



ZONING BOARD OF APPEALS

TOWN HALL • 525 WASHINGTON STREET • WELLESLEY, MA 02482-5992

RICHARD L. SEEGEL, CHAIRMAN
 J. RANDOLPH BECKER, VICE CHAIRMAN
 DAVID G. SHEFFIELD

LENORE R. MAHONEY
 EXECUTIVE SECRETARY
 TELEPHONE
 (781) 431-1019 EXT. 2208
 web: www.wellesleyma.gov

ROBERT W. LEVY
 WALTER B. ADAMS
 DEREK B. REDGATE

ZBA 2016-08
 Petition of Dale Broholm & Deed McCollum
 6 Pickerel Terrace

Pursuant to due notice, the Special Permit Granting Authority held a Public Hearing on Thursday January 7, 2016, at 7:30 p.m. in the Juliani Meeting Room, 525 Washington Street, Wellesley, on the petition of Dale Broholm & Deed McCollum requesting a Special Permit/Finding pursuant to the provisions of Section XIVE, Section XVII and Section XXV of the Zoning Bylaw that demolition, reconstruction and expansion of an existing deck that meets all setback requirements, and construction of a second story addition with less than required front yard and right side yard setbacks, on an existing nonconforming structure with less than required front yard and right side yard setbacks, on a 6,403 square foot lot in a Single Residence District in which the minimum lot size is 10,000 square feet, in a Water Supply Protection District, at 6 Pickerel Terrace, shall not be substantially more detrimental to the neighborhood than the existing nonconforming structure.

On December 21, 2015, the Petitioner filed a request for a hearing before this Authority, and thereafter, due notice of the hearing was given by mailing and publication.

Presenting the case at the hearing were Deed McCollum, the Petitioner, and Rick Ames, Architect.

Ms. McCollum said that the request is for a special permit for a second story addition on a nonconforming house and lot. She said that the existing house is 2,300 square feet and the proposal is to add 85 square feet, using the existing foundation and placement of the house. She said that the side yard and front yard setbacks will not change. She said that they will increase the permeable surface and make other improvements that should benefit the neighborhood.

A Board member said that a new set of plans was submitted today. He said that, in the future, the Board would prefer that the plans be submitted much sooner. He asked Mr. Ames to explain exactly what changes had been made. Mr. Ames said that there has been no change in the height or any of the dimensional characteristics of the house. He said that there were some interior rearrangements and the window locations were coordinated to those changes. He said that there is no change to the overall massing or architecture.

The Board asked about the date on the revised plans. The Chairman said that the plans that he has are dated December 15, 2015. Mr. Ames said that those are the most current plans. The Board said that the previously submitted plans are also dated December 15, 2015. The Board said that something will have to be done to clarify which are the new plans. Mr. Ames said that any deviations are the window locations. He said that he understands that the Board needs that documentation. The Board said that it is

RECEIVED
 TOWN CLERK'S OFFICE
 WELLESLEY MA 02482
 2016 JAN 21 P 12:51

approving a design based on a specific set of plans with a specific date so that the Building Inspector knows that the plans that were submitted to the Board are consistent with plans that will be submitted to him. Mr. Ames said that the plans that include the existing plans are the original plans.

A Board member said that on the revised plans they are adding a window in the study/guest room, changing the shape of the bay window, adding windows in the family on the left, and adding windows at the back. He said that there appears to be no change to the porch. He said that on the second floor they are adding two new windows on the north side and the windows will be relocated a bit on the back, moving to the right and the door will swing out rather than in. He said that the window in the office on the right hand side is being relocated from the center to the corner and two windows on the side wall of the office are eliminated and one of them is moved up to the right corner. The Chairman said that there is an additional window in the bathroom over the toilet. The Board said that a new set of plans must be submitted with a more recent revision date coordinated to it.

The Board asked Mr. Ames to describe the project. Mr. Ames said that the existing footprint will not change. He said that they will be adding a second floor over part of the first floor and will redo part of the existing second story. He said that they will extend the deck at the rear by three feet further to the rear. He said that the deck will be completely rebuilt. He said that they will remove the side entry that was built without permits.

The Board asked about the abutting shed shown on the plan. Mr. Ames said that, by mutual agreement, the shed will stay where is. He said that it belongs to the neighbors.

The Board said that one of the site plans seems to indicate that part of the house is located on someone else's property.

The Board asked for a description of the existing structure. Mr. Ames said that it is partial one and two story. He said that the plan is to make more of the footprint two stories. He said that the second floor will increase from 729 to 1,048 square feet. He said that it will stay as a three bedroom. He said that the existing bedrooms were camp bedrooms. He said that the home was from a summer heritage.

The Board asked if the existing exterior walls on the south side will remain. Mr. Ames said that they will. The Board confirmed that they will remove the stairs and rear entry door on the southeast corner. Mr. Ames said that the front yard is slightly encroaching and will remain other than extending the bay window and squaring it off so that it will not encroach more than two feet.

The Board said that the exterior walls on the south side of the second floor will remain except in the far corner. Mr. Ames said that a significant amount of the second floor will be rebuilt.

The Board asked about the basement. Mr. Ames said that there is an existing playroom that is not really habitable. He said that the plan is to make it a workroom. He said that it is currently carpeted and has a dropped ceiling. The Board confirmed that it will be basement and storage space. Mr. Ames said that there will be some work space down there.

The Board said that the section of the second floor that is being extended is on the side of the house that has a compliant side yard. Mr. Ames said that the new work will be compliant except for the corner.

RECEIVED
TOWN ENGINEER'S OFFICE
WELLESLEY, MA 02459
2016 JAN 21 P 12:11

The Board asked if a Total Living Area plus Garage (TLAG) Affidavit had been submitted. Mr. Ames said that it had not been submitted. He said that it will be well below the threshold for Large House Review for the district.

Kara Kressy, 29 Pickerel Road, Raisa Milkin, 26 Pickerel Road and Joel Lunger, 25 Pickerel Road said that they support the proposed project.

Statement of Facts

The subject property is located at 6 Pickerel Terrace, on a 6,403 square foot lot in a Single Residence District in which the minimum lot size is 10,000 square feet, in a Water Supply Protection District, with a minimum front yard setback of 27.3 and a minimum right side yard setback of 3.3 feet.

The Petitioner is requesting a Special Permit/Finding pursuant to the provisions of Section XIVE, Section XVII and Section XXV of the Zoning Bylaw that demolition, reconstruction and expansion of an existing deck that meets all setback requirements, and construction of a second story addition with less than required front yard and right side yard setbacks, on an existing nonconforming structure with less than required front yard and right side yard setbacks, on a 6,403 square foot lot in a Single Residence District in which the minimum lot size is 10,000 square feet, in a Water Supply Protection District, shall not be substantially more detrimental to the neighborhood than the existing nonconforming structure.

A Plot Plan, dated 8/11/15, revised 9/1/15, 10/29/15 & 12/15/15, stamped by Stephen P. Desroche, Professional Land Surveyor, Existing and Proposed Floor Plans and Elevation Drawings, dated 12/15/15, prepared by Next Phase Studios, and photographs were submitted.

On October 13, 2015, the Wetlands Protection Committee issued Order of Conditions, MA DEP #324-0804.

On January 5, 2016, the Planning Board reviewed the petition and recommended that action on the Special Permit be deferred.

Decision

This Authority has made a careful study of the materials submitted and the information presented at the hearing. The subject structure does not conform to the current Zoning Bylaw, as noted in the foregoing Statement of Facts.

It is the opinion of this Authority although that demolition, reconstruction and expansion of an existing deck that meets all setback requirements, and construction of a second story addition with less than required front yard and right side yard setbacks, on an existing nonconforming structure with less than required front yard and right side yard setbacks, on a 6,403 square foot lot in a Single Residence District in which the minimum lot size is 10,000 square feet, in a Water Supply Protection District is increasing a nonconformity, such increase shall not be substantially more detrimental to the neighborhood than the existing nonconforming structure.

RECEIVED
TOWN CLERK'S OFFICE
WELLSLEY MA 02480
2016 JAN 21 P 12:19

Therefore, a Special Permit is granted, as voted unanimously by this Authority at the Public Hearing, for demolition, reconstruction and expansion of an existing deck that meets all setback requirements, and construction of a second story addition with less than required front yard and right side yard setbacks, on an existing nonconforming structure with less than required front yard and right side yard setbacks, on a 6,403 square foot lot in a Single Residence District in which the minimum lot size is 10,000 square feet, in a Water Supply Protection District, subject to the following conditions:

1. A TLAG Affidavit that documents that the proposed completed construction will be less than the threshold for Large House Review for the district shall be submitted.
2. Revised plans with the revision date notated shall be submitted.

The Inspector of Buildings is hereby authorized to issue a permit for construction upon receipt and approval of a building application and detailed constructions plans.

If construction has not commenced, except for good cause, this Special Permit shall expire two years after the date time stamped on this decision.

RECEIVED
TOWN CLERK'S OFFICE
WELLESLEY MA 02482
2016 JAN 21 P 12:19

ZBA 2016-08
Petition of Dale Broholm & Deed McCollum
6 Pickerel Terrace

RECEIVED
TOWN CLERK'S OFFICE
WELLESLEY MA 02482
2016 JAN 21 P 12:19

APPEALS FROM THIS DECISION,
IF ANY, SHALL BE MADE PURSUANT
TO GENERAL LAWS, CHAPTER 40A,
SECTION 17, AND SHALL BE FILED
WITHIN 20 DAYS AFTER THE DATE
OF FILING OF THIS DECISION IN THE
OFFICE OF THE TOWN CLERK.



Robert W. Levy, Acting Chairman



Walter B. Adams



Derek B. Redgate

cc: Planning Board
Inspector of Buildings
lrm

GENERAL NOTES

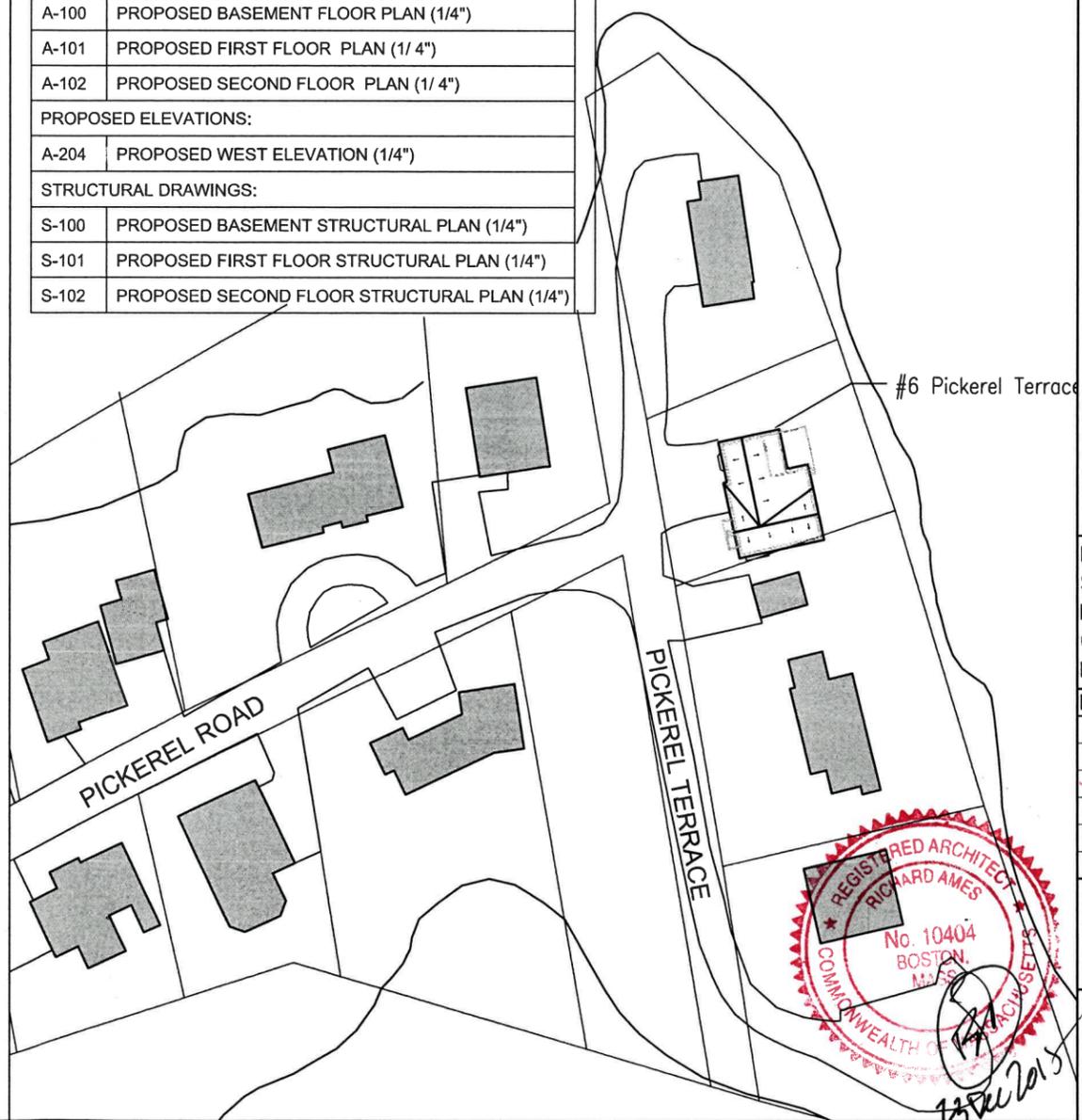
- These plans are the property of Next Phase Studios, Inc.. Use or copy is permitted by contract only. Any revisions to these drawings or use of these drawings or specifications, regardless of scope, without permission of Next Phase Studios, Inc. is prohibited and shall thereby absolve Next Phase Studios, Inc from any liability claims, suits, or litigation by any interested parties in the project.
 - All Work shall conform to the current editions in force of the Mass. Building Code, the Uniform Plumbing Code, the Uniform Mechanical Code, the National Electric Code, the Americans With Disabilities Act, and all other applicable requirements, orders, ordinances, and regulations both local and state.
 - The Construction Drawings, these Notes and the written outline specifications together form the complete Construction Documents and represent the finished structure unless noted or shown otherwise. They do not indicate the method of construction. The Contractor shall supervise and direct the work to completion of the project as indicated in the drawings and notes and shall be solely responsible for all construction means, methods, and procedures.
 - The Construction Documents are provided to illustrate the design desired and imply the finest quality workmanship throughout. Any design or detail which appears to be inconsistent with the above should be immediately brought to the attention of the Architects by the Contractor.
 - All excavation and foundation Work is to comply with code and contractor is responsible to field inspect all existing work to verify the conditions are acceptable to current codes and requirements.
 - The Contractor shall not take advantage of any manifestly unintentional error or omission in the drawings or specifications.
 - The Contractor is expected to furnish all necessary items of materials, labor, etc., which sound construction demands and which are necessary to make a complete job to the true meaning and intent of these drawings and specifications, whether shown on the drawings or not.
 - Permits and inspections: The Owner shall pay for all plan checking and building permit fees. Each Contractor shall secure and pay for permits required for their work and for all inspections which may be required of their work.
 - Testing: The Contractor shall arrange for all testing and inspection required by applicable building codes, ordinances, and directives of the building official. The Owner shall pay for all costs of such testing if the tests indicate conformance. The Contractor shall pay costs when tests indicate non-conformance.
 - Any Work or materials shown on the drawings and not mentioned in the notes, or vice versa, shall be provided and installed by the contractor the same as if specifically mentioned or shown or both. In the event that work or materials are shown on one drawing and not shown on another, it shall be the same as shown on either or both drawings.
 - Should the drawings disagree with themselves or with the specifications, or should the specifications disagree with themselves, the better quality or quantity of work or material shall be priced and unless otherwise ordered in writing, shall be furnished and installed.
 - The Contractor shall verify all construction documents, site dimensions, and other conditions, and shall notify the Architects of any discrepancies or inconsistencies prior to starting Work.
 - Applicable trades shall use a common datum to be designated by the Contractor for all critical measurements. Do not scale drawings. Written dimensions take precedence over scaled drawings; drawings may not be drawn accurately to scale.
 - Specific notes and details take precedence over more general notes and details. Consult the Architects regarding discrepancies.
 - During construction, the Contractor shall provide fire extinguishers, first-aid kit, and the ability to contact emergency personnel @ all times.
 - The locations of underground utilities are shown in an approximate way only and have not been independently verified by the Owner or its representative. The Contractor shall determine the exact location of all existing utilities before commencing Work, and agrees to be fully responsible for any and all damage which might be occasioned by the Contractor's failure to exactly locate and preserve any and all underground utilities.
 - Notification of Architect & Owner: The Contractor shall provide a construction schedule to the Architect & Owner, and specifically pre notify the Architect before: underground utilities are covered, footings and slabs are poured, stucco is applied, G.W.B. is applied, and before roofing tiles are installed. Also review light fixture, electrical outlet and switch locations, tile layout, concrete scoring. This schedule must include a schedule of required lead times and final selection dates needed within 1 week of starting construction.
 - At exterior wall openings, flashing, counter flashing and expansion joint materials shall be constructed in such a manner as to be waterproof.
 - All shop drawings for woodwork, cabinets, countertops, specialties, metal work, and all mechanical and electrical layouts shall be submitted to the Architects for approval prior to fabrication or installation.
 - Material and paint color samples are to be submitted to the Architect & Owner prior to installation.
 - All foundation and exterior sill dimensions are to face of stud, concrete, to rough openings of doors and windows, and for the inside of the curb for skylight dimensions, unless noted otherwise. All framing dimensions for rough openings of windows and partition wall are dimensioned to center of glass, center of framing, and face of wall as indicated. See the Manufacturer's product information for window and door dimensions.
 - Unless otherwise specified herein, the Contractor, upon completion of the entire work described in the contract, shall provide the Owner with a written guarantee stating that all Work performed as part of the contract is fully guaranteed for a period of one year from the date of the acceptance, and that during said one year period all defective workmanship and/or materials shall be repaired and/or replaced in place including any work of others which has been damaged by such defective workmanship and/or materials and by the repair and/or replacement of such workmanship and/or materials, at no additional cost to the Owner.
 - Substitutions, revisions or changes may be allowed only if such items are submitted to the Architects in a timely manner in writing and subsequently approved by the Architects in writing. All substitutions must be at least of equal quality, design, and performance to the items originally specified. The Contractor's request must provide all specification data and certification that the substitution meets all requirements of the originally specified item. The Contractor is liable for replacement, repair, and delays caused by any unauthorized substitution of any item of this project.
- FOUNDATIONS**
- The Contractor shall verify & coordinate the locations and clearances of all inserts, mechanical sleeves required, and embedded items with all applicable drawings prior to pouring the concrete.
- SEE STRUCTURAL DRAWINGS**
- FRAMING**
- Wood in contact with concrete shall be pressure treated or redwood. All wood shall be a minimum 6" above finish grade.
 - Fire stops shall be located at the following locations (per UBC 708):
 - In concealed spaces of stud walls and partitions, including furred spaces, at the ceiling and at 10-foot intervals both vertical and horizontal.
 - At all interconnections between concealed vertical and horizontal spaces such as occur at soffits, drop ceilings, and cove ceilings.
 - In concealed spaces between stair stringers at the top and bottom of the run and between studs along and in line with the run of stairs if the walls under the stairs are unfinished.
 - In openings around vents, pipes, ducts, chimneys, fireplaces and similar openings which afford a passage for fire at ceiling and floor levels, with non combustible materials.
 - At openings between attic spaces and chimney chases for factory built chimneys.

- ROOF FRAMING**
- SEE STRUCTURAL DRAWINGS
- MASONRY**
- SEE STRUCTURAL DRAWINGS
- STAIRS**
- All stairways and landings to meet Massachusetts State Building Code 780 CMR 3603.12 - 3603.14 and supercode drawings and field dimensions.
- FIRE AND LIFE SAFETY**
- Floor landings are not to be more than one inch below the door threshold on each side of an exit door. A maximum 7-1/2" drop may occur provided the door does not swing over the drop.
- GLAZING AND WATERPROOFING**
- Bathrooms, toilet compartments, and laundry rooms shall have a window of not less than 1/10th of the room's floor area or a min. of 3 sq. ft. with 1/2 of this area openable. Rooms not complying with this provision shall be provided with a mechanical ventilating system capable of providing a min. of five air changes per hour.
 - Glass and glazing shall conform to code and with U.S. Consumer Product Safety Commission requirements. Tempered or laminated glass shall be provided for all glazing in the following locations:
 - Entry doors.
 - Fixed and sliding panels of sliding doors.
 - Storm doors.
 - Unframed swinging doors.
 - Shower and bathtub doors and enclosures.
 - Adjacent to a door, where the glazing is within a 12" arc of either the vertical edge of the door (with the door in the closed position), and with the bottom edge less than 5'0" above the floor or walking surface.
 - In fixed panels (other than those listed in this paragraph above) which have a glazing area in excess of 9 sq. ft. and the lowest edge less than 18" above the floor and a walking surface within 36" horizontally of the plane of glazing.
 - All glazing on stairways.
 - Skylights shall be laminated glass on the outside and tempered on any interior glazings.
 - Shower area walls shall be finished with ceramic tile or other smooth, non-absorbent surface to at least 6'-0" above the drain inlet.
 - Where wood framed walls and partitions are covered on the interior with plaster, tile, or similar materials and are subjected to water splash, the framing shall be protected with approved waterproofing paper.
- ELECTRICAL**
- Duplex receptacle outlets shall be installed in all rooms as shown on plans, and at minimum as follows:
 - Not more than 12'-0" O.C. along walls.
 - Not more than 6'-0" from openings.
 - On all wall spaces 2'-0" wide and wider and on the wall space occupied by sliding glass doors.
 - Duplex receptacle outlets shall be installed at each kitchen or dining room counter space wider than 1'-0".
 - Provide at least one duplex receptacle outlet in each garage and/or basement space in addition to any outlets rendered inaccessible by stationary appliances.
 - All outlets in bathrooms, garages, outside buildings, and within 6' of sinks shall be G.F.I. circuits.
 - All outlets exposed to weather shall be provided with waterproof covers.
 - Lighting fixtures located in clothes closets shall have a minimum clearance to storage areas where combustible materials may be stored within the closet of not less than 18". Recessed fixtures with a solid lens or a ceiling mounted fluorescent fixture shall have a 6" clearance to storage areas.
 - The use of plumbing pipelines as an electrical ground is prohibited.
- MECHANICAL**
- Fuel burning water heaters are not permitted in bathrooms, clothes closets, or bedrooms.
 - Mechanical equipment which generates a glow, spark, or flame capable of igniting flammable vapors shall, when located in a garage, be installed with pilot lights, burners, heating elements, and switches located at least 18" above the garage floor level.
 - For mechanical equipment located in attic or under floor space provide the following:
 - Access openings and passageways of sufficient size to permit removal of the largest piece of the appliance (min. 2'-6" x 2'6").
 - Access opening to be within 20'-0" max. of appliance.
 - Passageways in attics to be provided with continuous flooring min. 2'-0" wide.
 - Provide a permanent light fixture and duplex outlet at or near the appliance with a switch located at the required access openings.
 - Furnace rooms shall provide the following:
 - The room shall be 1'-0" min. wider than the furnace.
 - A working space of 3' min. clear shall be provided on sides, back, and top of the furnace.
 - A working space 2'-6" min. wide shall be provided along the entire firebox side of the furnace when the furnace room door is open.
 - Provide combustion air to the furnace compartment 200 sq. in. min., or 2 in. sq. per 1000 B.T.U., whichever is greater. The air source shall be as required and divide top and bottom.
 - All mechanical combustion equipment shall meet state code & manufacturers requirements for replacement combustion air.
 - At the water heater compartment, provide 100 sq. in. min. of combustion air openings. 50 sq. in. min. shall be within 12" of top and 50 sq. in. min. within 6" of bottom of the compartment.
 - All mechanical equipment with non-rigid connections and over 4'-0" high shall be anchored or strapped to resist horizontal displacement due to an earthquake. Provide temperature and pressure relief valves plumbed to the outside.
 - Copper water piping shall have a weight of not less than type "L". No CPVC Piping.
 - Fixtures having concealed slip joint connections shall be provided with an access panel or utility space at least 12" in its least dimension.
 - The sewer piping shall have a uniform slope of not less than 1/4" per foot.
 - Fixture inlets and outlets with hose attachments (hose bibs and irrigation systems) shall be protected by an approved non-removable type back flow prevention device.
 - The use of solders containing more than two tenths of one percent (0.2%) lead in making joints on private or public water supplies is prohibited. Set all propane appliances in the proper sinks with appropriate drain for safe dissipation at a lower elevation.
 - Waste & Vent stacks may be schedule 40 PVC or cast iron.
- VENTILATION**
- Kitchen Exhaust to be direct to Ext. w/ replacement air and integral to HRV as approved.
 - All Bath's and Laundry's to have mechanical ventilation integral to whole house HRV.
 - Basement living areas require mechanical ventilation and must conform w/ CMR 780 Article 1209.1.

PICKEREL RESIDENCE

SHEET	CONTENT
A-001	COVER SHEET
A-002	NEIGHBORHOOD CONTEXT & ZONING INFORMATION
EXISTING PLANS:	
AX-100	EXISTING BASEMENT FLOOR PLAN (1/4")
AX-101	EXISTING FIRST FLOOR PLAN (1/4")
AX-102	EXISTING SECOND FLOOR PLAN (1/4")
EXISTING ELEVATIONS:	
AX-201	EXISTING NORTH ELEVATION (1/4")
AX-202	EXISTING SOUTH ELEVATION (1/4")
AX-203	EXISTING EAST ELEVATION (1/4")
AX-204	EXISTING WEST ELEVATION (1/4")
PLANS:	
A-100	PROPOSED BASEMENT FLOOR PLAN (1/4")
A-101	PROPOSED FIRST FLOOR PLAN (1/4")
A-102	PROPOSED SECOND FLOOR PLAN (1/4")
PROPOSED ELEVATIONS:	
A-204	PROPOSED WEST ELEVATION (1/4")
STRUCTURAL DRAWINGS:	
S-100	PROPOSED BASEMENT STRUCTURAL PLAN (1/4")
S-101	PROPOSED FIRST FLOOR STRUCTURAL PLAN (1/4")
S-102	PROPOSED SECOND FLOOR STRUCTURAL PLAN (1/4")

DRAWING INDEX



NEXT PHASE STUDIOS
 344 BOYLSTON STREET
 BOSTON, MA 02116
 T 617-375-9300
 F 617-522-9812
 WWW.NPS-ARCHITECTS.COM

PICKEREL RESIDENCE
 DEED MCCULLOM & DALE BROHOLM
 6 PICKEREL TERRACE
 WELLESLEY, MA 02482

DATE: 12.15.2015
 SCALE: VARIES
 DRAWN BY: GG
 CHECKED BY: RA
 PROJECT #: 14029

REVISIONS

NO.	DESCRIPTION

COVER SHEET

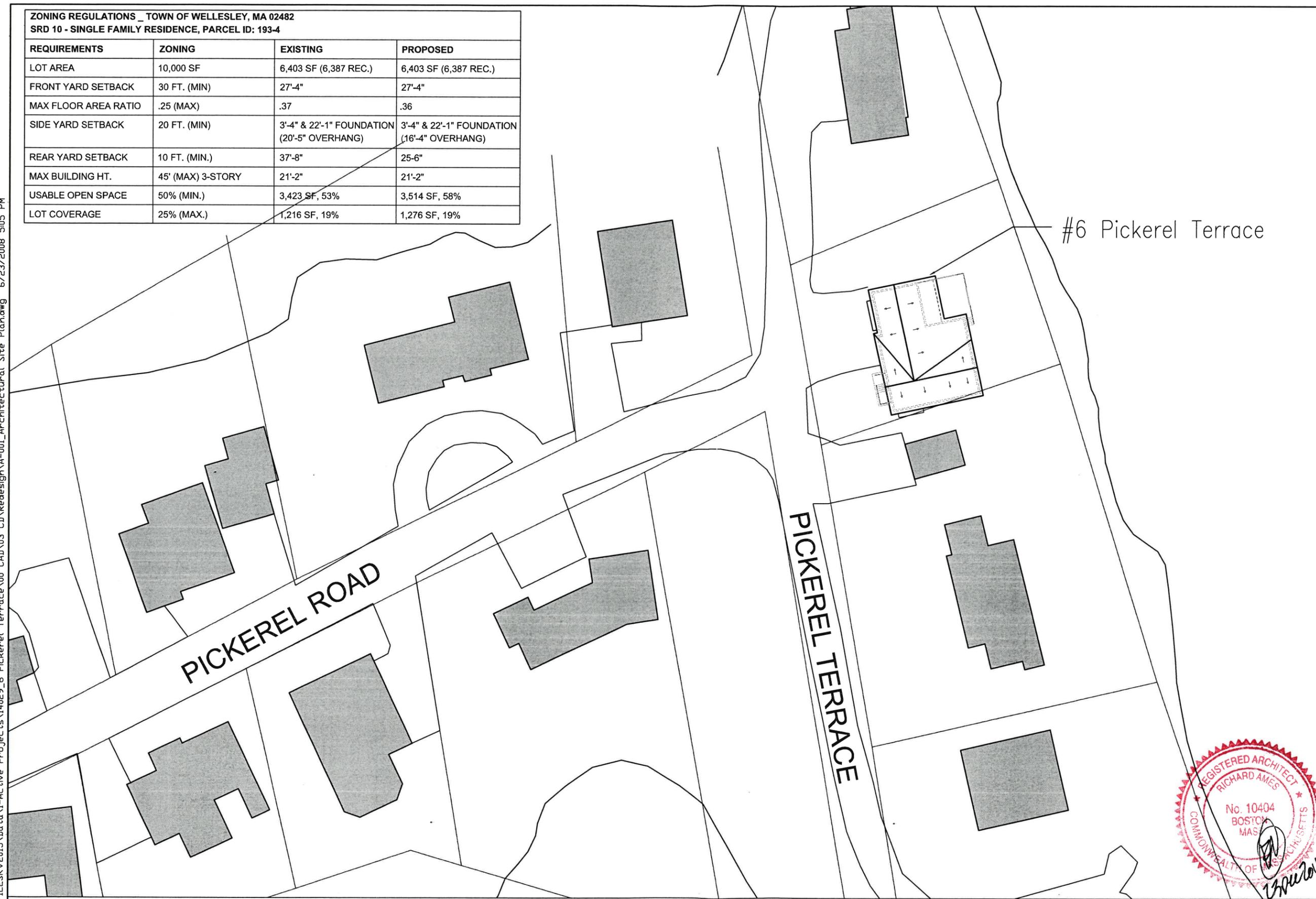
A-001



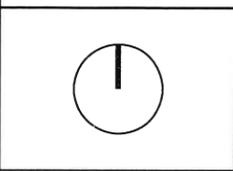
\NPSFILES\2015\1-Active Projects\14029_6_Pickerel Terrace\00 CAD\03 CD\Redesign\A-001_Architectural_Site_Plan.dwg 6/23/2008 5:05 PM

\\NPSFILESRV2015\Data\1-Active Projects\14029_6 Pickerel Terrace\00 CAD\03 CD\Redesign\A-001_Architectural Site Plan.dwg 6/23/2008 5:05 PM

ZONING REGULATIONS _ TOWN OF WELLESLEY, MA 02482			
SRD 10 - SINGLE FAMILY RESIDENCE, PARCEL ID: 193-4			
REQUIREMENTS	ZONING	EXISTING	PROPOSED
LOT AREA	10,000 SF	6,403 SF (6,387 REC.)	6,403 SF (6,387 REC.)
FRONT YARD SETBACK	30 FT. (MIN)	27'-4"	27'-4"
MAX FLOOR AREA RATIO	.25 (MAX)	.37	.36
SIDE YARD SETBACK	20 FT. (MIN)	3'-4" & 22'-1" FOUNDATION (20'-5" OVERHANG)	3'-4" & 22'-1" FOUNDATION (16'-4" OVERHANG)
REAR YARD SETBACK	10 FT. (MIN.)	37'-8"	25'-6"
MAX BUILDING HT.	45' (MAX) 3-STORY	21'-2"	21'-2"
USABLE OPEN SPACE	50% (MIN.)	3,423 SF, 53%	3,514 SF, 58%
LOT COVERAGE	25% (MAX.)	1,216 SF, 19%	1,276 SF, 19%



NEXT PHASE STUDIOS :
 344 BOYLSTON STREET
 BOSTON, MA 02116
 T 617-375-9300
 F 617-522-9812
 WWW.NPS-ARCHITECTS.COM



PICKEREL RESIDENCE
 DEED MCCULLOM & DALE BROHOLM
 6 PICKEREL TERRACE
 WELLESLEY, MA 02482

DATE: 12.15.2015
 SCALE: AS NOTED
 DRAWN BY: GG
 CHECKED BY: RA
 PROJECT #: 14029

REVISIONS

LOCUS
 PLAN
 ZONING CHART

A-002



LOCUS PLAN 1/32" = 1'-0" 1

