BREAKOUT, INTERCEPTOR DRAINS SHALL BE INSTALLED TO DIRECT THE RUNOFF INTO THE DRAINAGE SYSTEM.
 - 2.10. ALL SWALES MUST BE MAINTAINED AND KEPT FREE OF OBSTRUCTIONS TO ALLOW UNIMPEDED FLOW.
 - 2.11. THE BINDER COURSE OF PAVEMENT WITH BERMS SHALL BE INSTALLED AS SOON AS FEASIBLE AS THIS AREA WILL FUNCTION AS A CONDUIT FOR RUNOFF.
 - 2.12. IMMEDIATELY FOLLOWING PAVING THE SHOULDERS SHALL BE GRADED, LOAMED AND SEEDED AND MULCHED IF NECESSARY. ALL SURFACES SHOULD BE RAPIDLY AND THOROUGHLY STABILIZED TO THEIR FINAL CONDITION TO AVOID ENTRY OF SEDIMENTS IN THE DRAINAGE SYSTEM.
 - 2.13. UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, CONTRACTOR SHALL REMOVE AND DISPOSE OF EROSION CONTROL MEASURES AND CLEAN SEDIMENT AND DEBRIS FROM ENTIRE DRAINAGE AND SEWER SYSTEMS.



101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770



Fieldstone Way

135 Great Plain Avenue
Wellesley, Massachusetts

No. Revision Date Approved
1 Layout Updates 8/30/18 CRQ

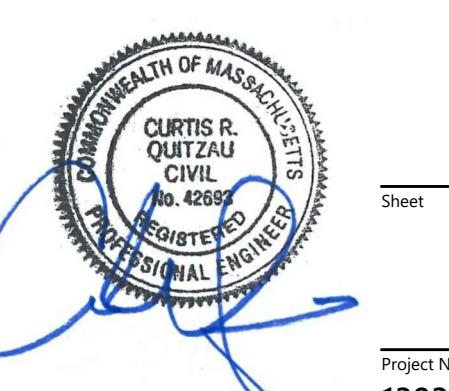
Designed by WNM Checked by CRQ
Issued for Comprehensive Permit February 16, 2018
Application

Not Approved for Construction
Drawing Title

Erosion and Sediment Control Plan

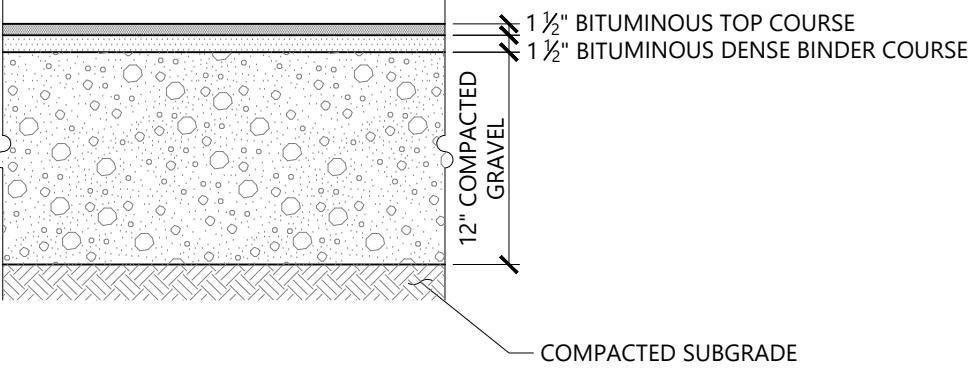
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C-5

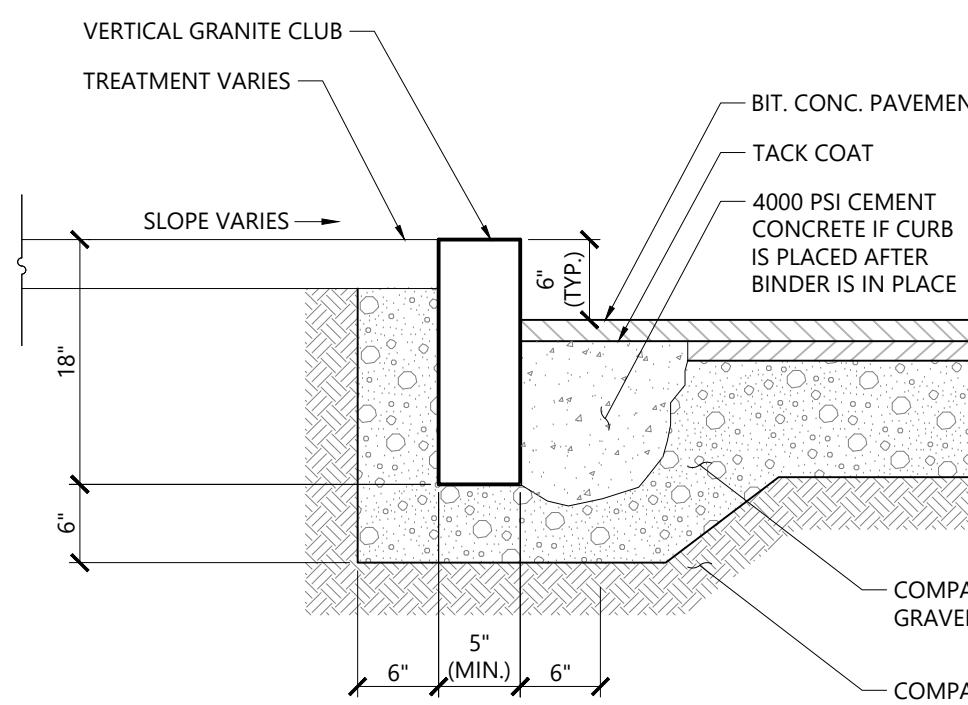




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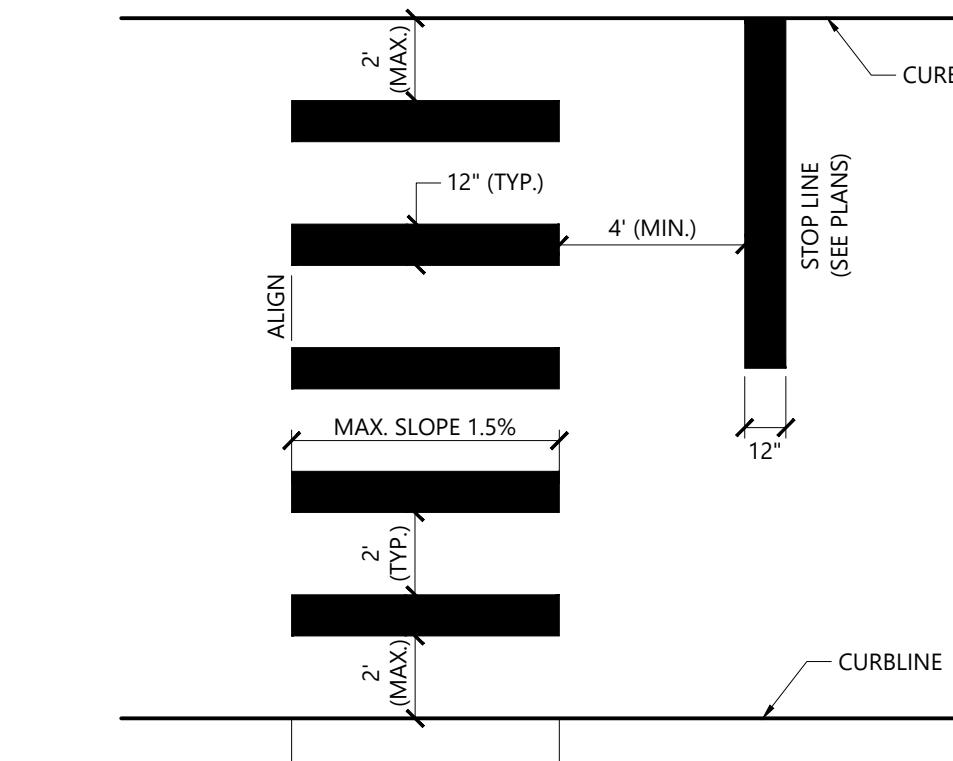


STANDARD DUTY FLEXIBLE PAVEMENT



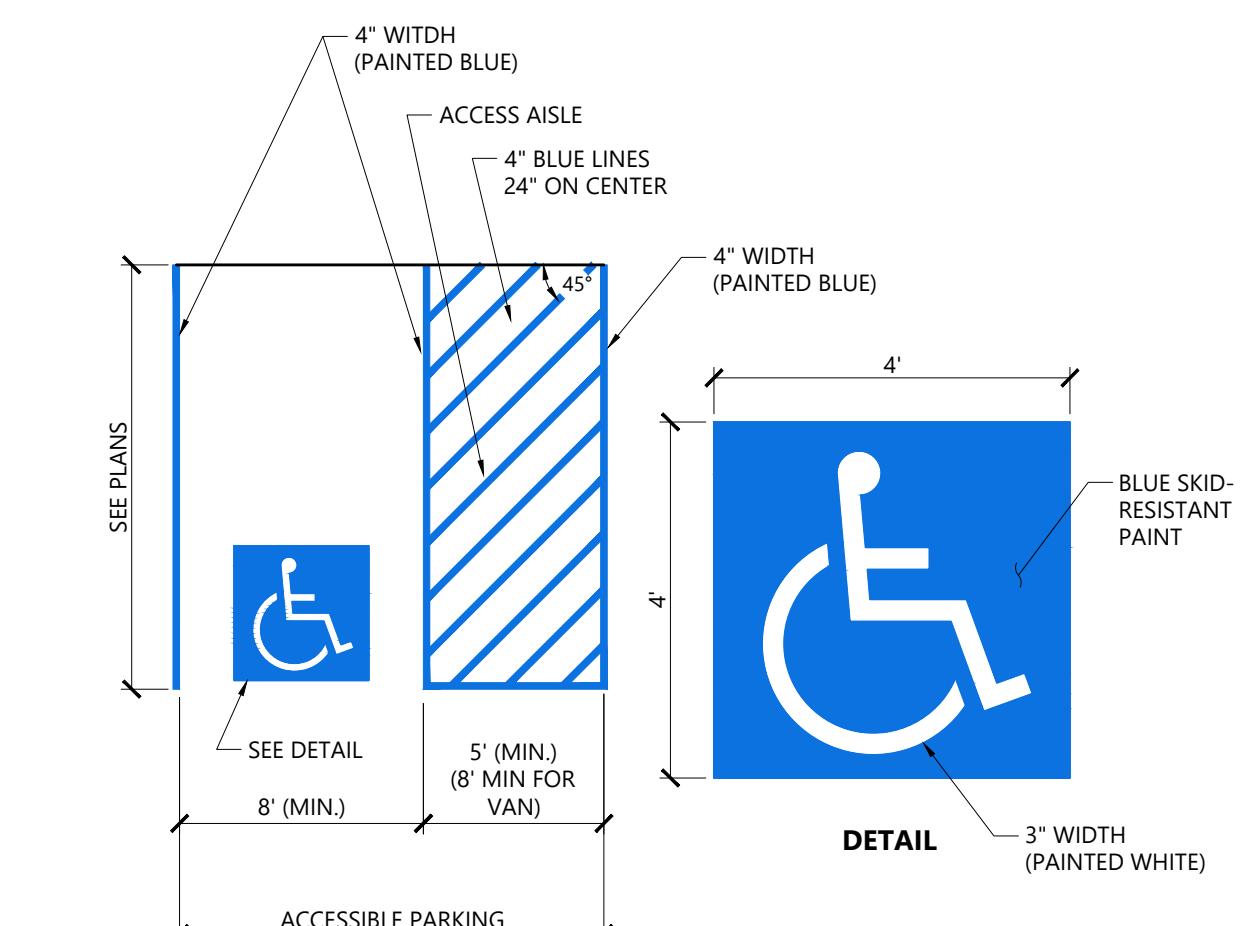
Vertical Granite Curb (VGC)

N.T.S. Source: VHB REV 1/16 LD_430



NOTES

1. TWELVE INCH (12") LINES SHALL BE APPLIED IN ONE APPLICATION, NO COMBINATION OF LINES (TWO - 6 INCH LINES) WILL BE ACCEPTED.
2. LONGITUDINAL CROSSWALK LINES TO BE PARALLEL TO CURBLINE.
3. ALL LONGITUDINAL CROSSWALK LINES TO BE THE SAME LENGTH AND PROPERLY ALIGNED.
4. CROSS WALK SIDESLOPE SHALL NOT EXCEED 1.5%.



NOTES

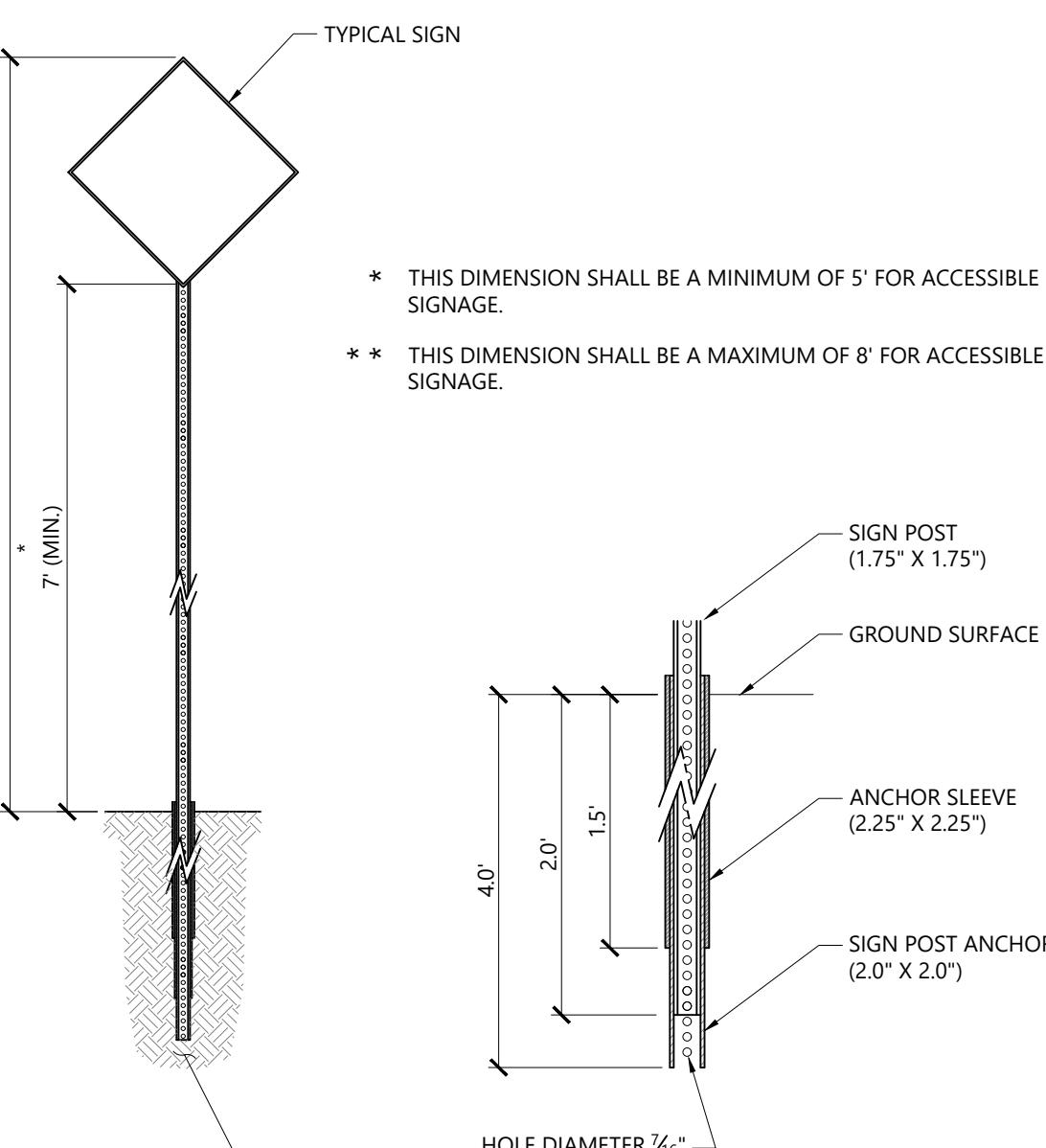
1. ALL DIMENSIONS TO EDGES OF 4" PAVEMENT STRIPING.
2. 8' STALL WIDTH REFERS TO 8' CLEAR BETWEEN INSIDE EDGES OF PAVEMENT MARKINGS.
3. ALL SLOPES THROUGHOUT THE ACCESSIBLE PARKING AND AISLE AREAS SHALL NOT EXCEED 1.5%.
4. ACCESS AISLE MEASURED BETWEEN OUTSIDE EDGES OF PAVEMENT MARKINGS.

Accessible Parking Space

N.T.S. Source: VHB 1/16 LD_552B

N.T.S. Source: VHB 1/16 LD_553

Crosswalk



Sign Post - Type 'B'

N.T.S. Source: VHB 1/16 LD_702

Fieldstone Way

135 Great Plain Avenue
Wellesley, Massachusetts

No.	Revision	Date	Appvd.
1	Layout Updates	8/30/18	CRQ

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Issued for

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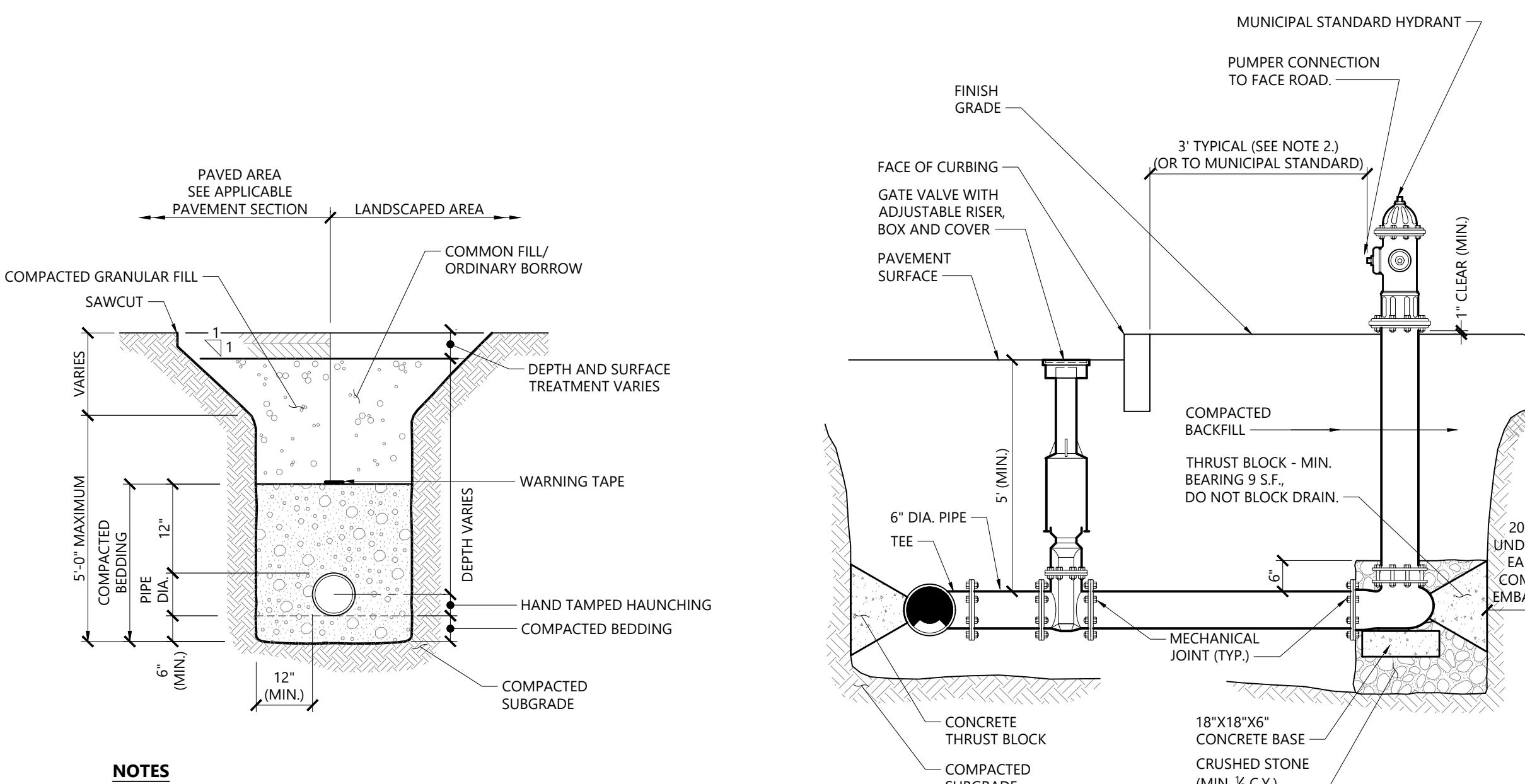
Site Details

C-6.1





101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770



NOTES

- WHERE UTILITY TRENCHES ARE CONSTRUCTED THROUGH DETENTION BASIN BERMS OR OTHER SUCH SPECIAL SECTIONS, PLACE TRENCH BACKFILL WITH MATERIALS SIMILAR TO THE SPECIAL SECTION REQUIREMENTS.
- USE METALLIC TRACING/WARNING TAPE OVER ALL PIPES.

Utility Trench

N.T.S.

Source: VHB

1/16

LD_300

Hydrant Construction

N.T.S.

Source: VHB

1/16

LD_250

Concrete Thrust Block

N.T.S.

Source: VHB

1/16

LD_260

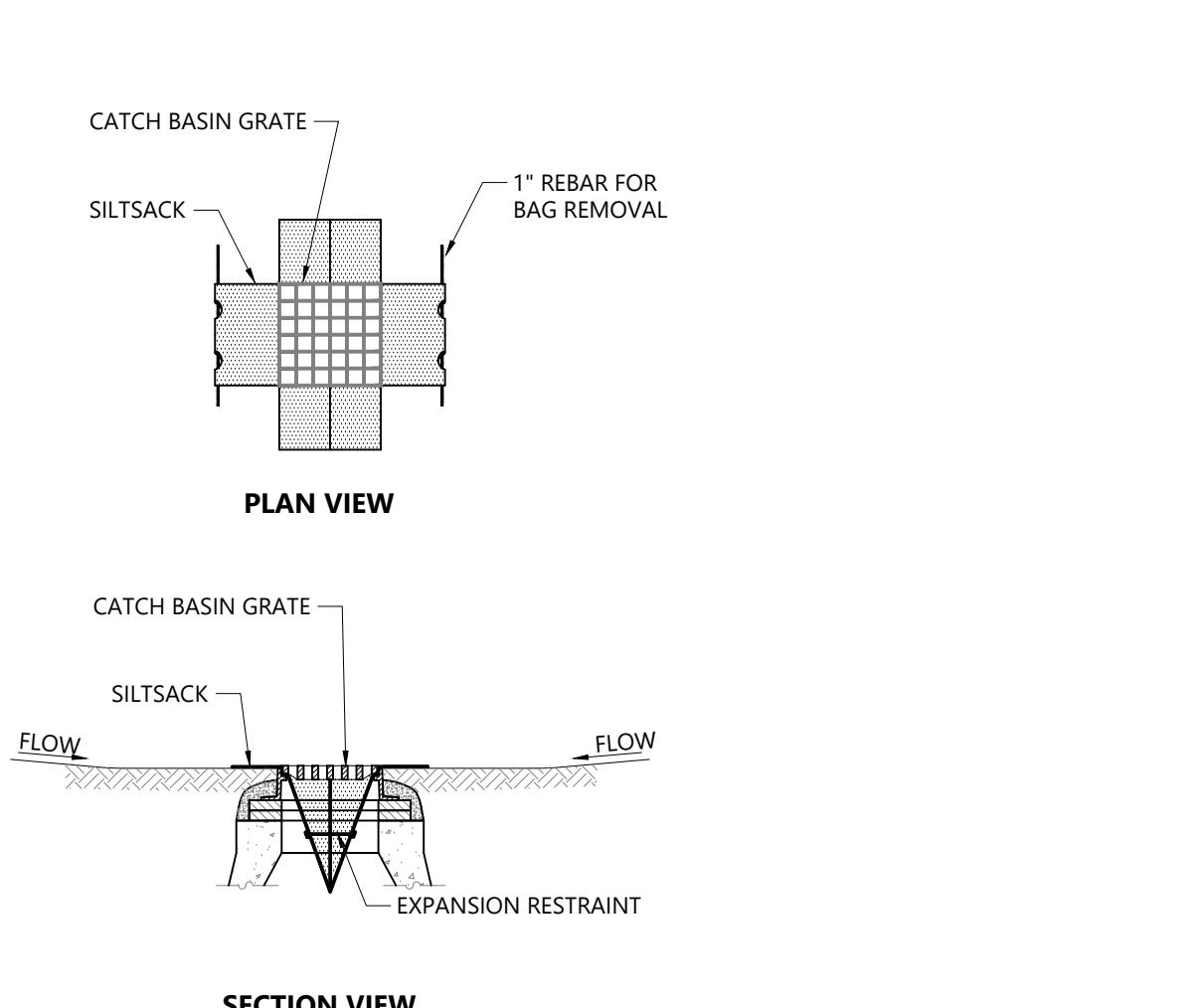
Corporation/Curb Stop with Box

N.T.S.

Source: VHB

1/16

LD_256



NOTES

- INSTALL SILTSACK IN ALL CATCH BASINS WHERE INDICATED ON THE PLAN BEFORE COMMENCING WORK OR IN PAVED AREAS AFTER BINDER COURSE IS PLACED AND HAY BALES HAVE BEEN REMOVED.
- GRATE TO BE PLACED OVER SILTSACK.
- SILTSACK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS AND CLEANING OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED. MAINTAIN UNTIL UPSTREAM AREAS HAVE BEEN PERMANENTLY STABILIZED.

Siltsack Sediment Trap

N.T.S.

Source: VHB

1/16

LD_674

Straw Wattle - Erosion Control Barrier

N.T.S.

Source: VHB

1/16

LD_659

Stabilized Construction Exit

N.T.S.

Source: VHB

1/16

LD_682

TABLE OF DIMENSIONS

BENDS	B	C	D	E	F	BENDS	B	C	D	E	F
6" 11 1/4"	8"	15"	12"	24"	12"	6" 45°	8"	30"	12"	24"	14"
6" 22 1/2"	"	19"	"	13"	6" 90°	"	30"	"	"	27"	
8" 11 1/4"	"	20"	"	12"	8" 45°	"	30"	"	"	24"	
8" 22 1/2"	"	22"	"	17"	8" 90°	"	38"	"	"	36"	
12" 11 1/4"	"	30"	"	15"	12" 45°	"	40"	"	"	40"	
12" 22 1/2"	"	35"	"	25"	12" 90°	"	60"	"	"	52"	



SECTION 1-1

TEES	G	H	I	J	TEES	G	H	I	J
6"X6"X6"	12"	24"	24"	18"	12"X12"X6"	12"	24"	24"	18"
8"X8"X6"	"	"	"	"	12"X12"X8"	"	"	"	24"
8"X8"X8"	"	"	24"	"	12"X12"X12"	"	36"	"	36"



SECTION 2-2

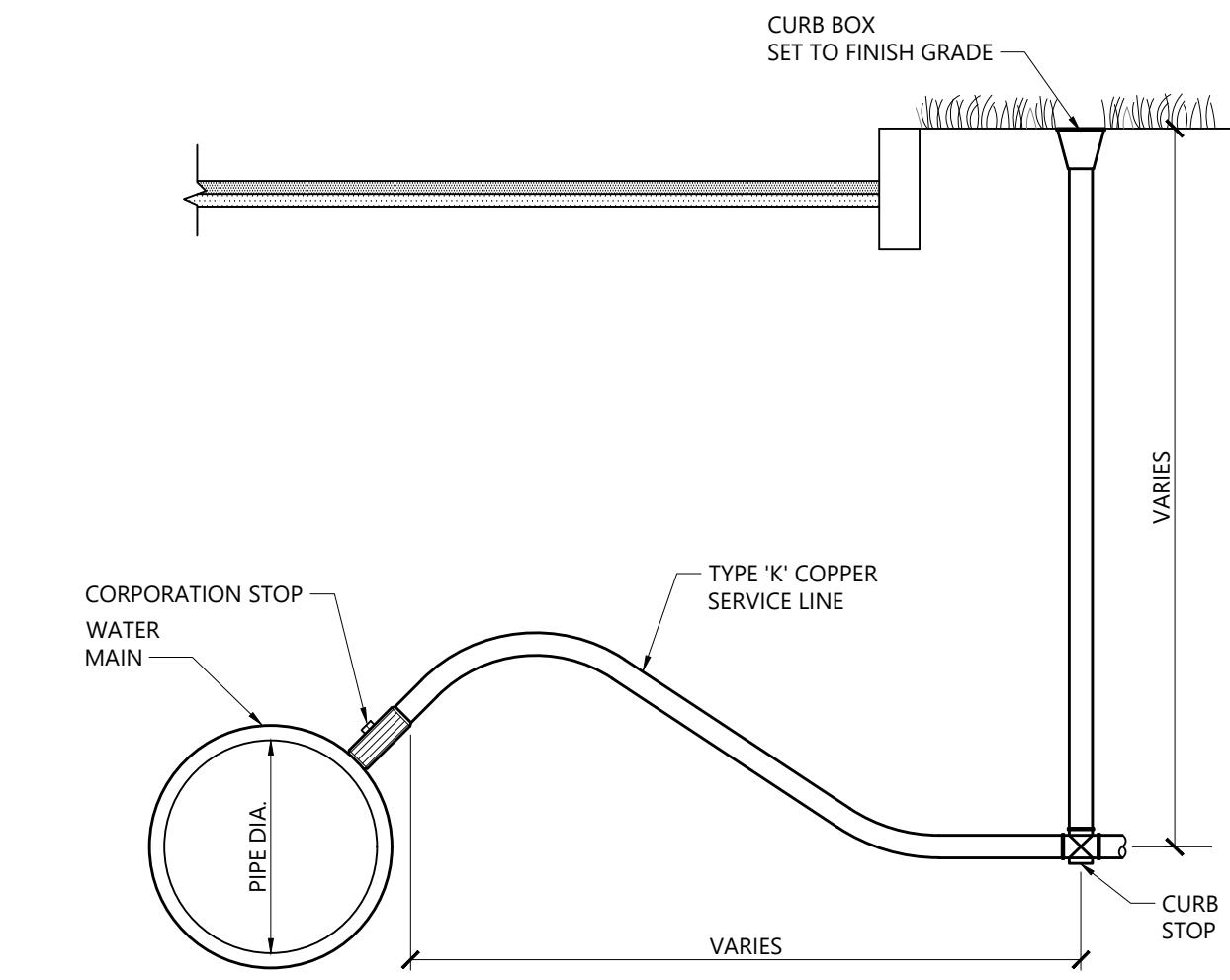
TEES	G	H	I	J
2"	"	2"	"	"



PLAN

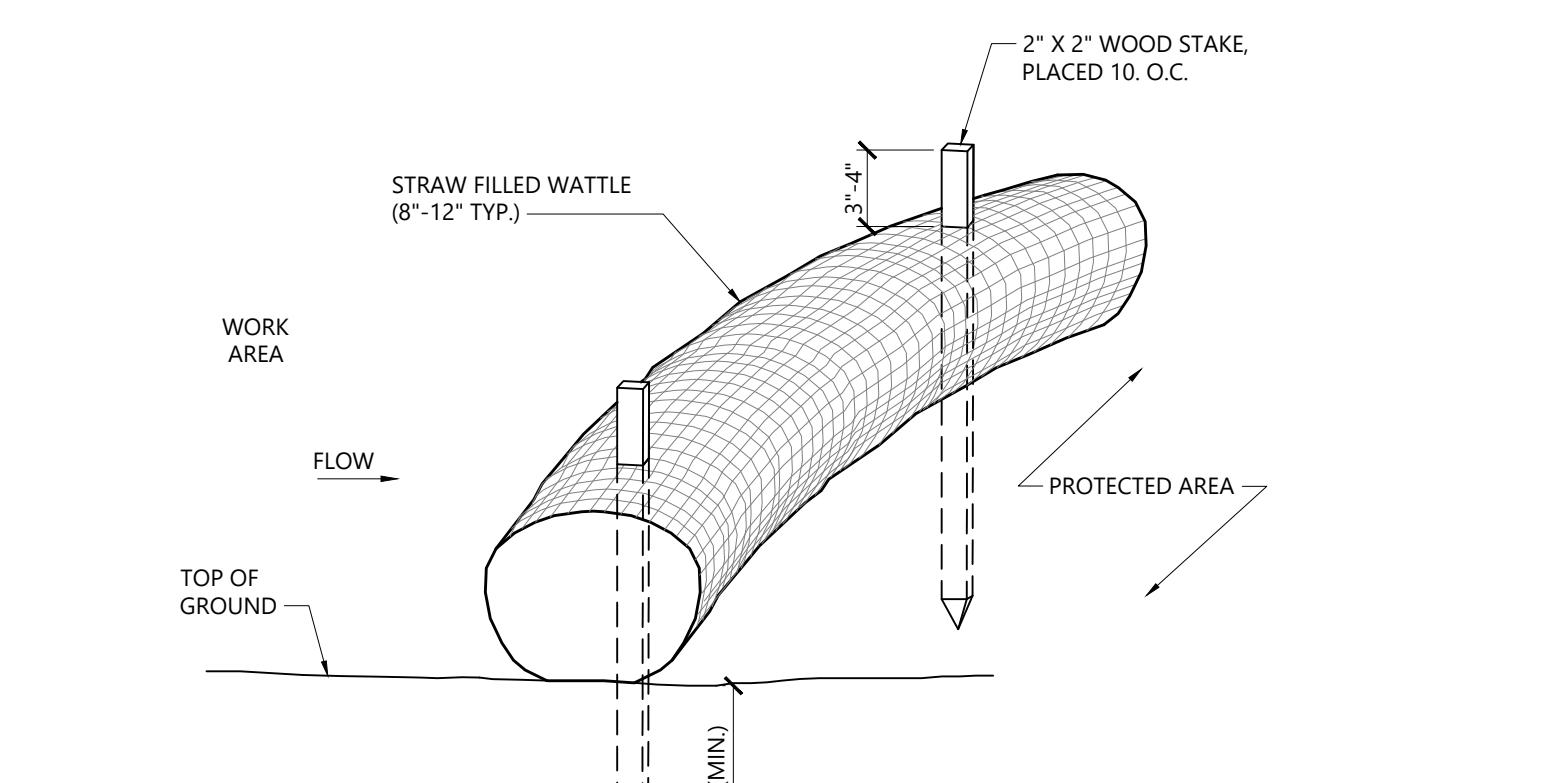
NOTES

- PROVIDE BLOCKS FOR TAPPING SLEEVES, DEAD ENDS, GATE VALVES, AND VERTICAL BENDS (SAME SIZE AS REQUIRED FOR TEES). PROVIDE ANCHOR RODS AT VERTICAL BENDS AND GATE VALVES.
- CONCRETE SHALL NOT BE PLACED AGAINST PIPE BEYOND FITTING.
- CONCRETE SHALL BE 3,000 PSI-TYPE I.



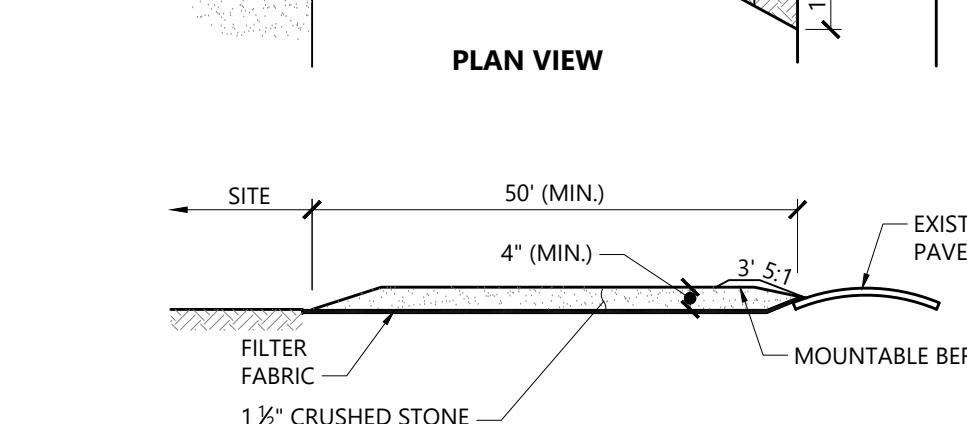
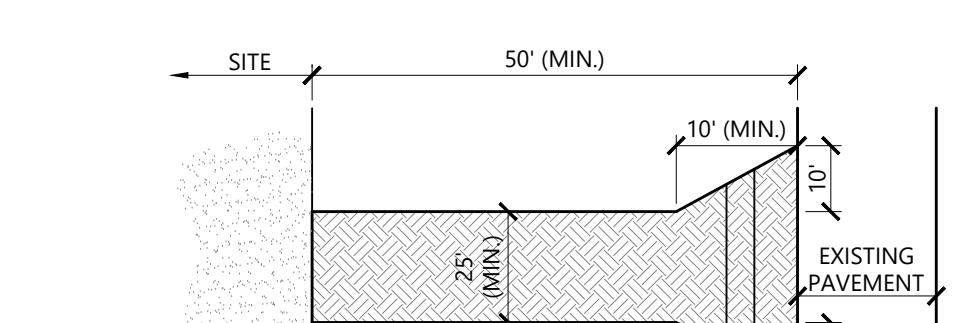
NOTES

- INSTALLATIONS SHALL CONFORM WITH MUNICIPAL WATER WORKS SPECIFICATIONS AND STANDARDS.



NOTES

- STRAW WATTLE SHALL BE AS MANUFACTURED BY EARTHSAVER OR APPROVED EQUAL.
- STRAW WATTERS SHALL OVERLAP A MINIMUM OF 12 INCHES.
- STRAW WATTLE SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS, AND REPAIR OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED.
- TEMPORARY STRAW WATTERS TO BE REMOVED BY CONTRACTOR. ALL OTHERS TO REMAIN IN PLACE UNLESS DIRECTED OTHERWISE BY ENGINEER.
- IF NON BIODEGRADABLE NETTING IS USED THE NETTING SHALL BE COLLECTED AND DISPOSED OF OFFSITE.



NOTES

- EXIT WIDTH SHALL BE A TWENTY-FIVE (25) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
- THE EXIT SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACING OR PLOWING OF SEDIMENT INTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. BERM SHALL BE PERMITTED. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.
- STABILIZED CONSTRUCTION EXIT SHALL BE REMOVED PRIOR TO FINAL FINISH MATERIALS BEING INSTALLED.

Fieldstone Way

135 Great Plain Avenue
Wellesley, Massachusetts

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WNM	CRQ

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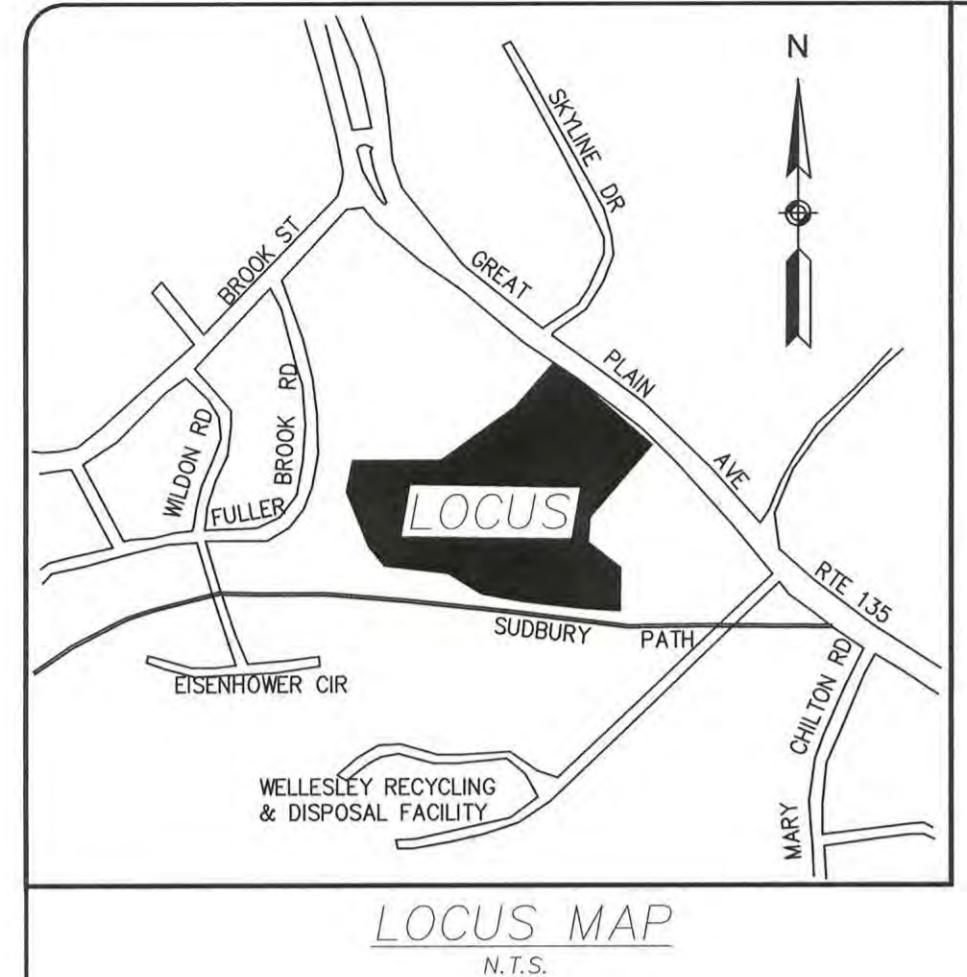
Site Details

C-6.3

Sheet 8 of 8

Project Number

13936.00



LOCUS MAP
N.T.S.

GENERAL NOTES:

1. THE EXISTING CONDITIONS INFORMATION SHOWN HEREON IS THE RESULT OF AN ON-THE-GROUND SURVEY PERFORMED BY CHA CONSULTING, INC. ON OR BETWEEN JULY AND DECEMBER, 2014.

2. ALL DEED REFERENCES ARE TO NORFOLK COUNTY REGISTRY OF DEEDS UNLESS OTHERWISE NOTED.

3. LOCUS OWNER OF RECORD:

WELLESLEY RESIDENTIAL, LLC
DEED BOOK 32778, PAGE 376.
ASSESSOR'S LOT 68-1

4. TOPOGRAPHY, CONTOURS AND BENCHMARKS ARE BASED ON THE TOWN OF WELLESLEY VERTICAL DATUM, WHICH IS -5.50' FROM THE NATIONAL GEODETIC VERTICAL DATUM OF 1929. TEMPORARY BENCHMARKS, REFERENCED TO THE DATUM ARE INDICATED ON THE SURVEY.

IN THE EVENT THAT BENCHMARKS (TBM'S), ESTABLISHED FOR THIS PROJECT AND PUBLISHED ON THIS SURVEY ARE DESTROYED, NOT RECOVERABLE OR A DISCREPANCY IS FOUND, THE USER SHOULD NOTIFY THIS FIRM IN WRITING PRIOR TO COMMENCING OR CONTINUING ANY WORK.

5. THE PROJECT AREA IS LOCATED IN FLOOD ZONE "A, X & SFHAS" AS SHOWN ON FLOOD INSURANCE RATE MAP FOR THE TOWN OF WELLESLEY, COMMUNITY PANEL NUMBER 25021C0017E, EFFECTIVE DATE JULY 17, 2012.

6. THE LOCUS PARCEL IS LOCATED IN THE TOWN OF WELLESLEY, SINGLE RESIDENCE DISTRICT (R-2D) AS DEFINED BY THE TOWN OF WELLESLEY GIS MAPPING. MINIMUM SETBACK REQUIREMENTS ARE AS SHOWN ON TABLE 1 ARE:

FRONT SETBACK:.....30' SIDE SETBACK:.....20'
REAR SETBACK:.....20'

7. LOCATION OF SUBSURFACE UTILITIES ARE NOT SHOWN HEREON AND MAY EXIST. THIS INFORMATION IS NOT TO BE USED FOR CONSTRUCTION. PRIOR TO ANY CONSTRUCTION, CONTACT DIG-SAFE (1-800-344-7233) TO FIELD VERIFY LOCATION OF ALL UTILITIES.

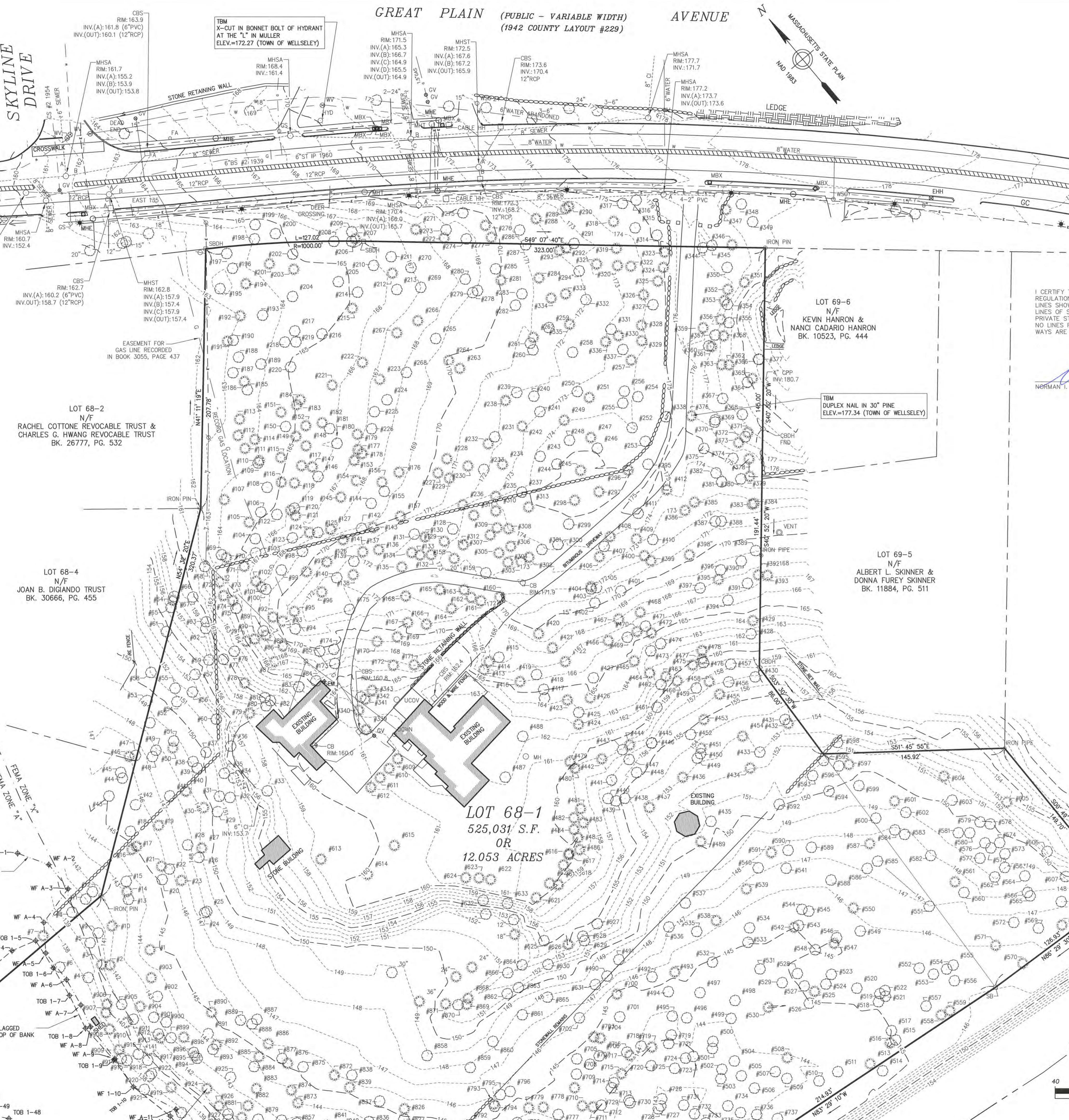
8. PLAN REFERENCES:

PLAN BOOK 130, PAGE 229
PLAN BOOK 167, PAGE 1533
PLAN BOOK 432, PAGE 543
PLAN BOOK 20, PAGE 923E & 923F

9. WETLAND FLAGS SHOWN HEREON ARE BASED ON FIELD LOCATIONS BY CHA CONSULTING, INC. IN JULY AND NOVEMBER 2014.

WETLAND FLAGS WERE DELINEATED BY CHA CONSULTING, INC. CERTIFIED WETLANDS SCIENTIST IN JULY AND NOVEMBER, 2014.

10. THE TREE SYMBOL WITH A NUMBER REPRESENTS A TREE ON THE LOCUS PROPERTY WITH A FLAG AND NUMBER ATTACHED. A LETTER WILL ACCOMPANY THE PLAN SET DENOTING THE GENERAL TREE INFORMATION.



File: V:\PROJECTS\NMA78\SURVEY\PROJECT\MA\WELLESLEY\GREAT PLAIN AVENUE\DWG-LDD\VBASE_28754.DWG

LOT 68-4
N/F
JOAN B. DIGIANDO TRUST
BK. 30666, PG. 455

FOR REGISTRY USE ONLY

MATCH LINE SEE SHEET 1

LOT 78-17
N/F
TOWN OF WELLESLEY
BK. 3663, PG. 234

W A-1 WF A-2
142
BORDERING VEGETATED WETLANDS LINE

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS, AND THE PROPERTY LINES SHOWN ARE THE LINES OF EXISTING OWNERSHIP, AND THE LINES OF STREETS AND WAYS ARE THOSE OF PUBLIC OR PRIVATE STREETS AND WAYS ALREADY ESTABLISHED, AND THAT NO LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

C W
NORMAN I. LIPSITZ PLS# 28446

DATE: 1/1/13

LOT 69-5
N/F
ALBERT L. SKINNER &
ONNA FUREY SKINNER
BK. 11884, PG. 511

LOT 69-3
N/F
RONALD & MARY A.
HAIGH
BK. 23871, PG. 546

red For:
NORTHLAND RESIDENTIAL CORP.
20 BURLINGTON MALL ROAD
SUITE 220
BURLINGTON MA 01803

The logo consists of the letters 'C' and 'H' in a bold, black, sans-serif font. The 'A' is partially visible at the bottom right. A thick red exclamation mark is positioned to the right of the 'A', with its top point touching the top of the 'A' and its base extending slightly below the bottom of the 'A'.

NORTHLAND RESIDENTIAL CORP.
135 GREAT PLAIN AVENUE
WELLESLEY, MA

EXISTING CONDITIONS PLAN

SHEET 2 OF 2

red For:
ORTHLAND RESIDENTIAL CORP.
20 BURLINGTON MALL ROAD
SUITE 220
BURLINGTON, MA 01803

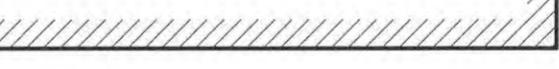
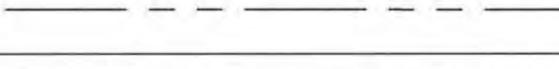
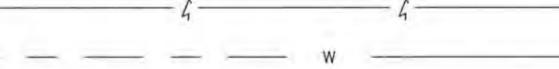
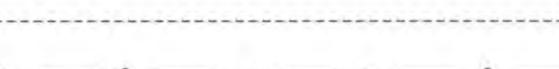
		
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<p>signed:</p>		

NORTHLAND RESIDENTIAL CORP.
135 GREAT PLAIN AVENUE
WELLESLEY, MA

EXISTING CONDITIONS PLAN

1-05-2015 Project No.: 29219 Scale: 1"=40'

SHEET 2 OF 2

CB	CONCRETE BOUND	MHT	TELEPHONE MANHOLE
SB	STONE BOUND	GSO	GAS SHUT OFF
RB	REBAR	GV	GAS VALVE
DH	DRILL HOLE	Q	UTILITY POLE
IP	IRON PIPE	S	LIGHT POLE
IR	IRON ROD	MH	MANHOLE
DRAIN	FLOOR DRAIN	MBX	MAILBOX
CBS	SQUARE CATCH BASIN	POST	POST
MHST	STORM MANHOLE	WF A-1	BORDERING VEGETATED WETLAND FLAG
WSO	WATER SHUT OFF	TOB 1-1	TOP OF BANK FLAG
WV	WATER VALVE		
HYD	HYDRANT	#1	TREE AND NUMBER
    			
			BUILDING LINE
			PARCEL BOUNDARY LINE
			ADJOINING PARCEL LINE
			EDGE OF ASPHALT
			STONE WALL
			OVERHEAD UTILITY LINES
			WATER UTILITY LINES
			DRAINAGE UTILITY LINES
			SEWER UTILITY LINES
			gas utility lines

GAS UTILITY LINES