

Site Plans

Issued for	Comprehensive Permit Application
Date Issued	February 16, 2018
Latest Issue	August 30, 2018

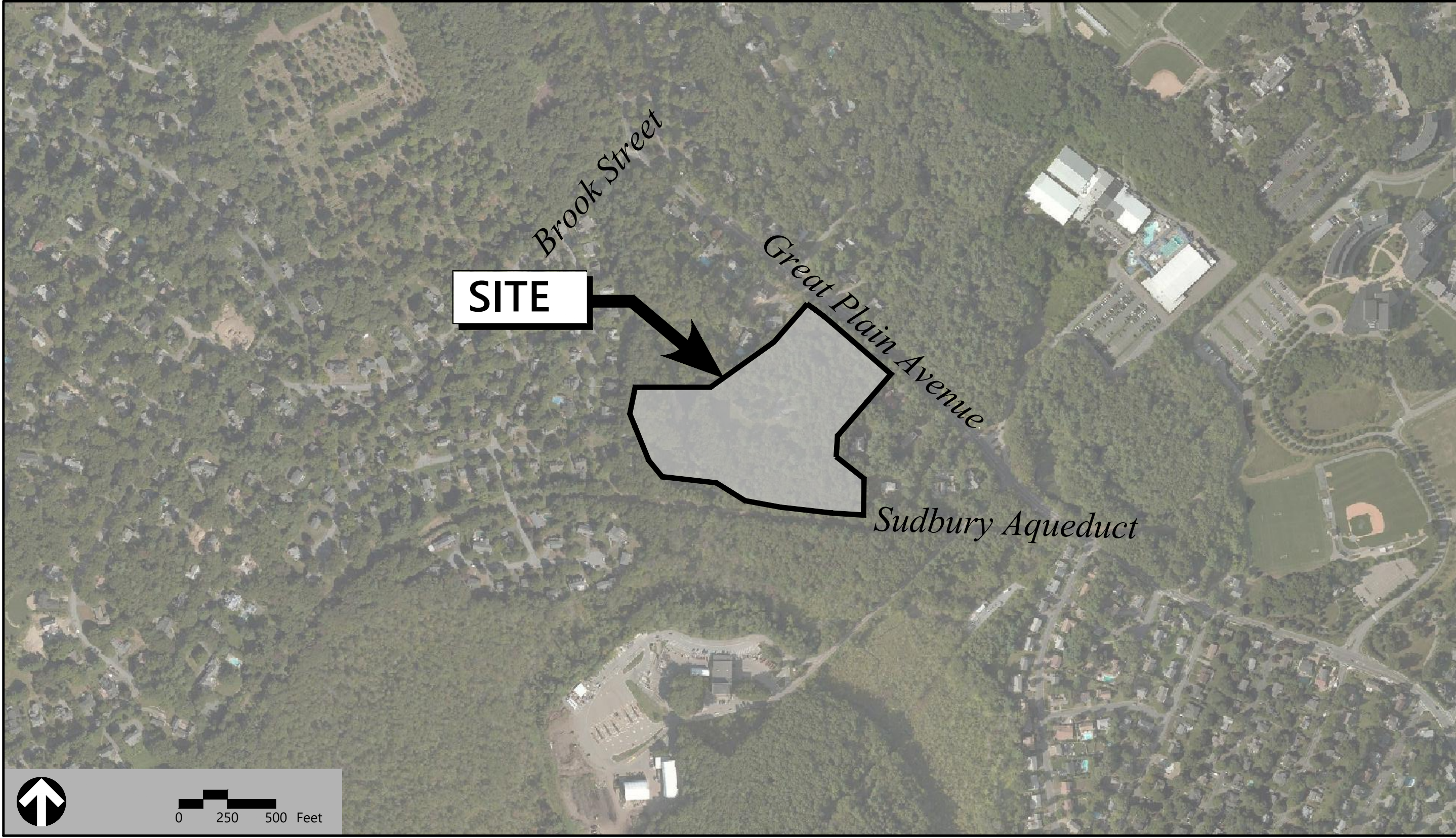
Fieldstone Way

135 Great Plain Avenue
Wellesley, Massachusetts

Applicant

Wellesley Residential, LLC.
80 Beharrell Street
Concord, MA 01742

Assessor's Map: 68
Lot: 68-1



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C-6.1-6.3	Site Details	August 30, 2018

Reference Drawings		
No.	Drawing Title	Latest Issue
	Existing Conditions Plan	January 5, 2015
	Existing Conditions Plan	January 5, 2015



101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770

Surveyor

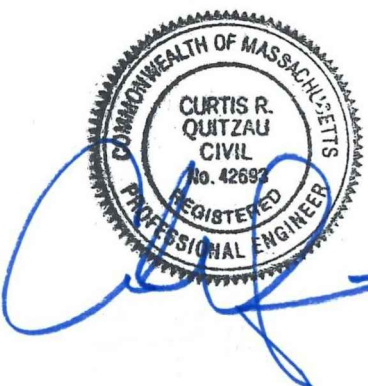
CHA
101 Accord Park Drive
Norwel, MA 02061
781.982.5400

Architect

Union Studio
140 Union Street
Providence, RI 02903
401.272.4724

Landscape Architect

Ryan Associates
144 Moody Street
Building 4
Waltham, MA 02453
781.314.0401



Legend			
Exist.	Prop.	Exist.	Prop.
		PROPERTY LINE	
		PROJECT LIMIT LINE	
		RIGHT-OF-WAY/PROPERTY LINE	
		EASEMENT	
		BUILDING SETBACK	
		PARKING SETBACK	
		BASELINE	
		CONSTRUCTION LAYOUT	
		ZONING LINE	
		TOWN LINE	
		LIMIT OF DISTURBANCE	
		WETLAND LINE WITH FLAG	
		FLOODPLAIN	
		BORDERING LAND SUBJECT TO FLOODING	
		WETLAND BUFFER ZONE	
		NO DISTURB ZONE	
		200' RIVERFRONT AREA	
		GRAVEL ROAD	
		EDGE OF PAVEMENT	
		BITUMINOUS BERM	
		BITUMINOUS CURB	
		CONCRETE CURB	
		CURB AND GUTTER	
		EXTRUDED CONCRETE CURB	
		MONOLITHIC CONCRETE CURB	
		PRECAST CONC. CURB	
		SLOPED GRAN. EDGING	
		VERT. GRAN. CURB	
		LIMIT OF CURB TYPE	
		SAWCUT	
		BUILDING	
		BUILDING ENTRANCE	
		LOADING DOCK	
		BOLLARD	
		DUMPSTER PAD	
		SIGN	
		DOUBLE SIGN	
		STEEL GUARDRAIL	
		WOOD GUARDRAIL	
		PATH	
		TREE LINE	
		WIRE FENCE	
		FENCE	
		STOCKADE FENCE	
		STONE WALL	
		RETAINING WALL	
		STREAM / POND / WATER COURSE	
		DETENTION BASIN	
		HAY BALES	
		SILT FENCE	
		SILT SOCK / STRAW WATTLE	
		MINOR CONTOUR	
		MAJOR CONTOUR	
		PARKING COUNT	
		COMPACT PARKING STALLS	
		DOUBLE YELLOW LINE	
		STOP LINE	
		CROSSWALK	
		ACCESSIBLE CURB RAMP	
		ACCESSIBLE PARKING	
		VAN-ACCESSIBLE PARKING	

Exist.	Prop.	Exist.	Prop.
		CONCRETE	
		HEAVY DUTY PAVEMENT	
		BUILDINGS	
		RIPRAP	
		CONSTRUCTION EXIT	
		TOP OF CURB ELEVATION	
		BOTTOM OF CURB ELEVATION	
		SPOT ELEVATION	
		TOP & BOTTOM OF WALL ELEVATION	
		BORING LOCATION	
		TEST PIT LOCATION	
		MONITORING WELL	
		UNDERDRAIN	
		DRAIN	
		ROOF DRAIN	
		SEWER	
		FORCE MAIN	
		OVERHEAD WIRE	
		WATER	
		FIRE PROTECTION	
		DOMESTIC WATER	
		GAS	
		ELECTRIC	
		STEAM	
		TELEPHONE	
		FIRE ALARM	
		CABLE TV	
		CATCH BASIN	
		DOUBLE CATCH BASIN	
		GUTTER INLET	
		DRAIN MANHOLE	
		TRENCH DRAIN	
		PLUG OR CAP	
		CLEANOUT	
		FLARED END SECTION	
		HEADWALL	
		SEWER MANHOLE	
		CURB STOP & BOX	
		WATER VALVE & BOX	
		TAPPING SLEEVE, VALVE & BOX	
		SIAMESE CONNECTION	
		FIRE HYDRANT	
		WATER METER	
		POST INDICATOR VALVE	
		WATER WELL	
		GAS GATE	
		GAS METER	
		ELECTRIC MANHOLE	
		ELECTRIC METER	
		LIGHT POLE	
		TELEPHONE MANHOLE	
		TRANSFORMER PAD	
		UTILITY POLE	
		GUY POLE	
		GUY WIRE & ANCHOR	
		HAND HOLE	
		PULL BOX	

	MATCHLINE
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Abbreviations	
General	
ABAN	ABANDON
ACR	ACCESSIBLE CURB RAMP
ADJ	ADJUST
APPROX	APPROXIMATE
BIT	BITUMINOUS
BS	BOTTOM OF SLOPE
BWLL	BROKEN WHITE LANE LINE
CONC	CONCRETE
DYCL	DOUBLE YELLOW CENTER LINE
EL	ELEVATION
ELEV	ELEVATION
EX	EXISTING
FDN	FOUNDATION
FFE	FIRST FLOOR ELEVATION
GRAN	GRANITE
GTD	GRADE TO DRAIN
LA	LANDSCAPE AREA
LOD	LIMIT OF DISTURBANCE
MAX	MAXIMUM
MIN	MINIMUM
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
PERF	PERFORATED
PROP	PROPOSED
REM	REMOVE
RET	RETAIN
R&D	REMOVE AND DISPOSE
R&R	REMOVE AND RESET
SWL	SOLID WHITE EDGE LINE
SWLL	SOLID WHITE LANE LINE
TS	TOP OF SLOPE
TYP	TYPICAL
Utility	
CB	CATCH BASIN
CMP	CORRUGATED METAL PIPE
CO	CLEANOUT
DCB	DOUBLE CATCH BASIN
DMH	DRAIN MANHOLE
CIP	CAST IRON PIPE
COND	CONDUIT
DIP	DUCTILE IRON PIPE
FES	FLARED END SECTION
FM	FORCE MAIN
F&G	FRAME AND GRATE
F&C	FRAME AND COVER
GI	GUTTER INLET
GT	GREASE TRAP
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HH	HANDHOLE
HW	HEADWALL
HYD	HYDRANT
INV	INVERT ELEVATION
I=	INVERT ELEVATION
LP	LIGHT POLE
MES	METAL END SECTION
PIV	POST INDICATOR VALVE
PWW	PAVED WATER WAY
PVC	POLYVINYLCHLORIDE PIPE
RCP	REINFORCED CONCRETE PIPE
R=	RIM ELEVATION
SMH	SEWER MANHOLE
TSV	TAPPING SLEEVE, VALVE AND BOX
UG	UNDERGROUND
UP	UTILITY POLE

Notes	
Existing Conditions Information	
1.	THE EXISTING CONDITIONS INFORMATION SHOWN HEREON IS THE RESULT OF AN ON-THE-GROUND SURVEY PERFORMED BY CHA CONSULTING, INC., ON OR BETWEEN JULY AND DECEMBER 2014.
2.	TOPOGRAPHY: ELEVATIONS ARE BASED ON TOWN OF WELLESLEY VERTICAL DATUM, WHICH IS -5.50' FROM NGVD 29.
3.	THE PROJECT AREA IS LOCATED IN FLOOD ZONE "A, X & SFHAs" AS SHOWN ON FLOOD INSURANCE RATE MAP FOR THE TOWN OF WELLESLEY, COMMUNITY PANEL NUMBER 25021C0017E, EFFECTIVE DATE JULY 17, 2012.
4.	RESOURCE AREA FLAGS SHOWN HEREIN ARE BASED ON FIELD DELINEATION BY JAMES B. HALL, PWS ON JULY 8, 2014, NOVEMBER 14, 2014 AND SUBSEQUENT FIELD ADJUSTMENTS DURING PEER REVIEW ON MAY 21, 2015. FLAG LOCATIONS CORRESPOND TO THE APPROVED ORAD ISSUED BY THE WELLESLEY CONSERVATION COMMISSION ON JUNE 16, 2015.
5.	THE 100' BVW AND 200' RFA RESOURCE BUFFERS ARE SHOWN IN CONFORMANCE WITH THE MASSACHUSETTS WETLAND PROTECTION ACT.
6.	BUILDINGS SHOWN WITHIN THE PROPERTY BOUNDARIES ON THE EXISTING CONDITIONS PLAN HAVE BEEN DEMOLISHED, WITH THE EXCEPTION OF THE STONE BUILDING THAT IS BEING RELOCATED.
Document Use	
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Fieldstone Way

135 Great Plain Avenue
Wellesley, Massachusetts

No.	Revision	Date	Appvd.
1	Layout Updates	8/30/18	CRQ

Designed by
WNM

Checked by
CRQ

Issued for


Date

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Drawing Title

Legend and
General Notes

Drawing Number



C-1

Sheet
1 of 8

Project Number
13936.00



101 Walnut Street
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Zoning Summary Chart

Zoning District(S):	Single Residence 20	
Zoning Regulation Requirements	Required	Provided
MINIMUM LOT AREA	20,000 SF	525,031 SF
FRONTAGE	60 Feet	450 Feet
FRONT YARD SETBACK	30 Feet	13.7 Feet
SIDE YARD SETBACK	20 Feet	22.7 Feet
REAR YARD SETBACK	20 Feet	144.3 Feet
MINIMUM LOT WIDTH	60 Feet	450 Feet
MAXIMUM BUILDING COVERAGE	15.0%	13.3%

Sign Summary

M.U.T.C.D. Number	Specification Width	Height	Desc.
R1-1	30"	30"	
R7-8	12"	18"	
R7-8P	12"	6"	

Legend

AFFORDABLE UNIT



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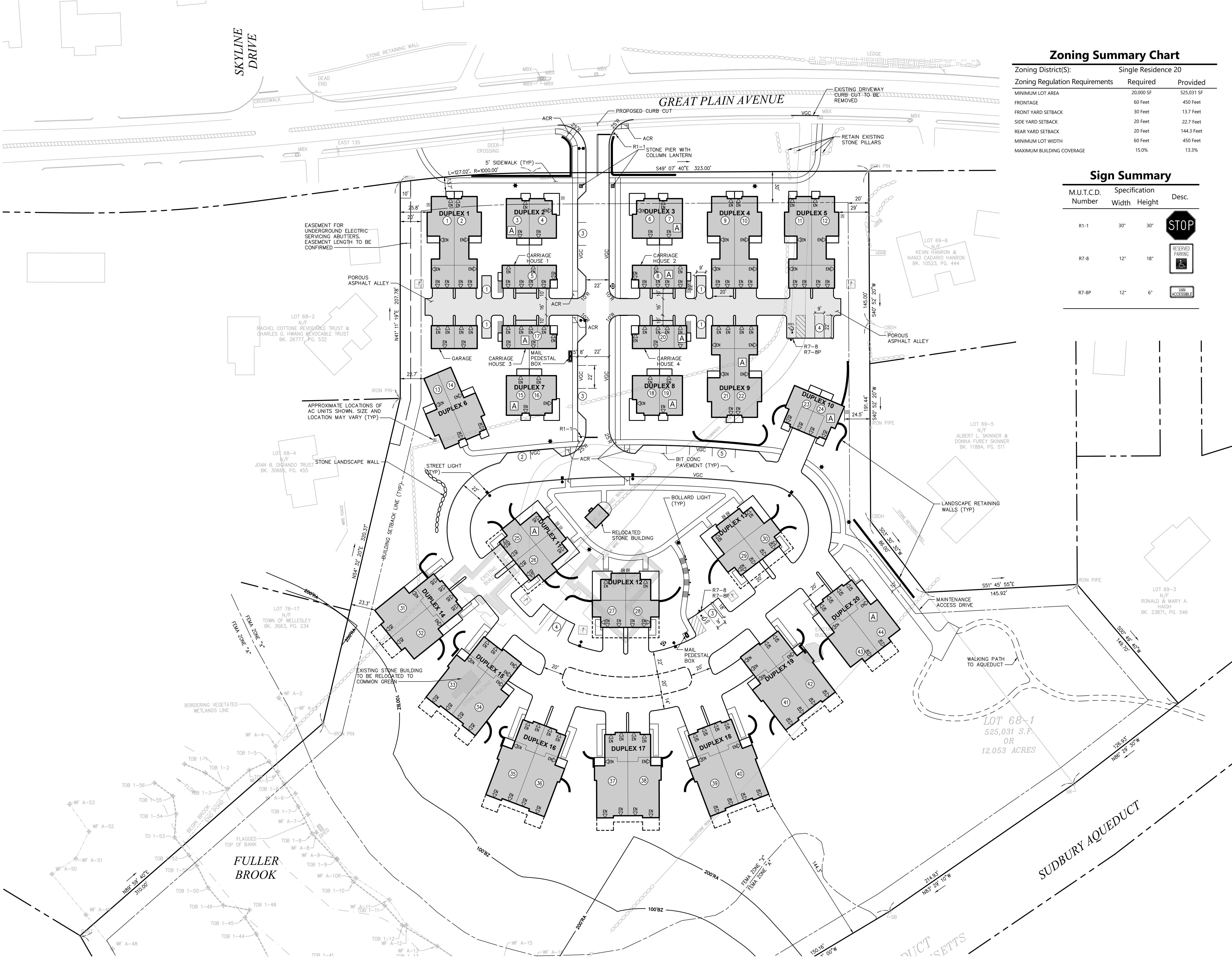
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Layout and
Materials Plan

C-2

Sheet 2 of 8

Project Number
13936.00





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Notes

1. DRAINAGE
 - 1.1. STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE (HDPE).
 - 1.2. PIPE INVERTS WILL BE SET TO MEET MINIMUM COVER, SLOPE AND CAPACITY REQUIREMENTS.
 - 1.3. ROOF DRAINS ARE TO BE ROUTED TO THE DETENTION AND INFILTRATION SYSTEMS AS INDICATED IN THE STORMWATER MANAGEMENT REPORT.
 - 1.4. REFER TO THE PROJECT'S STORMWATER MANAGEMENT REPORT FOR ADDITIONAL INFORMATION ABOUT THE DRAINAGE COLLECTION AND TREATMENT SYSTEM AND CONFORMANCE TO THE STATE STORMWATER STANDARDS.



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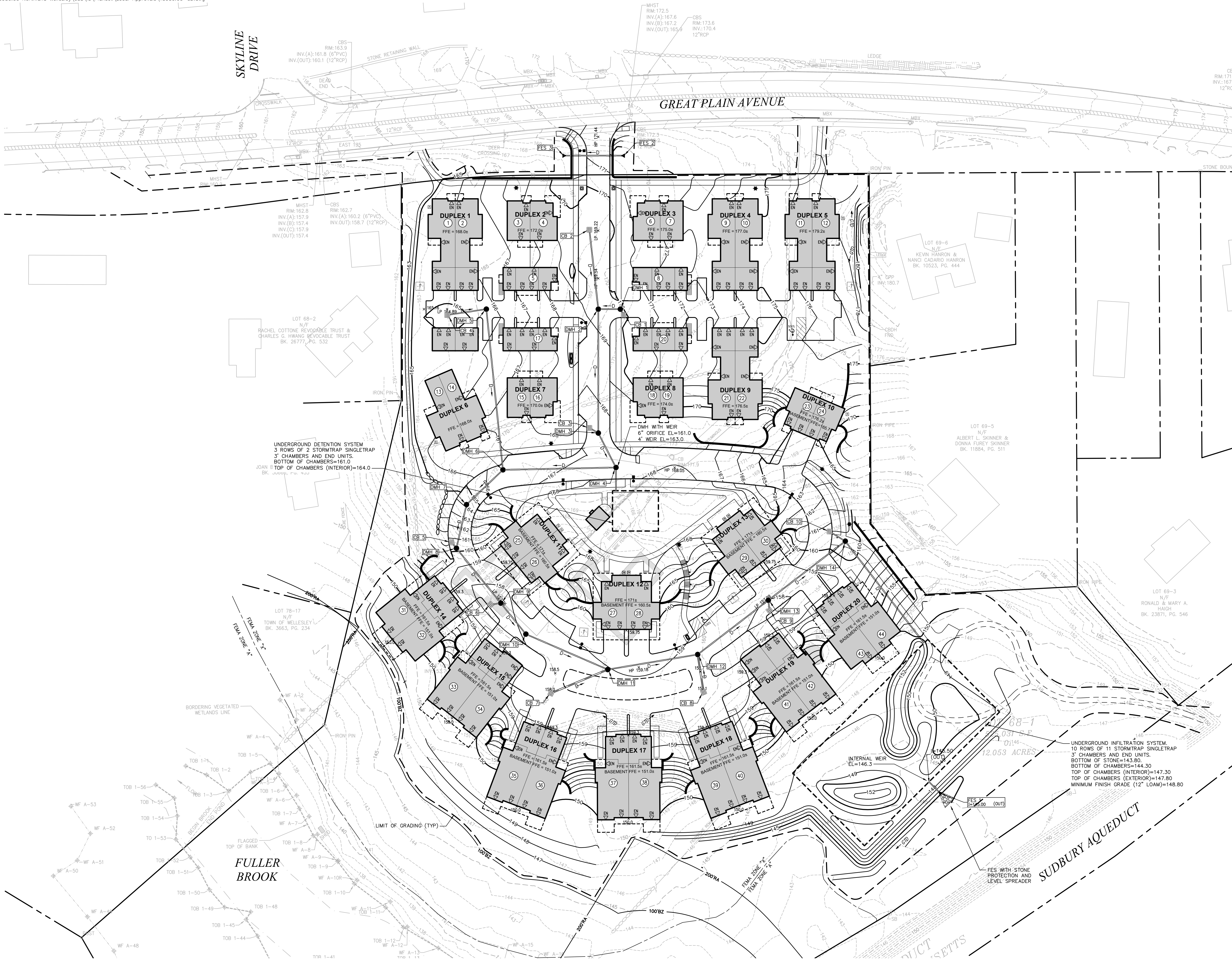
Grading and
Drainage Plan

Project Number
13936.00

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Professional Engineer
Curtis R. Quitzau
No. 42609
State of Massachusetts





101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770

Notes

1. DRAINAGE
 - 1.1. STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE (HDPE).
 - 1.2. PIPE INVERTS WILL BE SET TO MEET MINIMUM COVER, SLOPE AND CAPACITY REQUIREMENTS.
 - 1.3. ROOF DRAINS ARE TO BE ROUTED TO THE DETENTION AND INFILTRATION SYSTEMS AS INDICATED IN THE STORMWATER MANAGEMENT REPORT.
 - 1.4. REFER TO THE PROJECT'S STORMWATER MANAGEMENT REPORT FOR ADDITIONAL INFORMATION ABOUT THE DRAINAGE COLLECTION AND TREATMENT SYSTEM AND CONFORMANCE TO THE STATE STORMWATER STANDARDS.
2. SEWER
 - 2.1. SANITARY SEWER PIPES SHALL BE POLYVINYL CHLORIDE (PVC) SDR-35 SEWER PIPE.
 - 2.2. SEWER PIPE INVERTS WILL BE SET TO MEET MINIMUM COVER, SLOPE AND CAPACITY REQUIREMENTS.
3. WATER PIPES SHALL BE CLASS 52 CEMENT LINED DUCTILE IRON.
4. ELECTRIC, GAS AND TELECOM STRUCTURES AND PIPE/CONDUIT SHALL MEET THE INDIVIDUAL UTILITY PROVIDER REQUIREMENTS.



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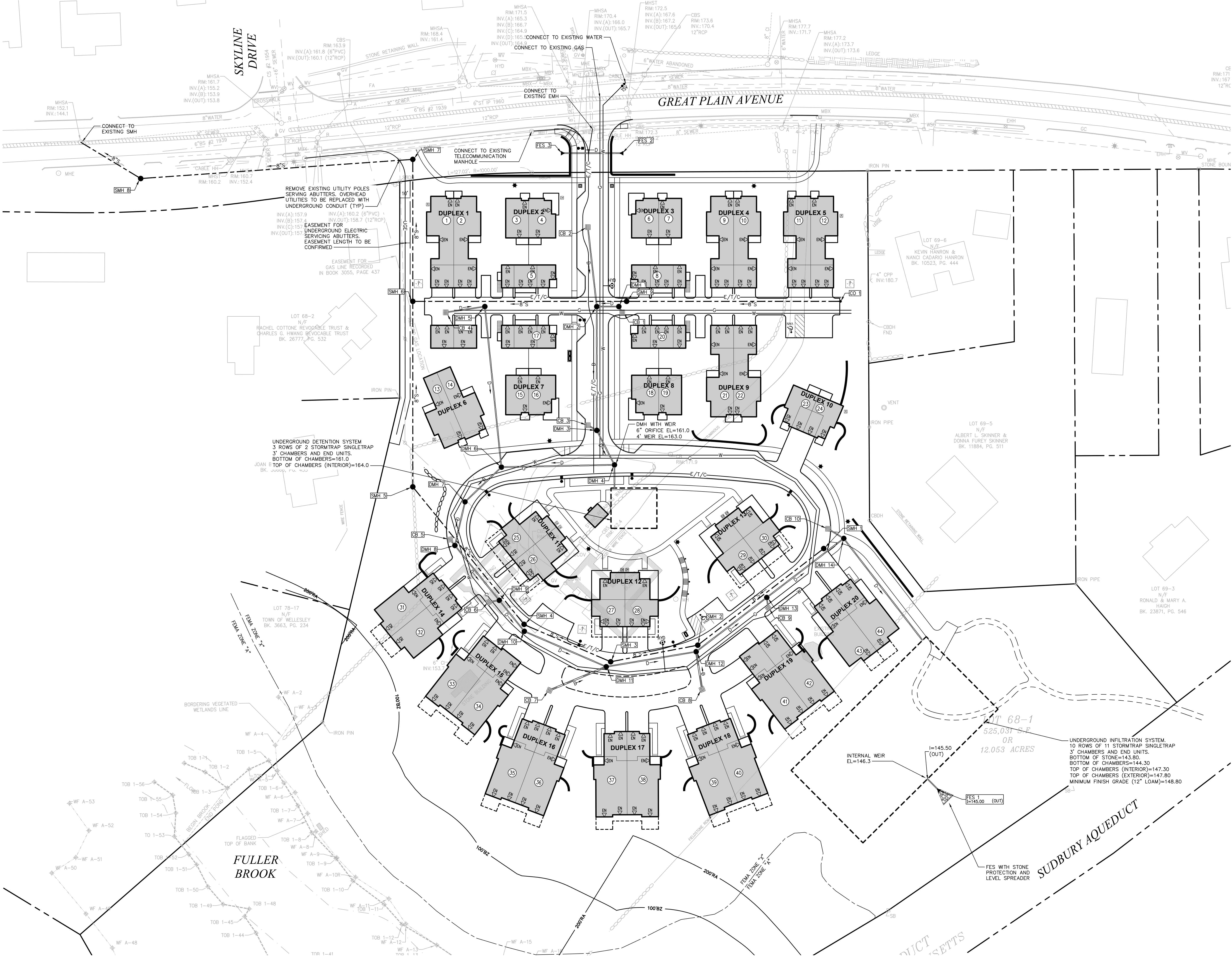
Drawing Title
Utility Plan

Project Number
13936.00

Sheet
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C-4

Professional Engineer
CURTIS R. QUITZAU
No. 42609
Professional Engineer



General Requirements:

1. THIS PROJECT DISTURBS MORE THAN ONE ACRE OF LAND AND FALLS WITHIN THE NPDES CONSTRUCTION GENERAL PERMIT (CGP) PROGRAM AND EPA JURISDICTION. PRIOR TO THE START OF CONSTRUCTION, CONSTRUCTION MANAGER IS TO FILE CGP NOTICE OF INTENT WITH THE EPA AND PREPARE A STORMWATER POLLUTION PREVENTION PLAN IN ACCORDANCE WITH THE NPDES REGULATIONS. CONSTRUCTION MANAGER SHALL CONFIRM THE OWNER HAS ALSO FILED A NOTICE OF INTENT WITH THE EPA.
2. THE CONTRACTOR IS RESPONSIBLE FOR THE IMPLEMENTATION, INSPECTION, AND REPAIR OF THE EROSION CONTROLS. THE OWNER SHALL BE RESPONSIBLE FOR INSPECTION AND OPERATION OF THE STORM WATER MANAGEMENT SYSTEM UPON COMPLETION OF CONSTRUCTION.
3. THE CONTRACTOR SHALL LIMIT THE EXTENT OF DISTURBANCE AND STABILIZE SURFACES AS SOON AS POSSIBLE. THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN UNTREATED OR UNVEGETATED CONDITION FOR A MINIMUM TIME. AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 15 DAYS OF FINAL GRADING (7 DAYS IF WITHIN 100 FEET OF A STREAM, POND OR WETLAND).
4. THE CONTRACTOR MAY ELECT TO CONSTRUCT TEMPORARY DIVERSION SWALES AND SETTLING BASINS IN PRESENTLY DISTURBED AREAS.
5. AT NO TIME SHALL SILT-LADEN WATER BE ALLOWED TO ENTER SENSITIVE AREAS (OFF-SITE AREAS, WETLAND RESOURCE AREAS, DRAINAGE SYSTEMS AND STORMWATER MANAGEMENT AREAS). ANY RUNOFF FROM DISTURBED SURFACES SHALL BE DIRECTED THROUGH SETTLING BASINS, FILTERED CATCH BASIN INLETS AND EROSION CONTROL BARRIERS PRIOR TO ENTERING ANY SENSITIVE AREAS.
6. REFUELING OF CONSTRUCTION VEHICLES AND EQUIPMENT SHALL NOT BE CONDUCTED IN PROXIMITY TO CATCH BASINS.
7. NO ON-SITE DISPOSAL OF SOLID WASTE, INCLUDING BUILDING MATERIALS, IS ALLOWED.
8. NO MATERIALS SHALL BE DISPOSED OF INTO THE EXISTING OR PROPOSED DRAINAGE SYSTEMS. ALL CONTRACTORS, INCLUDING CONCRETE SUPPLIERS, PAINTERS AND PLASTERERS, SHALL BE INFORMED THAT THE CLEANING OF EQUIPMENT IS PROHIBITED IN AREAS WHERE THE WASH-WATER WILL DRAIN DIRECTLY TO DRAINAGE SYSTEMS.
9. CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL, WHICH SHALL INCLUDE STREET SWEEPING OF ALL PAVED SURFACES WITHIN THE SITE AND OFF-SITE AREAS THAT ARE IMPACTED BY SITE CONSTRUCTION ON A REGULAR BASIS, AS NEEDED.
10. ALL SITE WORK SHALL BE STABILIZED AT THE END OF THE WORK DAY OR PRIOR TO ANTICIPATED CONDITIONS WHICH COULD CAUSE EROSION OR AIR-BORNE SEDIMENT PROBLEMS (I.E., RAIN, HIGH WINDS, EXPOSED SURFACES OR STEEP SLOPES).

Pre-Construction:

1. AN EROSION CONTROL BARRIER (SILT FENCE, STRAW WATTLE OR SILT SOCK) SHALL BE INSTALLED TO LIMIT THE AREA OF DISTURBANCE. THIS IS ESPECIALLY IMPORTANT ON PORTIONS OF THE SITE ADJACENT TO SENSITIVE AREAS. THESE BARRIERS SHALL REMAIN IN PLACE UNTIL ALL TRIBUTARY SURFACES HAVE BEEN FULLY STABILIZED. INSTALL EROSION CONTROL BARRIER TO AVOID EXISTING TREES AND UNDERBRUSH TO MAXIMUM EXTENT POSSIBLE.
2. TEMPORARY STONE ACCESS AREAS SHALL BE ESTABLISHED AT THE DRIVEWAY ENTRANCES TO COLLECT ENTRAPPED SOILS AND SEDIMENT FROM CONSTRUCTION AND SERVICE VEHICLES ENTERING AND LEAVING THE SITE. THE STONE SHALL BE REPLACED REGULARLY AS WELL AS WHEN THE STONE IS SILT LADEN. THE CONSTRUCTION ENTRANCES SHALL BE LEFT IN PLACE UNTIL THE PERMANENT DRIVEWAY SURFACE IS INSTALLED.
3. THE CONTRACTOR SHALL ESTABLISH STAGING AREAS WITHIN THE AREA OF DISTURBANCE FOR THE OVERNIGHT STORAGE OF EQUIPMENT AND STOCKPIILING OF MATERIALS.
4. CONSTRUCTION MATERIALS SHALL BE PILED IN SUCH A MANNER AS NOT TO CONCENTRATE RUNOFF.
5. IN THE STAGING AREA, THE CONSTRUCTION MANAGER SHALL HAVE A STOCKPILE OF MATERIALS REQUIRED TO CONTROL EROSION ON-SITE TO BE USED TO SUPPLEMENT OR REPAIR EROSION CONTROL DEVICES. THESE MATERIALS SHALL INCLUDE, BUT ARE NOT LIMITED TO, STRAW BALES, SILT FENCE AND CRUSHED STONE.
6. THE CONSTRUCTION MANAGER IS RESPONSIBLE FOR EROSION CONTROL ON SITE AND SHALL UTILIZE EROSION CONTROL MEASURES WHERE NEEDED AND WHEN NEEDED, REGARDLESS OF WHETHER THE MEASURES ARE SPECIFIED HEREIN OR IN CONDITIONS ISSUED BY PERMITTING AUTHORITIES.

Preliminary Site Work:

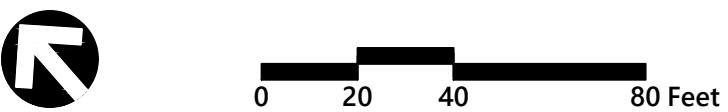
1. MATERIAL REMOVED SHOULD BE STOCKPILED, SEPARATING THE TOPSOIL FOR FUTURE USE ON THE SITE. EROSION CONTROLS SHALL BE UTILIZED ALONG THE DOWN SLOPE SIDE OF THE PILES IF THE PILES ARE TO REMAIN MORE THAN THREE WEEKS. RUNOFF SHALL BE DIRECTED AWAY FROM STOCKPILES.
2. STOCKPILES SHALL BE LOCATED WITHIN THE LIMITS OF DISTURBANCE, IN AREAS OF MINIMAL IMPACT.
3. IF INTENSE RAINFALL IS ANTICIPATED, THE INSTALLATION OF SUPPLEMENTAL SILT FENCES, OR ARMORED DIKES SHALL BE UTILIZED.

Drainage System:

1. THE DRAINAGE SYSTEM SHALL BE INSTALLED FROM THE DOWNSTREAM END UP. SEDIMENT SHALL NOT BE ALLOWED TO ENTER THE SYSTEM. UNSTABILIZED RUNOFF SHALL NOT BE ALLOWED TO DIRECTLY ENTER DRAINAGE SYSTEM FROM UNSTABILIZED SURFACES.
2. FOR THE LONG-TERM FUNCTION OF THE INFILTRATION BASIN(S)/STRUCTURE(S), CARE SHALL BE TAKEN IN THE INFILTRATION AREAS. DURING CONSTRUCTION THE CONTRACTOR SHALL EMPLOY THE FOLLOWING MINIMUM BEST MANAGEMENT PRACTICES (BMPs):
 - 2.1. INFILTRATION AREAS SHALL NOT BE USED AS TEMPORARY CONSTRUCTION SEDIMENTATION BASINS WITHOUT THE PRIOR APPROVAL OF THE ENGINEER. IF INFILTRATION AREAS ARE USED AS TEMPORARY SEDIMENTATION BASINS DURING CONSTRUCTION, THEN THE SOILS SHALL BE EXCAVATED A MINIMUM OF 2' FROM THE TEMPORARY BASIN BOTTOM TO REMOVE CLOGGED SOILS.
 - 2.2. STORMWATER RUNOFF FROM EXPOSED SURFACES SHALL BE DIRECTED AWAY FROM THE INFILTRATION BASIN(S)/STRUCTURE(S) DURING CONSTRUCTION
 - 2.3. CONSTRUCTION EQUIPMENT, VEHICULAR TRAFFIC, PARKING OF VEHICLES, AND STOCKPILING OF CONSTRUCTION MATERIALS SHALL BE LOCATED OUTSIDE OF THE INFILTRATION AREAS.
 - 2.4. EXCAVATION FOR CONSTRUCTION OF THE INFILTRATION BASIN(S)/STRUCTURE(S) SHALL ENSURE THAT THE SOIL AT THE BOTTOM OF THE EXCAVATION IS NOT COMPACTED OR SMEARED.
 - 2.5. THE PERIMETER OF THE INFILTRATION AREAS SHALL BE STAKED AND FLAGGED TO PREVENT THE USE OF THE AREA FOR ACTIVITIES THAT MIGHT DAMAGE THE INFILTRATION ABILITY OF THE SYSTEM.
3. SILT FENCES SHALL BE INSTALLED AT THE OUTFALLS OF ALL TEMPORARY BASINS AND SWALES. THEY SHALL REMAIN IN PLACE UNTIL ALL TRIBUTARY AREAS ARE STABILIZED.
4. UNTIL TRIBUTARY AREAS ARE STABILIZED FILTERED CATCH BASIN SILT SACKS SHALL COVER CATCH BASINS TO MINIMIZE SILTATION IN THE CATCH BASINS.
5. TRENCH EXCAVATIONS SHALL BE LIMITED TO THE MINIMUM LENGTH REQUIRED FOR DAILY PIPE INSTALLATION. ALL TRENCHES SHALL BE BACKFILLED AS SOON AS POSSIBLE. THE ENDS OF PIPES SHALL BE BLOCKED NIGHTLY WITH PLYWOOD.
6. IF UNSTABLE AREAS ARE ENCOUNTERED DUE TO NATURAL SPRINGS OR GROUNDWATER BREAKOUT, INTERCEPTOR DRAINS SHALL BE INSTALLED TO DIRECT THE RUNOFF INTO THE DRAINAGE SYSTEM.
7. ALL SWALES MUST BE MAINTAINED AND KEPT FREE OF OBSTRUCTIONS TO ALLOW UNIMPEDED FLOW.
8. THE BINDER COURSE OF PAVEMENT WITH BERMS SHALL BE INSTALLED AS SOON AS FEASIBLE AS THIS AREA WILL FUNCTION AS A CONDUIT FOR RUNOFF.
9. IMMEDIATELY FOLLOWING PAVING THE SHOULDERS SHALL BE GRADED, LOAMED AND SEEDED AND MULCHED IF NECESSARY. ALL SURFACES SHALL BE RAPIDLY AND THOROUGHLY STABILIZED TO THEIR FINAL CONDITION TO AVOID ENTRY OF SEDIMENTS IN THE DRAINAGE SYSTEM.
10. UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, CONTRACTOR SHALL REMOVE AND DISPOSE OF EROSION CONTROL MEASURES AND CLEAN SEDIMENT AND DEBRIS FROM ENTIRE DRAINAGE AND SEWER SYSTEMS.



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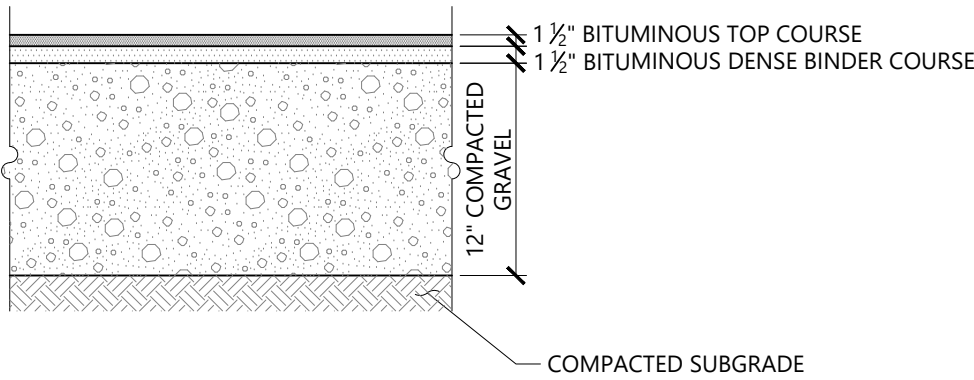
Erosion and Sediment Control Plan

Drawing Number:

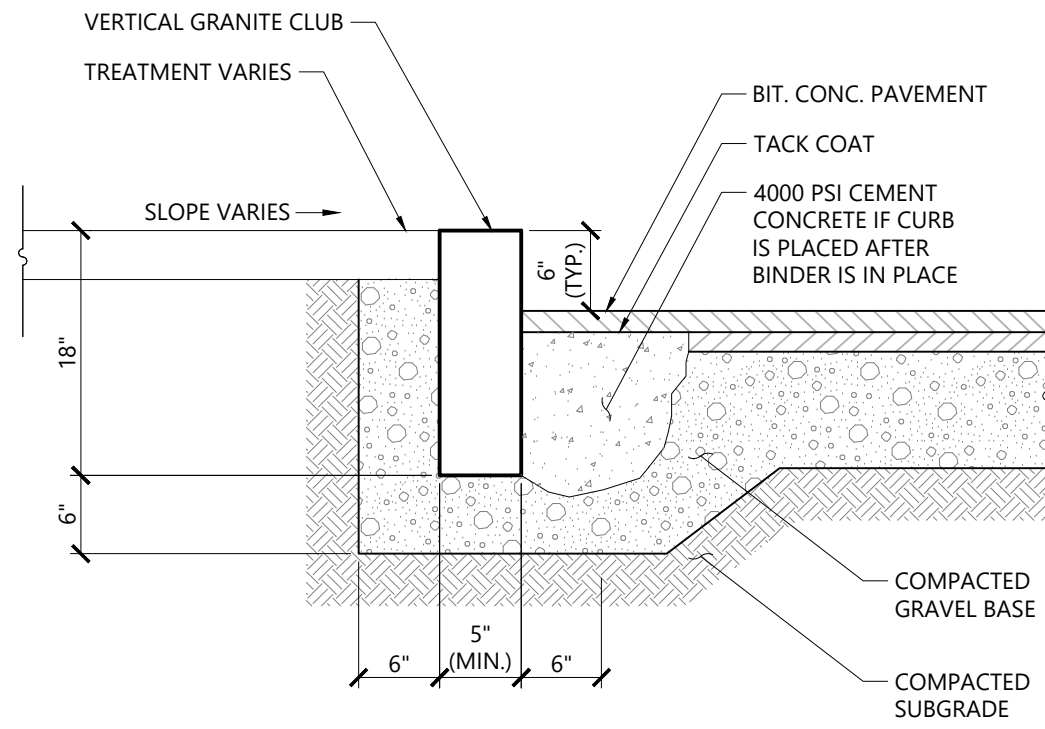
C-5

Sheet 5 of 8

Project Number
13936.00



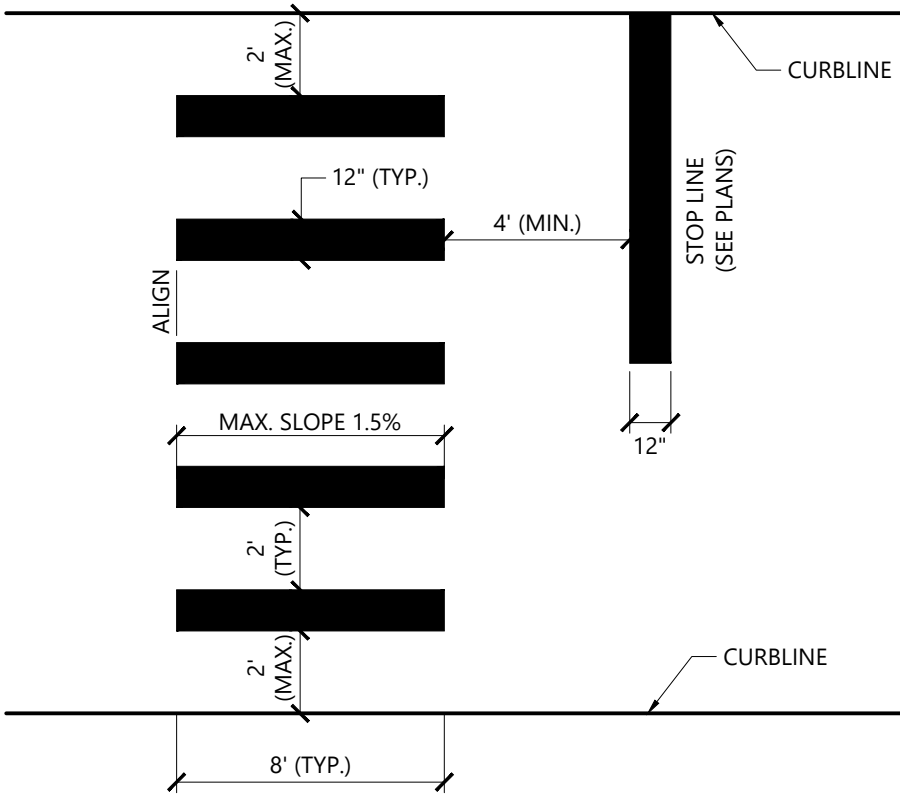
STANDARD DUTY FLEXIBLE PAVEMENT



Vertical Granite Curb (VGC)

1/16

LD_402



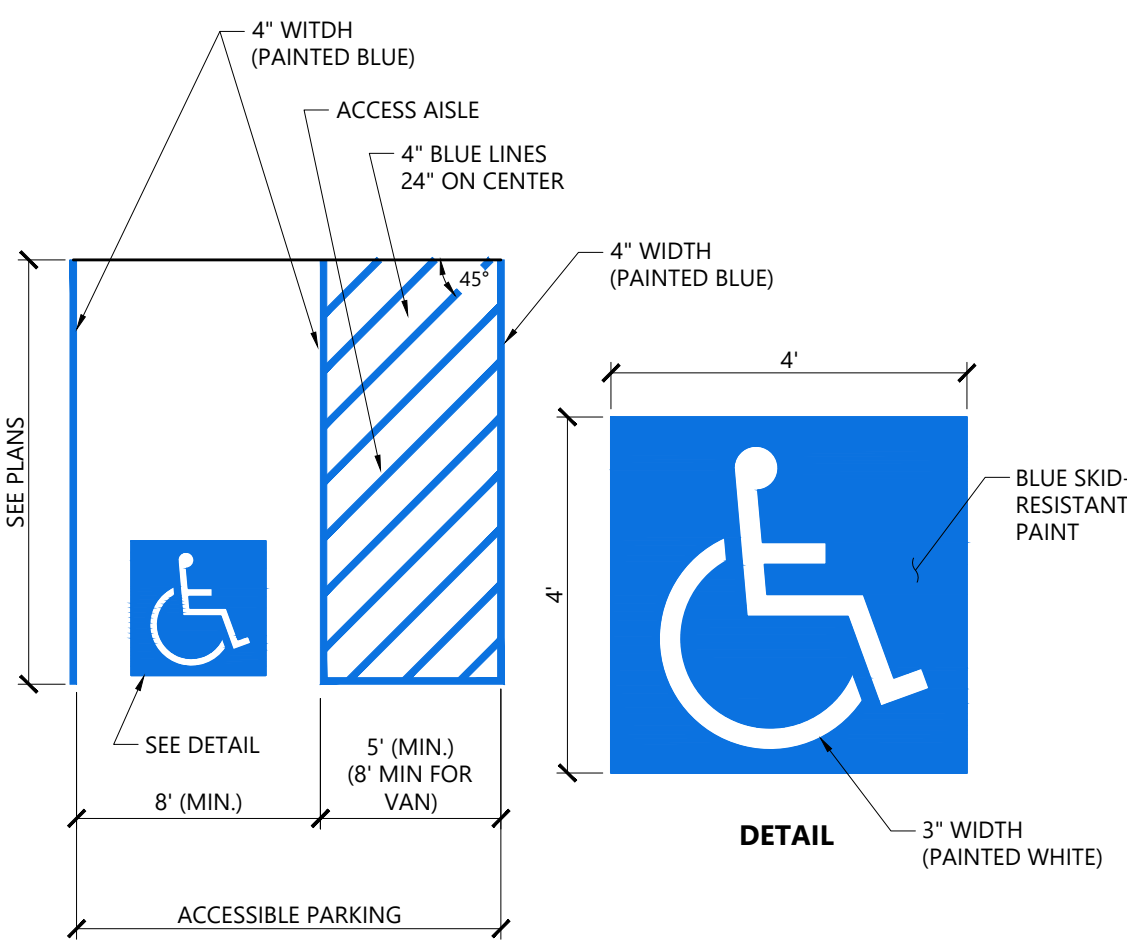
NOTES

1. TWELVE INCH (12") LINES SHALL BE APPLIED IN ONE APPLICATION, NO COMBINATION OF LINES (TWO - 6 INCH LINES) WILL BE ACCEPTED.
2. LONGITUDINAL CROSSWALK LINES TO BE PARALLEL TO CURBLINE.
3. ALL LONGITUDINAL CROSSWALK LINES TO BE THE SAME LENGTH AND PROPERLY ALIGNED.
4. CROSS WALK SIDESLOPE SHALL NOT EXCEED 1.5%.

Crosswalk

1/16

LD_553



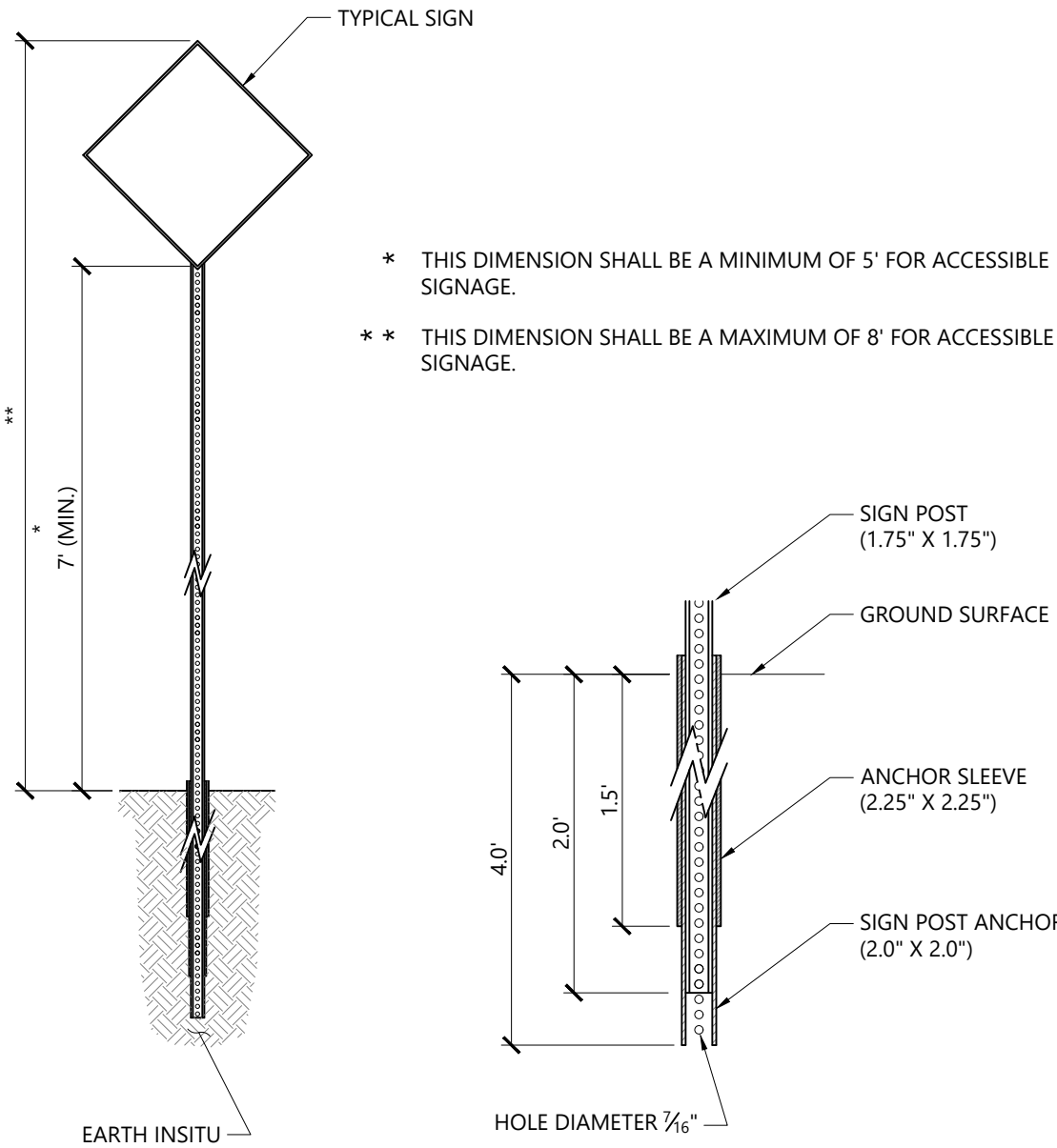
NOTES

1. ALL DIMENSIONS TO EDGES OF 4" PAVEMENT STRIPING.
2. 8' STALL WIDTH REFERS TO 8' CLEAR BETWEEN INSIDE EDGES OF PAVEMENT MARKINGS.
3. ALL SLOPES THROUGHOUT THE ACCESSIBLE PARKING AND AISLE AREAS SHALL NOT EXCEED 1.5%.
4. ACCESS AISLE MEASURED BETWEEN OUTSIDE EDGES OF PAVEMENT MARKINGS.

Accessible Parking Space

1/16

LD_552B



Sign Post - Type 'B'

1/16

N.T.S.

Source: VHB

LD_702

Fieldstone Way

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1	Layout Updates	8/30/18	CRQ

Designed by	Checked by
WNNM	CRQ

Issued for
Comprehensive Permit February 16, 2018
Application
Not Approved for Construction

Drawing Title
Site Details

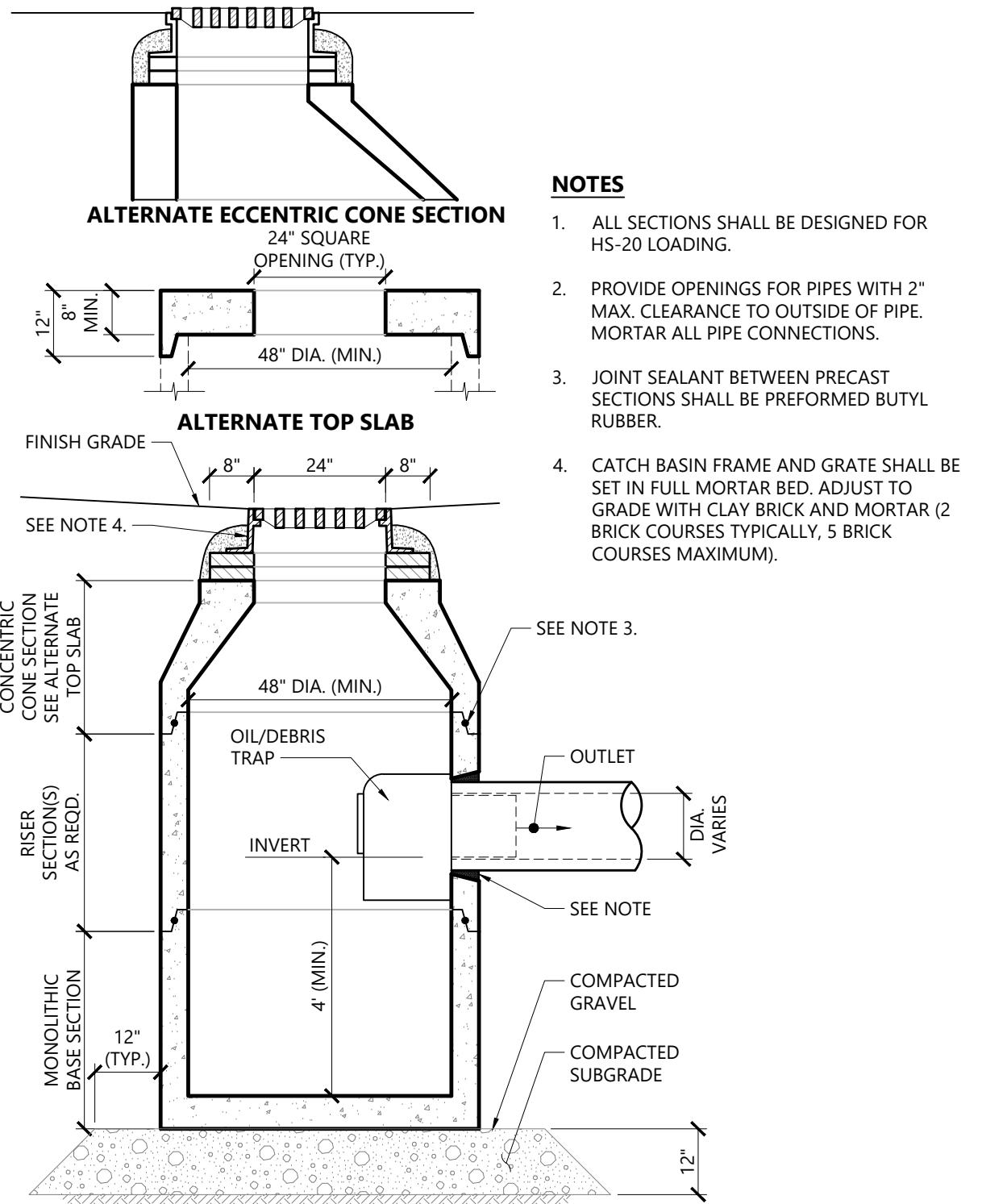
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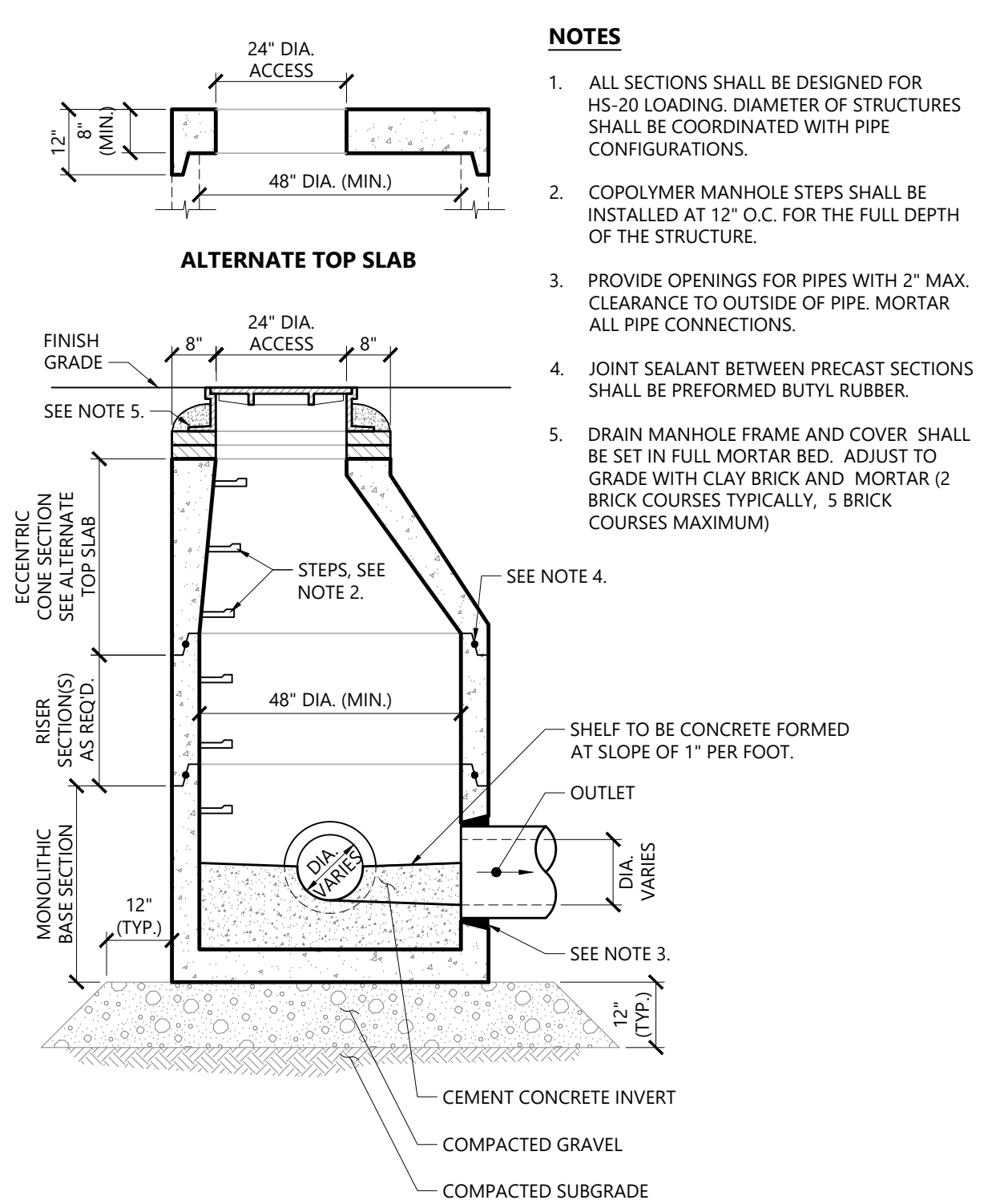
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Sheet 6 of 8

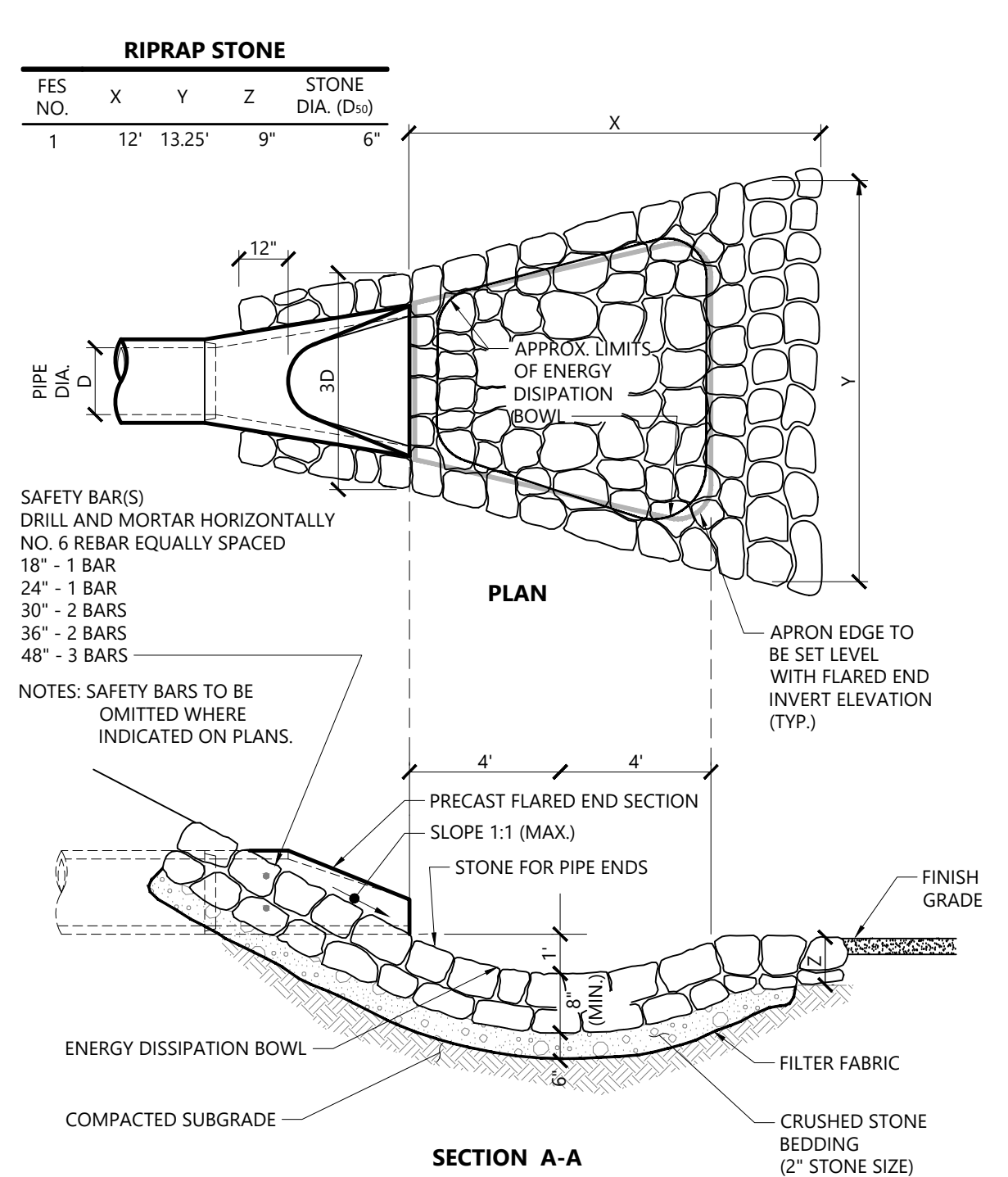
Project Number
13936.00



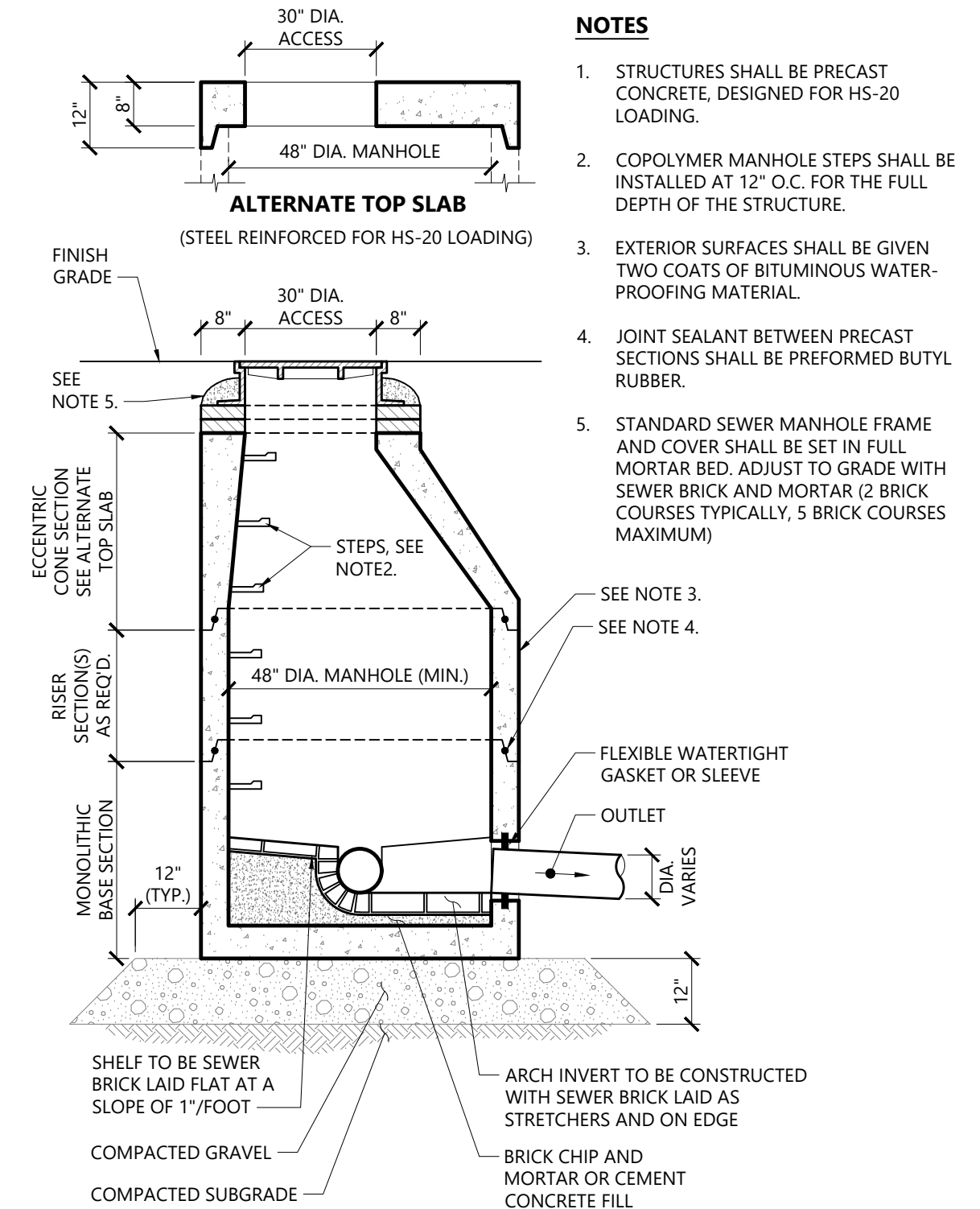
Catch Basin (CB) With Oil/Debris Trap 1/16
N.T.S. Source: VHB LD_101



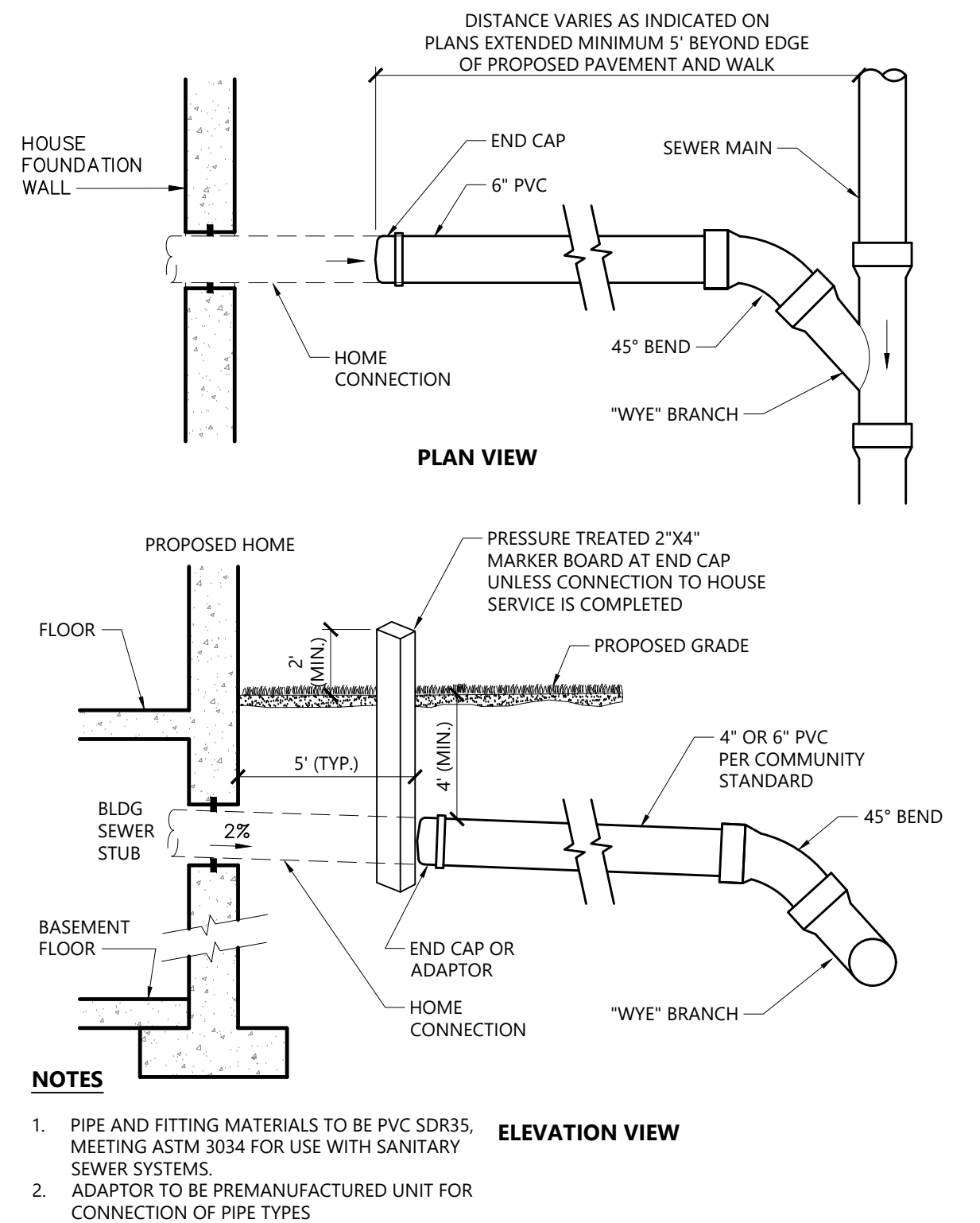
Drain Manhole (DMH) 1/16
N.T.S. Source: VHB LD_115



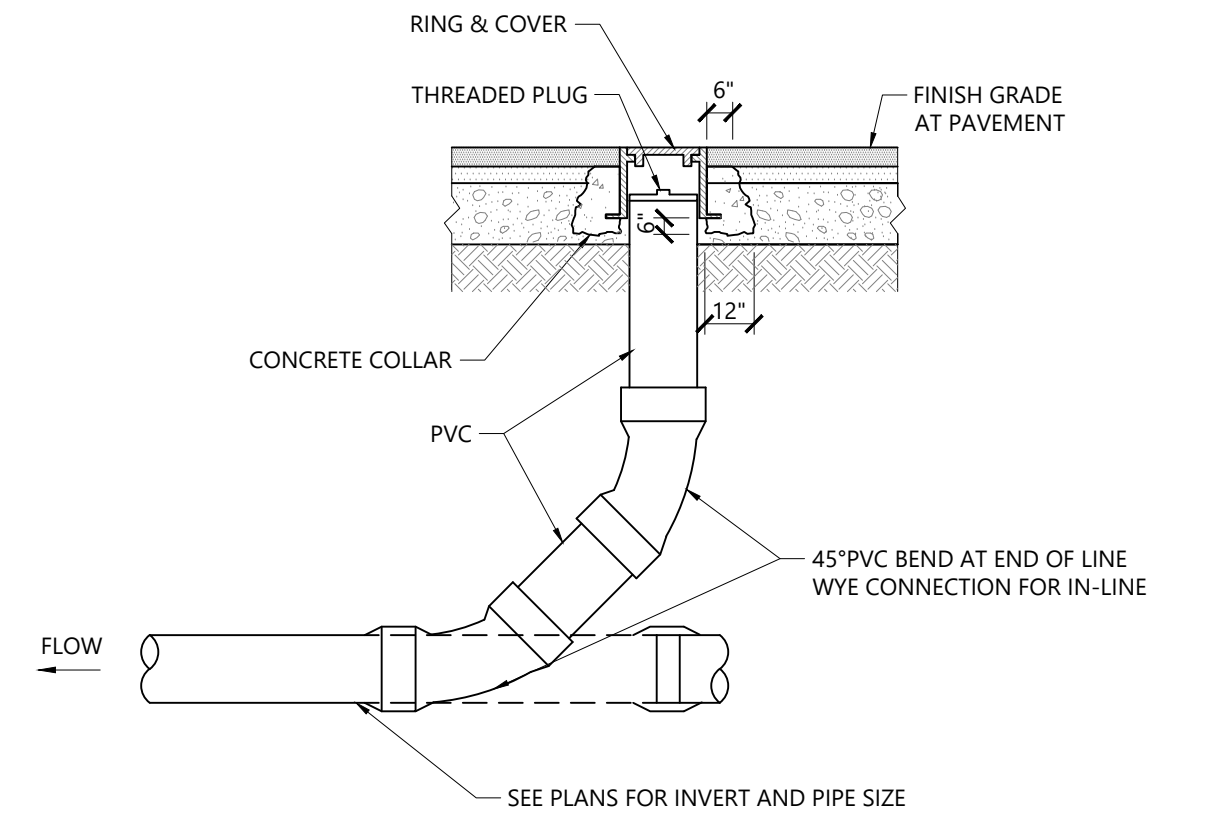
Flared End Section (FES) with Stone Protection 1/16
N.T.S. Source: VHB LD_134



Sanitary Sewer Manhole (SMH) 1/16
N.T.S. Source: VHB LD_200



Typical Wye Connection Detail (Residential) 1/16
N.T.S. Source: VHB LD_223



Cleanout - Paved Area 1/16
N.T.S. Source: VHB LD_303

Fieldstone Way
135 Great Plain Avenue
Wellesley, Massachusetts

No.	Revision	Date	Apprd.
1	Layout Updates	8/30/18	CRQ

Designed by	WNNM	Checked by	CRQ
Issued for		Date	

Comprehensive Permit February 16, 2018
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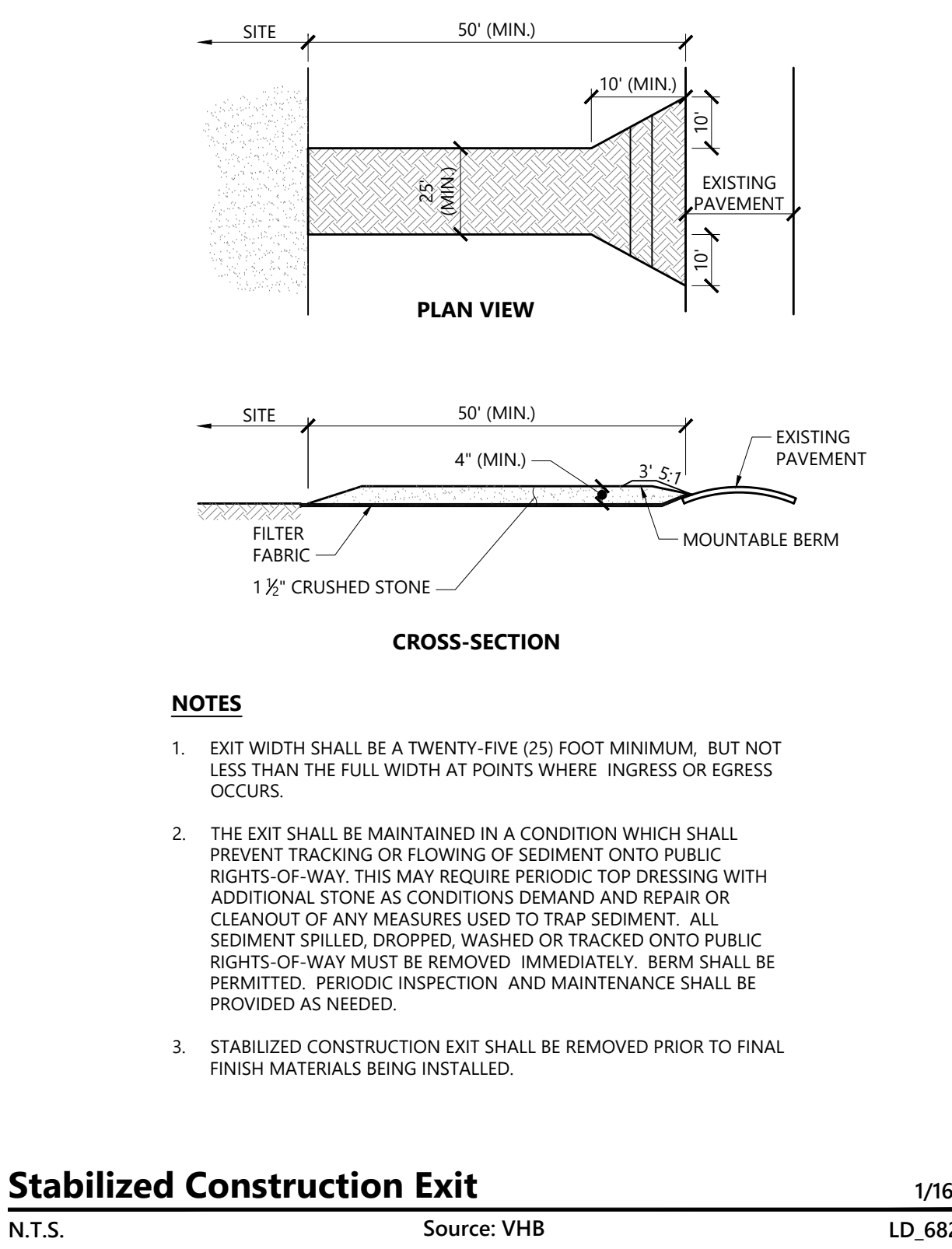
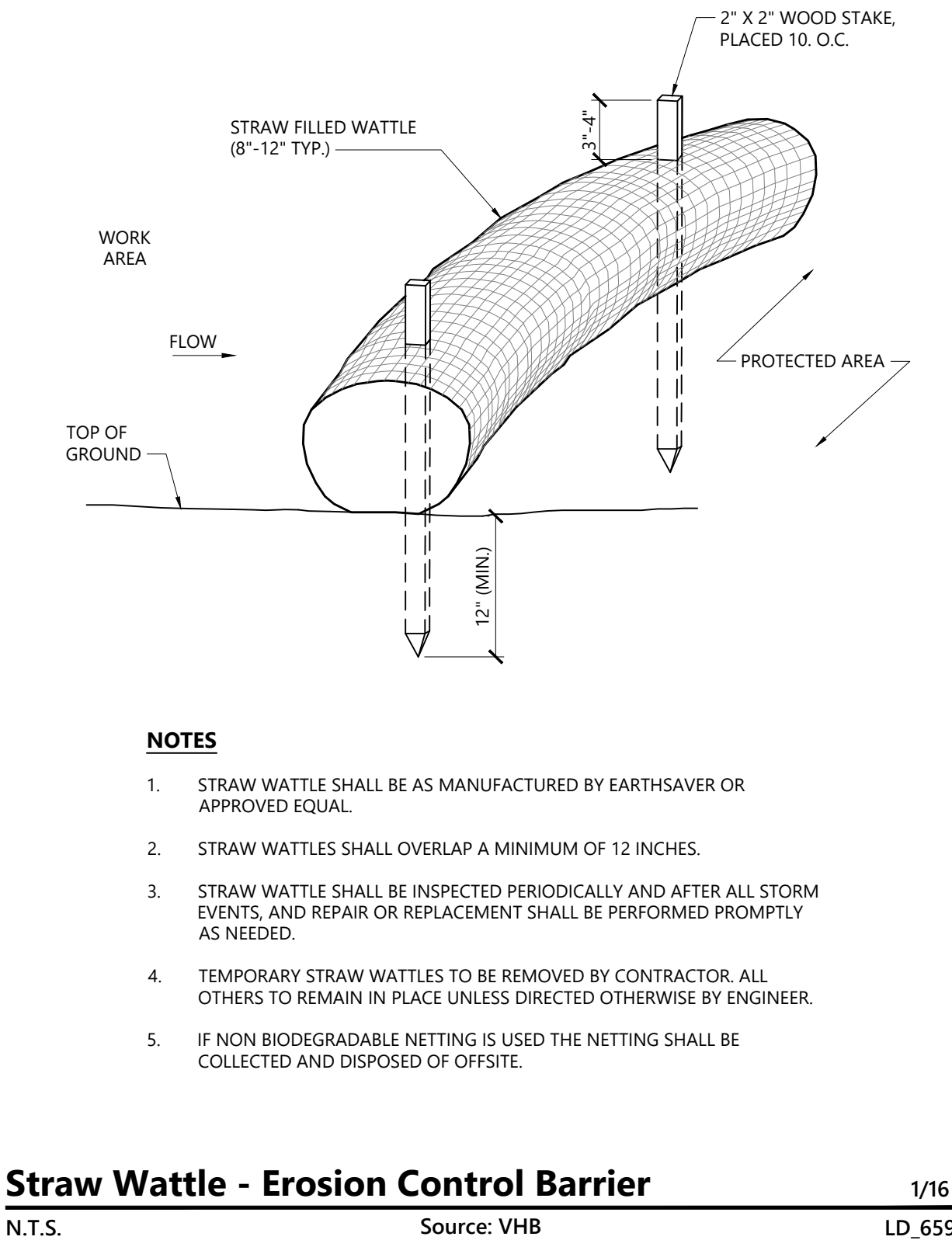
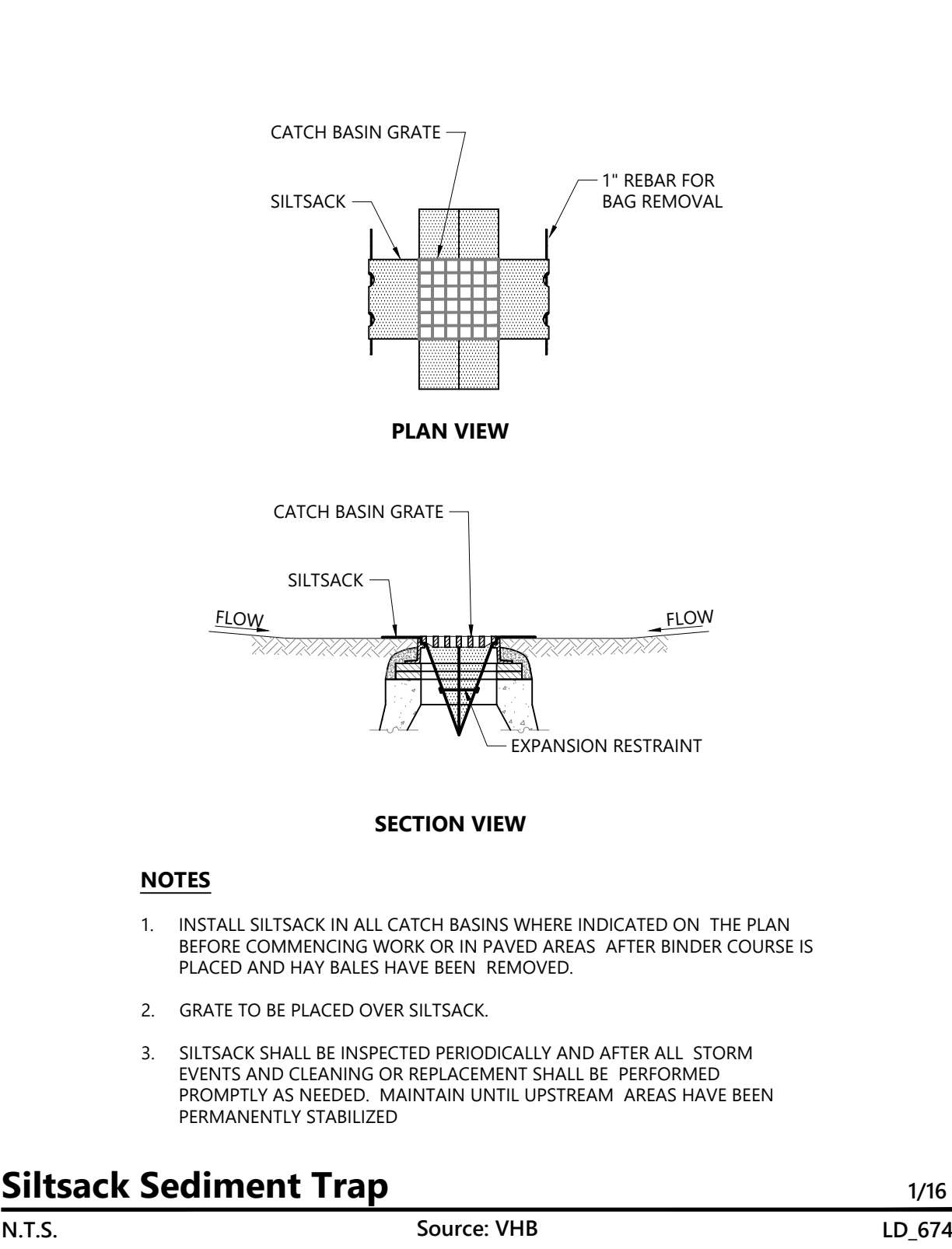
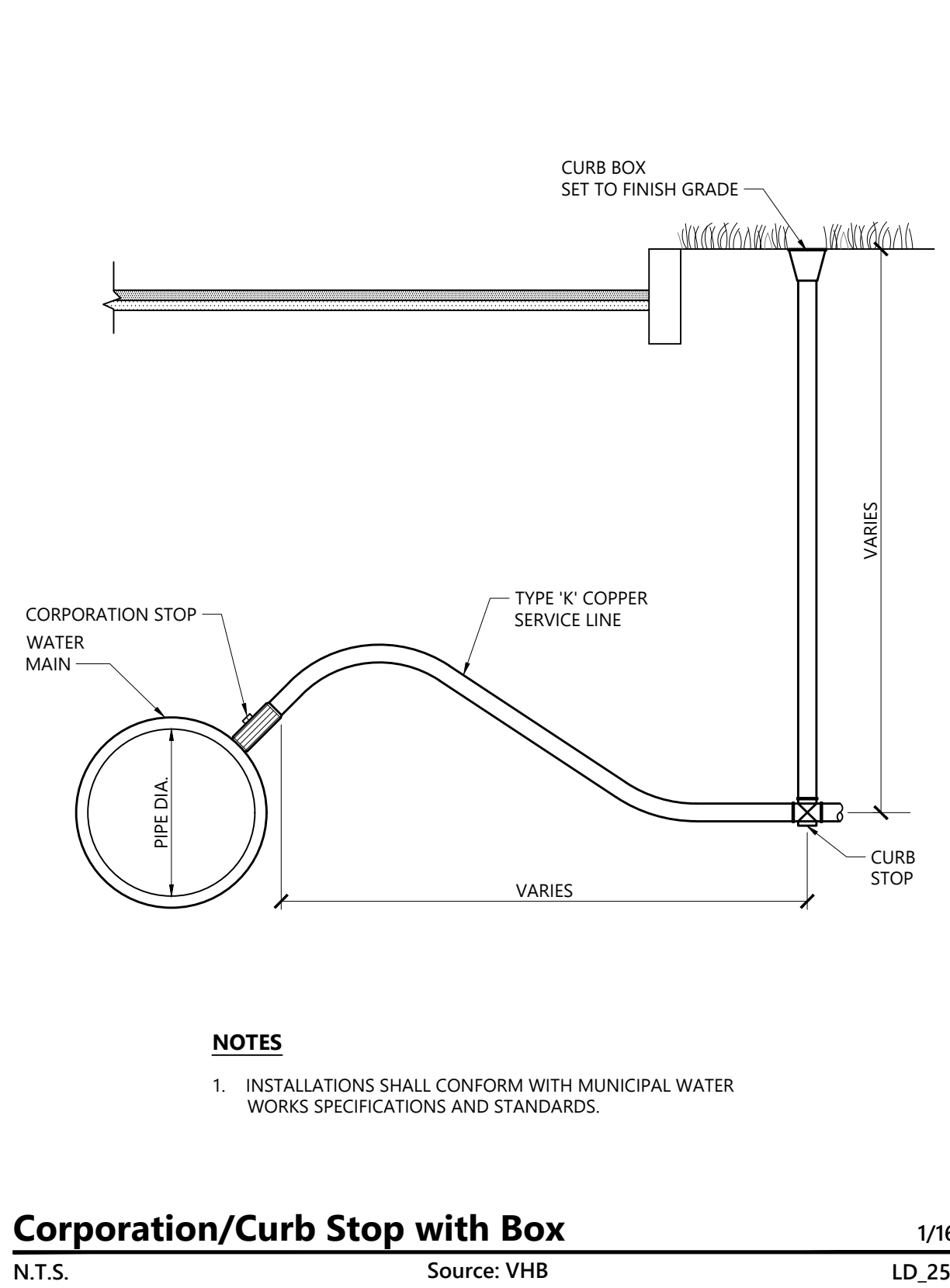
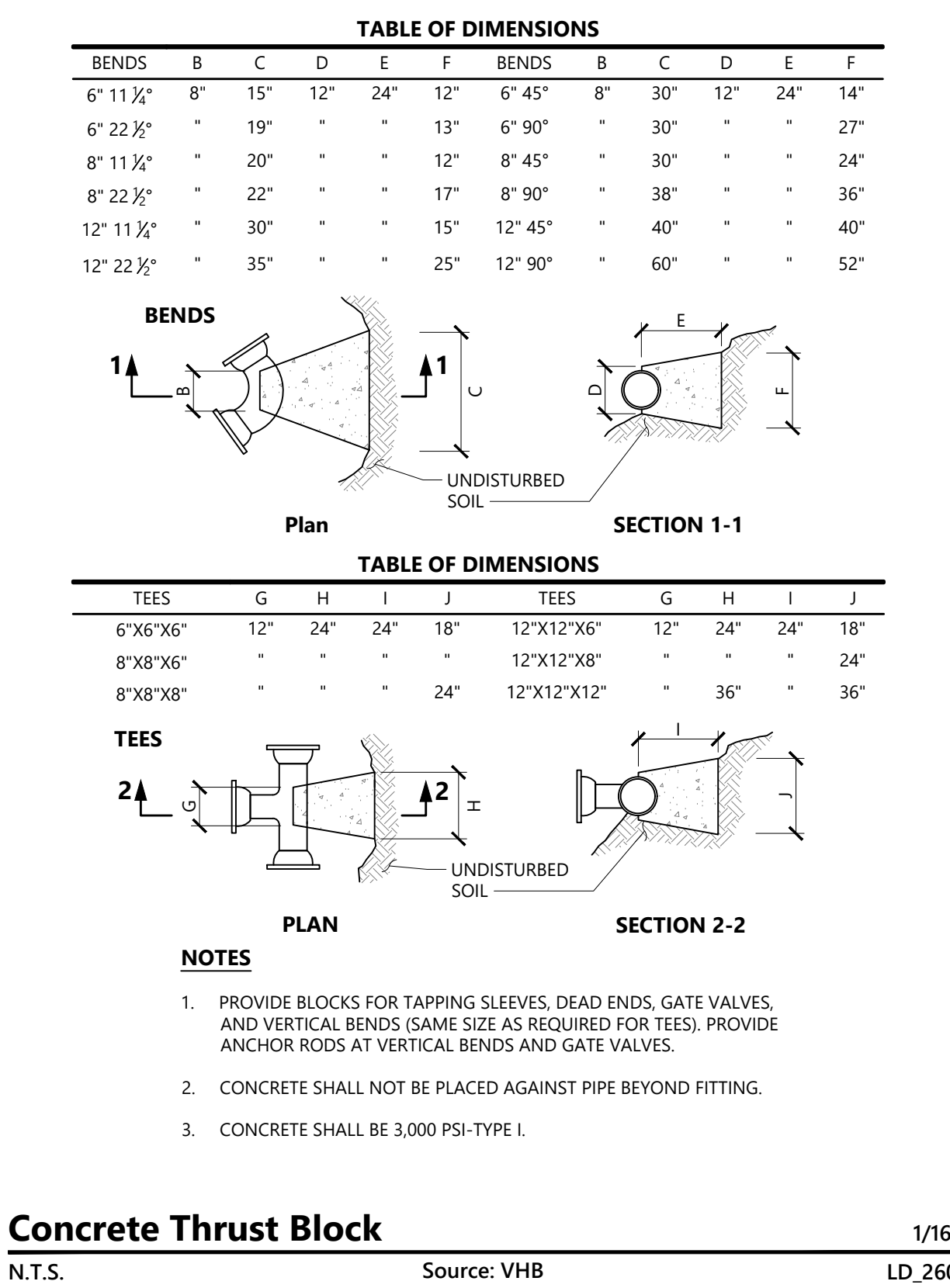
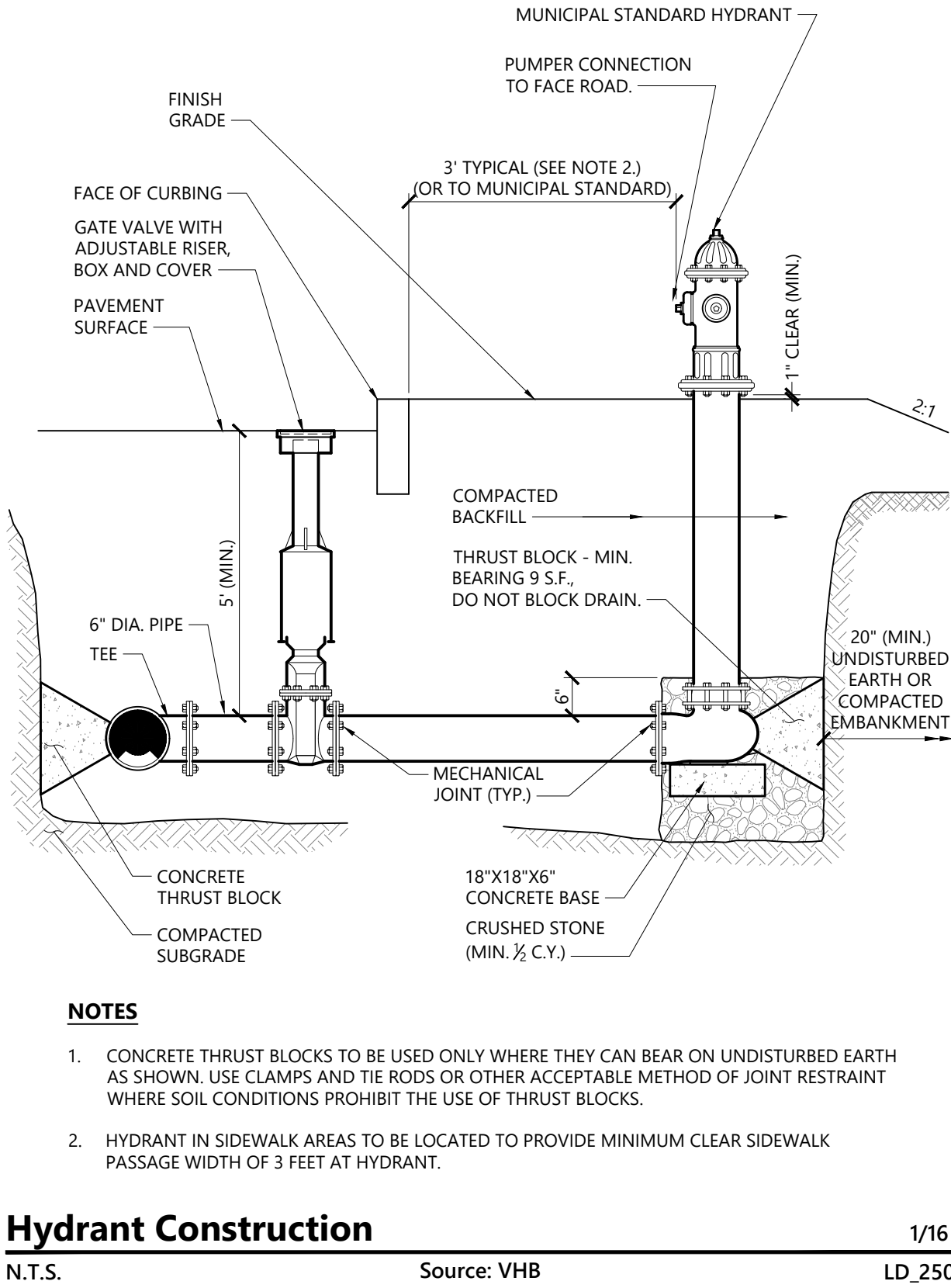
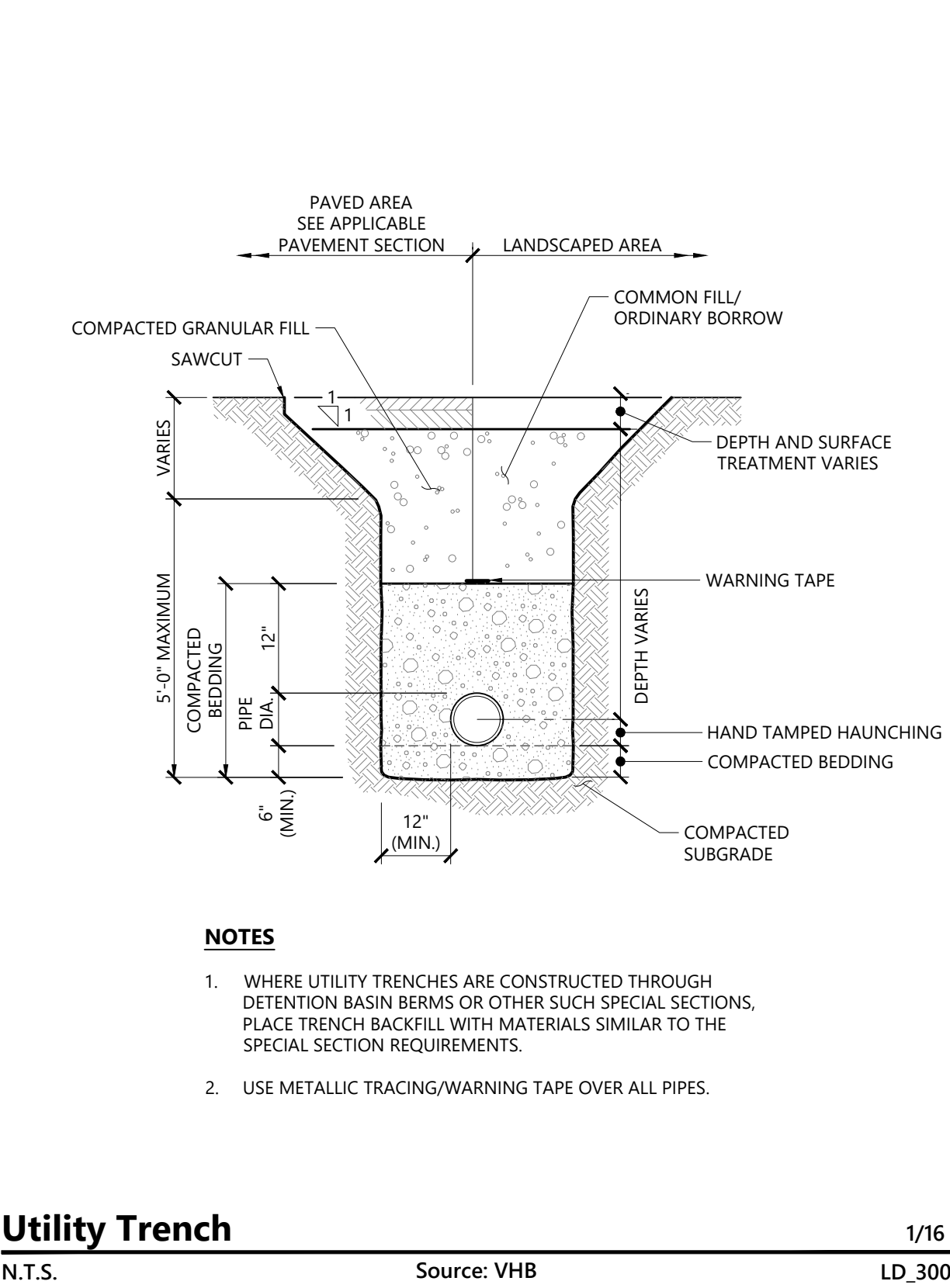
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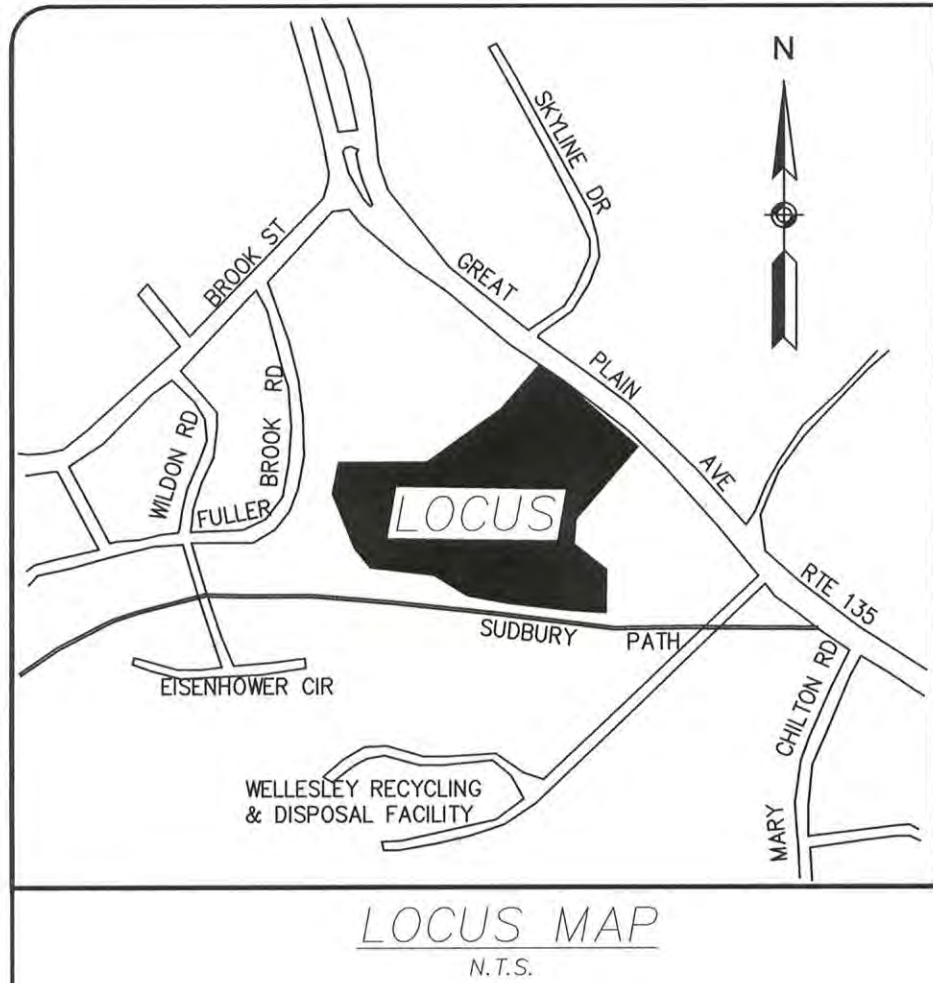
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Project Number
13936.00



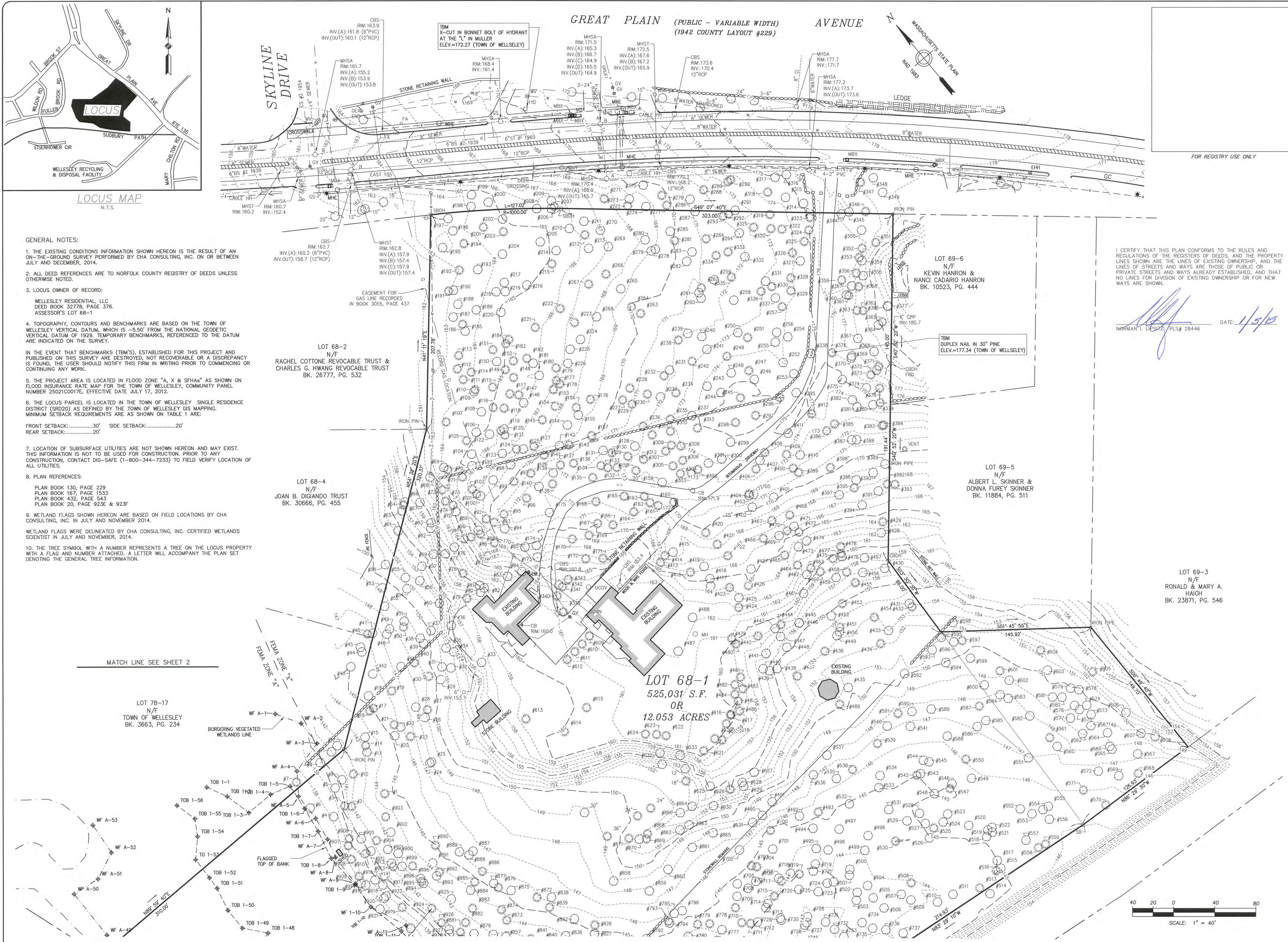
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GENERAL NOTES:

1. THE EXISTING CONDITIONS INFORMATION SHOWN HEREON IS THE RESULT OF AN ON-THE-GROUND SURVEY PERFORMED BY CHA CONSULTING, INC. ON OR BETWEEN JULY AND DECEMBER, 2014.
2. ALL DEED REFERENCES ARE TO NORFOLK COUNTY REGISTRY OF DEEDS UNLESS OTHERWISE NOTED.
3. LOCUS OWNER OF RECORD:
WELLESLEY RESIDENTIAL, LLC
DEED BOOK 32778, PAGE 376.
ASSESSOR'S LOT 68-1
4. TOPOGRAPHY, CONTOURS AND BENCHMARKS ARE BASED ON THE TOWN OF WELLESLEY VERTICAL DATUM, WHICH IS -5.50' FROM THE NATIONAL GEODETIC VERTICAL DATUM OF 1929. TEMPORARY BENCHMARKS, REFERENCED TO THE DATUM ARE INDICATED ON THE SURVEY.
- IN THE EVENT THAT BENCHMARKS (TBM'S), ESTABLISHED FOR THIS PROJECT AND PUBLISHED ON THIS SURVEY ARE DESTROYED, NOT RECOVERABLE OR A DISCREPANCY IS FOUND, THE USER SHOULD NOTIFY THIS FIRM IN WRITING PRIOR TO COMMENCING OR CONTINUING ANY WORK.
5. THE PROJECT AREA IS LOCATED IN FLOOD ZONE "A, X & SFHAs" AS SHOWN ON FLOOD INSURANCE RATE MAP FOR THE TOWN OF WELLESLEY, COMMUNITY PANEL NUMBER 25021C0017E, EFFECTIVE DATE JULY 17, 2012.
6. THE LOCUS PARCEL IS LOCATED IN THE TOWN OF WELLESLEY SINGLE RESIDENCE DISTRICT (SRD20) AS DEFINED BY THE TOWN OF WELLESLEY GIS MAPPING. MINIMUM SETBACK REQUIREMENTS ARE AS SHOWN ON TABLE 1 ARE:
FRONT SETBACK:.....30' SIDE SETBACK:.....20'
REAR SETBACK:.....20'
7. LOCATION OF SUBSURFACE UTILITIES ARE NOT SHOWN HEREON AND MAY EXIST. THIS INFORMATION IS NOT TO BE USED FOR CONSTRUCTION. PRIOR TO ANY CONSTRUCTION, CONTACT DIG-SAFE (1-800-344-7233) TO FIELD VERIFY LOCATION OF ALL UTILITIES.
8. PLAN REFERENCES:
PLAN BOOK 130, PAGE 229
PLAN BOOK 167, PAGE 1533
PLAN BOOK 432, PAGE 543
PLAN BOOK 20, PAGE 9232 & 923F
9. WETLAND FLAGS SHOWN HEREON ARE BASED ON FIELD LOCATIONS BY CHA CONSULTING, INC. IN JULY AND NOVEMBER 2014.
WETLAND FLAGS WERE DELINEATED BY CHA CONSULTING, INC. CERTIFIED WETLANDS SCIENTIST IN JULY AND NOVEMBER, 2014.
10. THE TREE SYMBOL WITH A NUMBER REPRESENTS A TREE ON THE LOCUS PROPERTY WITH A FLAG AND NUMBER ATTACHED. A LETTER WILL ACCOMPANY THE PLAN SET DENOTING THE GENERAL TREE INFORMATION.

GREAT PLAIN (PUBLIC - VARIABLE WIDTH) AVENUE (1942 COUNTY LAYOUT #229)



FOR REGISTRY USE ONLY

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS, AND THE PROPERTY LINES SHOWN ARE THE LINES OF EXISTING OWNERSHIP, AND THE LINES OF STREETS AND WAYS ARE THOSE OF PUBLIC OR PRIVATE STREETS AND WAYS ALREADY ESTABLISHED, AND THAT NO LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

NORMAN L. LIESZ/PLS# 28446

DATE: 1/5/16

Date	1/5/2015
By	MVC
Appd	NIL
Submitted / Revision	Issued as Final
No.	0



Prepared For:
NORTLAND RESIDENTIAL CORP.
20 BURLINGTON MALL ROAD
SUITE 220
BURLINGTON, MA 01803

UNAUTHORIZED ALTERATION OR ADDITION
APPLICABLE STATE AND/OR LOCAL LAWS

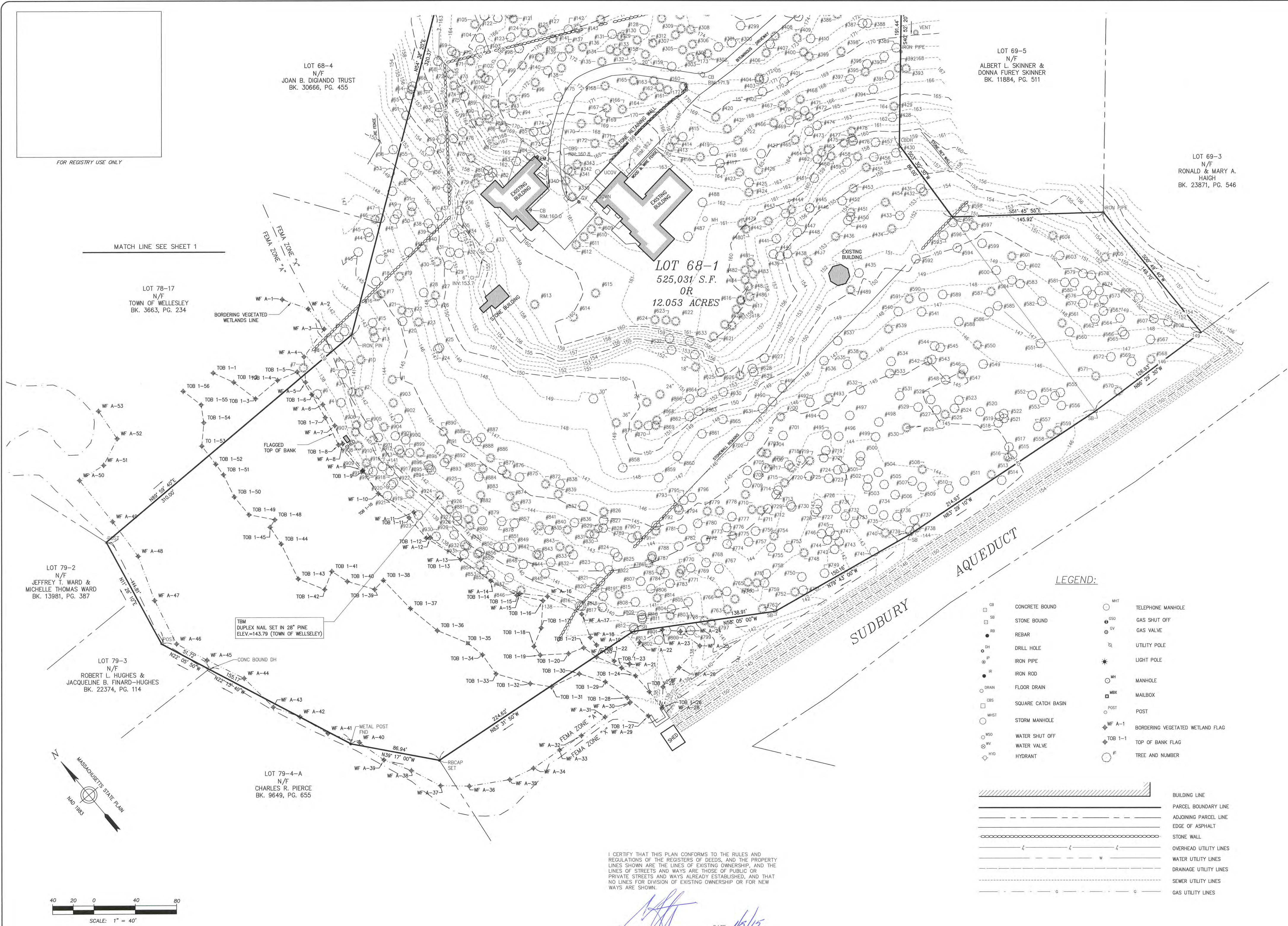
CHA
101 Accord Park Drive
Norwell, MA 02061
Main: (781) 982-5400 • www.chacompanies.com

NORTLAND RESIDENTIAL CORP.
135 GREAT PLAIN AVENUE
WELLESLEY, MA
EXISTING CONDITIONS PLAN

Date: 1-05-2015 Project No.: 28219 Scale: 1"=40'

SHEET 1 OF 2


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No.	Submital / Revision	By	Date
0	Issued as Final	MVC	1/05/2015



Prepared For:
NORTLAND RESIDENTIAL CORP.
20 BURLINGTON MALL ROAD
SUITE 220
BURLINGTON, MA 01803



CHA
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Norwell, MA 02061
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Design: _____
Drawn: MVC
Checked: NIL

NORTLAND RESIDENTIAL CORP.
135 GREAT PLAIN AVENUE
WELLESLEY, MA

EXISTING CONDITIONS PLAN

Date: 1-05-2015 Project No.: 29219 Scale: 1"=40'