



ZONING BOARD OF APPEALS  
TOWN HALL • 525 WASHINGTON STREET • WELLESLEY, MA 02482-5992

J. RANDOLPH BECKER, CHAIRMAN  
RICHARD L. SEEGEL  
DAVID G. SHEFFIELD

LENORE R. MAHONEY  
Executive Secretary  
Telephone  
(781) 431-1019 Ext. 2208

ROBERT W. LEVY, VICE CHAIRMAN  
WALTER B. ADAMS  
DEREK REDGATE

Date: 7/19/19 ZBA: 2019-77

Petition for:	Residential Fee	Commercial & Municipal Fee
Variance	\$200	
Special Permit	\$200	\$500
Special Permit/Findings	\$200	
Special Permit Renewals	\$150	
Signs		\$300
Site Plan Approval without PSI		X \$2,000 & Fire Department Consulting Fee
Site Plan Approval with PSI		\$3,500
Appeals	\$200	\$300
Comprehensive Permit		\$2,000
Publication & Mailing Fees/All Petitions	\$25	X \$25
Petitioner assumes all costs for Peer Review		

RECEIVED  
TOWN CLERK'S OFFICE  
WELLESLEY, MA 02482  
2019 AUG 21 P 12:35

Property Location: 96 Worcester Street Zoning District: LT-B

Property located in a: Historic District  Yes  No  
Wetlands Protection Area    
Water Supply Protection District

Applicable Section(s) of the Zoning Bylaw: 10, 16A, 22

Explanation of Request: Reconstruction of entrance stairs and add new ramp, add emergency egress paths & new landscape.

Requested Relief:  
N/A Lot Area N/A Front Yard Depth (Street Setback)  
N/A Lot Coverage N/A Side Yard Width (Side Line Setback)  
N/A Frontage N/A Rear Yard Depth (Rear Line Setback)  
N/A Front Yard Width N/A Other \_\_\_\_\_

OWNER OF PROPERTY: Sun Life Assurance Company of Canada

MAILING ADDRESS: One Sun Life Executive Park

PHONE: WORK: 781-237-6030 HOME: N/A

SIGNATURE OF OWNER: \_\_\_\_\_

PETITIONER (If different than Owner): Michael Fabbiano-Representative

MAILING ADDRESS: N/A

PHONE: WORK: N/A HOME: N/A

current zoning by-law, the minimum parking requirement is 3.2/1000, or 1204. The new total parking space count will be 1691 for a parking ratio of 4.2/1000.

#### Stormwater/Utility Infrastructure

The Project, as an access improvements project, will have minimal impervious surface increase. A new dry-well is proposed at the base of the handicapped ramp with an overflow to the existing drainage infrastructure. The new 96 overhang will drain to a new stone drainage trench constructed on the northeasterly face of the building. Overflow will be to the existing stormwater infrastructure. The new pathway is a four (4) wide surface and will have negligible drainage impacts. Minor electrical relocations will be required and no sewer or water is proposed.

#### Design Review Board:

The project Team met with the Design Review Board on June 19, 2019. Conditional approval was granted, and the requested changes have been incorporated in this ZBA Site Plans submission.

#### Notice of Intent- Wetlands Protection Committee:

This project does require the submission of a Notice of Intent Application with the Wetlands Protection Committee. A hearing is scheduled for August 1, 2019.

The removal of one (1) tree is proposed as part of the project and three (3) new trees will be planted as mitigation. The project is scheduled to be constructed this fall with some final landscaping installation to take place in the Spring of 2020

#### **REQUESTED ACTION**

This Application for Major Site Plan Approval is filed under Wellesley's Zoning Bylaw Section XV, Project Review.

A waiver under project review for the submission of a drainage report is requested due to the negligible impact of impervious area. Additionally, the proposed improvements are life safety accessibility improvements to a building developed in the 1970's.

The submission includes the following documents:

- (12) Zoning Board of appeals Application, Development Prospectus, and Checklist
- (12) Full Size Drawing Sets, dated July 23, 2019
- (6) 11x17 Drawing Sets, dated July 23, 2019
- (12) Existing Site Photos
- (1) ZBA check for Site Plan Approval without PSI
- (1) Check for publication and Mailing Fees.

July 23, 2019

Attention: Lenore Mahoney  
Town of Wellesley  
Zoning Board of Appeals  
525 Washington Street  
Wellesley, MA 02482

Re: Major Site Plan Review without PSI- Submission  
SunLife Campus, 96 Worcester Street  
Wellesley, Massachusetts

Dear Ms. Mahoney,

On behalf of Sunlife Assurance Company of Canada (Applicant), Highpoint Engineering Inc. (Highpoint) submits the enclosed application to the Zoning Board of Appeals for Approval for Major Construction Project. SunLife is proposing to make improvements to the entrance of 96 Worcester Street by constructing of a new entrance façade, new handicapped accessible ramp, replacement stairway, landscape improvements and new emergency egress pathways (The Project).

#### Project Narrative

The Sunlife Campus is a commercial office park that consists of five (5) buildings on three (3) separate lots on 16.1 acres. 96 is located on Map 4, Lot 2 of the Wellesley Assessors and is an 8.3-acre parcel.

The Project is an exterior construction project that will provide entrance façade improvements and a new handicap accessible ramp to the front entrance of 96 Worcester Street. Currently, handicap access is not provided at the 96 front main entrance. These improvements will allow handicap access and parking from the at-grade parking lot area in front of 96. Additionally, as part of this project, new emergency egress paths to two existing exits on the north face of the building are proposed as part of this application. A 4-foot wide paved surface will provide improved emergency egress from existing emergency exits.

The new entrance and access ramp will be visible from Worcester Street. The project will disturb over 5000 sf. The work proposed within with the limit of work, and including landscaping, is 8,900 sf and subject to Large Project Review. The project does not increase the square footage of 96 Worcester Street and has no sewer or water utilities associated with the project.

A Notice of Intent Application has been submitted to the Wellesley Wetlands Protection Committee due to the site's location near Hurd Brook.

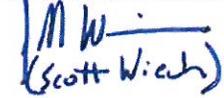
#### Parking:

The Project will have no impact to parking with modifications limited to re-striping. The existing parking spaces located close to the ramp base will be "re-striped" to accommodate 3 handicap parking spaces. Due to the width and landing requirements there will be a net reduction of two (2) parking spaces from the total site parking count. Currently, the campus has 1693 parking spaces to accommodate 376,288 sf of office space. Under the

We look forward to presenting this project to the members of the Committee. If you have any questions regarding this application, please contact me at 781-770-0970.

Sincerely,

**HIGHPOINT ENGINEERING, INC.**

  
(Scott Wich)

For:

Michael Fabbiano  
Vice President

cc: Paulette Nicolliello, Ed Rybek Jones Lang Lasalle.

*Town of Wellesley*

**DESIGN REVIEW BOARD**

*Massachusetts*

Jose Soliva, Chair  
Robert Skolnick, Vice Chair  
Sheila Dinsmoor  
Amir Kripper

Robert Broder, *alternate*  
Iris Lin, *alternate*  
Juann Khoory, *alternate*



Town Hall  
525 Washington Street  
Wellesley, MA, 02482  
Tel. (781) 431-1019 ext. 2234

Contact: Laura Harbottle, AICP  
lharbottle@wellesleyma.gov

**RECOMMENDATION**

July 22, 2019

Michael Grant  
Inspector of Buildings  
Town Hall  
Wellesley, MA 02482

**Re: Sun Life Assurance Company of Canada, 96 Worcester Street-Park 9  
DRB: 19-27M – Major Construction Project**

Dear Mr. Grant,

On May 24, 2019, Sun Life Assurance Company of Canada submitted a major construction application for design review. The current entrance to 96 Worcester Street is not handicap accessible. The Applicant requests to modify the entrance to make the building entrance ADA compliant. The project will also include a new walkway from the rear exit to the parking lot to allow additional egress. As part of the modification, the Applicant will be upgrading the building entrance with a new canopy, stairs, handicap ramp, lighting and landscaping.

*The Design Review Board reviewed the project at the June 19, 2019 meeting. Mr. Skolnick moved to approve the design with alterations, Ms Carls seconded the motion. The Design Review Board voted unanimously (5-0) to approve the design with the following alteration:*

1. *Make the front wall of the ramp stone so it ties into the other walls.*
2. *Shift the handicapped ramp towards the right to make the landing area larger.*
3. *Re-examine the materials used for the new portion of the landing to be concrete or pavers that would be noticeably different (from the concrete). Mr Skolnick indicated that this was not part of the motion.*
4. *Verify that the drainage from the canopy would be consistent on the left-hand side.*



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Special Permit Granting Authority  
Wellesley Town Hall  
Wellesley, MA 02482

Date: 07-03-2019

ZBA Number: 2019-77

Pursuant to the provisions of Section XVIA, subparagraph B, and Section 3 of the Zoning Bylaw, the undersigned hereby requests Site Plan Approval for the construction of Reconstruct exterior entrance of 96 Worcester Street. New ADA ramp, sidewalk, stairs and landscaping.

Located at 96 Worcester Street

Within a Limited Business "I T-B" District (s).

The following plans are submitted:

- |                                |   |
|--------------------------------|---|
| 1. Existing Site Features Plan | Plan # <u>Topographic Plan of Land</u> (Title Block Number) |
| 2. Site Development Plan       | Plan # <u>L1.0</u>  |
| 3. Plot Plan                   | Plan # <u>Topographic Plan of Land</u>                      |
| 4. Grading & Drainage Plan     | Plan # <u>L1.0, C200</u>                                    |
| 5. Utilities Site Plan         | Plan # <u>N/A</u>   |
| 6. Landscaping/Parking Plan    | Plan # <u>L2.0</u>  |
| 7. Architectural Plans         | Plan # <u>A01</u> through _____                             |
| 8. Subsurface Conditions Plan  | Plan # <u>N/A</u>   |
| 9. Utilities Detail Plans      | Plan # <u>N/A</u> through _____                             |
| a. Structure Details           | Plan # <u>N/A</u>   |
| b. Plumbing Details            | Plan # <u>N/A</u>   |
| c. Electric Details            | Plan # _____  |

(Ten full sized copies of each plan, seven 11 inch by 17 inch copies of each plan, a check in the amount of \_\_\_\_\_ payable to the Town of Wellesley, and a check in the amount of \_\_\_\_\_ payable to the Town of Wellesley Fire Department (for Site Plan Approval without PSI).

OWNER OF RECORD: Sun Life Assurance Company of Canada  
ADDRESS: One Sun Life Executive Park, Wellesley MA  
TELEPHONE NUMBER: 781-237-6030

PETITIONER:(If not Owner, relationship to owner) **X** Thomas V. Pedulla  
Paulette Nicolliello - JLL General Manager

Thomas Pedulla  
Authorized Signer

ADDRESS: 12 Worcester St., Wellesley MA 02481  
TELEPHONE NUMBER: \_\_\_\_\_

PROJECT CONTACT PERSON: Michael Fabbiano - Representative  
ADDRESS: 45 Dan Road, Suite 140, Canton MA 02021  
TELEPHONE NUMBER: 781-770-0970 FAX NUMBER: \_\_\_\_\_

**TOWN OF WELLESLEY**  
**ZONING BOARD OF APPEALS**  
**SITE PLAN APPROVAL REVIEW**  
**PLANS AND SUBMITTAL CHECKLIST**

Plans and submittals for site plan approval review are submitted to the Department of Public Works for its review and approval on behalf of the Zoning Board of Appeals shall contain the items listed in this checklist. Electric plans will be reviewed by representatives of the Wellesley Municipal Light Plant.

<u><b>PLANS</b></u>	<u><b>CHECK</b></u>
<b>1. EXISTING SITE FEATURES PLAN</b>	
a) Location, type, size or dimension of existing trees and rock masses	<u>X</u>
b) Surface drainage and topography with one foot contours	<u>X</u>
c) Property lines, zoning districts, adjacent roadways, historical or archeological features	<u>X</u>
d) Rights of way and easements (temporary and permanent)	<u>X</u>
e) Wetlands and floodplains	<u>X</u>
f) Adjacent public, footpaths, trails and other natural or man-made features such as walls and fences	<u>X</u>
g) Plan to be Scale 1" = 40' or larger	<u>X</u>
h) Plan must be stamped, dated and signed by a Registered Land Surveyor in the Commonwealth of Massachusetts	<u>X</u>
<b>2. SITE PLAN DEVELOPMENT</b>	
a) Building locations, finish floor elevations at basement and first floor	<u>N/A</u>
b) Grading detail for entire site with existing and proposed contours	<u>X</u>
c) Existing and proposed curb cuts, design as per Town Policy by Board of Selectmen dated 5/15/73	<u>N/A</u>
d) Property lines and easement lines	<u>X</u>
e) All elevations on the Town of Wellesley datum base	<u>X</u>
f) North directional arrows shall be provided and point due north	<u>X</u>
g) Plan must be stamped, dated and signed by a Registered Architect, Registered Land Surveyor or Professional Engineer in the Commonwealth of Massachusetts	<u>X</u>
<b>3. PLOT PLAN</b>	
a) Existing buildings and structures	<u>X</u>
b) Proposed structure(s) including all dimensions and distances from front, rear and side property lines	<u>X</u>
c) Area of lot or lots included in the project	<u>X</u>
d) Zoning district lines and portion of lot in different zoning district (if applicable)	<u>X</u>
e) Names of all abutters as they appear on the most recent tax list	<u>X</u>
f) The location of all permanent survey monuments	<u>X</u>
g) Not less than 3 permanent benchmarks, preferably triangulated, shall be shown	<u>X</u>
h) Plan must be stamped, dated and signed by a Registered Land Surveyor in the Commonwealth of Massachusetts	<u>X</u>



## 7. ARCHITECTURAL PLANS

- |  |            |
|--|------------|
| a) Proposed floor plans  | <u>N/A</u> |
| b) Elevations of all sides of all buildings  | <u>N/A</u> |
| c) Sections identifying type and exterior finish of proposed buildings                                   | <u>N/A</u> |
| d) Plan must be stamped, dated and signed by a Registered Architect in the Commonwealth of Massachusetts | <u>N/A</u> |

## 8. SUBSURFACE CONDITIONS PLAN

- |  |            |
|--|------------|
| a) Boring location with boring numbers   | <u>N/A</u> |
| b) Boring logs                           | <u>N/A</u> |
| c) Ledge encountered and depth           | <u>N/A</u> |
| d) Water encountered and depth           | <u>N/A</u> |
| e) Percolation test info (if applicable) | <u>N/A</u> |

## 9. UTILITIES DETAIL PLAN

- |  |            |
|--|------------|
| a) Structure details   | <u>N/A</u> |
| • Sanitary sewer manholes  | <u>N/A</u> |
| • Drain manholes, detention structures, etc.                                     | <u>N/A</u> |
| • Catchbasins (gas and oil separators required at parking lots)                  | <u>N/A</u> |
| • Outside grease trap if restaurant is proposed                                  | <u>N/A</u> |
| b) Plumbing details  | <u>N/A</u> |
| • Water service size and entrance location                                       | <u>N/A</u> |
| • Water meter size, location and piping detail                                   | <u>N/A</u> |
| • Size and location of water service backflow protection devices (if applicable) | <u>N/A</u> |
| • Sanitary sewer size and entrance location with elevations                      | <u>N/A</u> |
| • Size and location of sanitary sewer check valves (if applicable)               | <u>N/A</u> |
| • Oil/water separators and MDC gas traps (if applicable)                         | <u>N/A</u> |
| • Pumping equipment (if applicable)  | <u>N/A</u> |
| c) Electrical Details  | <u>N/A</u> |
| • Location service entrance  | <u>N/A</u> |
| • Size of Service  | <u>N/A</u> |
| • Meter location and switchgear arrangement                                      | <u>N/A</u> |
| • Provision for future expansion   | <u>N/A</u> |
| • Transformer size and facilities for pad or vault room                          | <u>N/A</u> |
| • Data including load requirements   | <u>N/A</u> |

## GENERAL PLAN COMMENTS

- |    |  |            |
|----|--|------------|
| a) | All plans must be stamped, signed and dated by a Registered Professional Engineer, or Architect in the Commonwealth of Massachusetts responsible for the particular plan's contents        | <u>X</u>   |
| b) | Title Blocks shall provide the name of project, job site location, architects and engineer responsible for plan contents, date and plan scale  | <u>X</u>   |
| c) | All plans must be numbered and titled  | <u>X</u>   |
| d) | All dates of revisions shall be included   | <u>X</u>   |
| e) | Provide retaining wall design details  | <u>X</u>   |
| f) | Provide locus plan drawn at a scale of 1" = 500' showing the relation of the project to adjoining properties within a radius of ¼ mile   | <u>X</u>   |
| g) | The cover sheet shall provide the names, mailing addresses and phone numbers of the land owner, building owner, architects and engineers and project contact person, and Table of Contents | <u>X</u>   |
| h) | Location of all mechanical systems must be shown   | <u>N/A</u> |

## SUBMITTALS

- |    |  |            |
|----|--|------------|
| a) | Drain calculations showing capacities of the existing and proposed drain systems   | <u>N/A</u> |
| b) | Runoff calculations for the 10, 25 and 100 year storm event for storm drains, leaching basins or holding areas   | <u>N/A</u> |
| c) | Post development rate of peak runoff less than pre-development rate of peak runoff   | <u>N/A</u> |
| d) | Information showing that the DEP Stormwater Management Standards will be met   | <u>N/A</u> |
| e) | Operation and maintenance plan for drainage system   | <u>N/A</u> |
| f) | Evaluation of existing municipal systems capacities  | <u>N/A</u> |
| g) | Quantification and documentation of infiltration/inflow reduction measures   | <u>N/A</u> |
| h) | Quantification and documentation of water conservation measures  | <u>N/A</u> |
| i) | Written statement from a Registered Professional Engineer in the Commonwealth of Massachusetts regarding the adequacy of the water flow for the fire protection system | <u>N/A</u> |
| j) | Construction area to be fenced   | <u>X</u>   |
| k) | Traffic Management Plan during construction period   | <u>N/A</u> |
| l) | Area of construction worker and equipment parking  | <u>N/A</u> |
| m) | Materials staging area   | <u>N/A</u> |

UNDESIRABLE PLANTS FOR LANDSCAPE DESIGNS SUBMITTED WITHIN  
THE TOWN OF WELLESLEY

**TREES:**

* <i>Acer platanoides</i>	Norway Maple
* <i>Acer pseudoplatanus</i>	Sycamore Maple
<i>Acer saccharinum</i>	Silver Maple
* <i>Ailanthus altissima</i>	Tree-of-Heaven
<i>Elaeagnus angustifolia</i>	Russian-olive
<i>Morus alba</i>	White Mulberry
* <i>Phelodendron amurense</i>	Amur Cork-tree
<i>Populus alba</i>	White Poplar
<i>Pyrus c. 'Bradford'</i>	Bradford Pear
<i>Pyrus c. 'New Bradford'</i>	New Bradford Pear
* <i>Robinia pseudoacacia</i>	Black Locust
<i>Tsuga canadensis</i>	Eastern Hemlock

**SHRUBS:**

<i>Alnus glutinosa</i>	Common Alder
* <i>Berberis thunbergii</i>	Japanese Barberry
* <i>Berberis vulgaris</i>	Common Barberry
* <i>Elaeagnus umbellata</i>	Autumn-olive
* <i>Euonymus alatus</i>	Burning Bush
* <i>Frangula alnus</i>	Glossy Buckthorn
* <i>Ligustrum obtusifolium</i>	Border Privet
<i>Ligustrum sinense</i>	Chinese Privet
<i>Ligustrum vulgare</i>	Common Privet
* <i>Lonicera maackii</i>	Amur Honeysuckle
* <i>Lonicera morrowii</i>	Morrow Honeysuckle
* <i>Lonicera tatarica</i>	Tatarian Honeysuckle
* <i>Lonicera x bella</i>	Bell's Honeysuckle
* <i>Rhamnus cathartica</i>	Common Buckthorn
* <i>Rosa multiflora</i>	Multiflora Rose

**VINES:**

* <i>Ampelopsis brevipedunculata</i>	Porcelain Ampelopsis
* <i>Celastrus orbiculatus</i>	Chinese Bittersweet
* <i>Cynanchum spp.</i>	Swallow-worts
* <i>Humulus japonicus</i>	Japanese Hops
* <i>Lonicera japonica</i>	Japanese Honeysuckle
* <i>Polygonum perfoliatum</i>	Mile-a-minute Vine
<i>Wisteria sinensis</i>	Chinese Wisteria

**ORNAMENTALS:**

* <i>Aegopodium podagraria</i>	Goutweed
* <i>Alliaria petiolate</i>	Garlic-mustard
* <i>Iris pseudacorus</i>	Yellow Flag Iris
* <i>Lythrum salicaria</i>	Purple Loosestrife
* <i>Microstegium vimineum</i>	Japanese Stilt-grass
* <i>Phalaris arundinaceae</i>	Ribbon Grass
* <i>Pragmites australis</i>	Common Reed
* <i>Polygonum cuspidatum</i>	Japanese Knotweed
<i>Urtica dioica</i>	Stinging Nettle

**AQUATICS:**

* <i>Hydrilla verticillata</i>	Hydrilla
* <i>Myriophyllum spp.</i>	Water Milfoils
* <i>Trapa natans</i>	Water-Chestnut

\* Indicates species listed *A Guide to Invasive Plants in MA*



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OFFICIAL DEVELOPMENT PROSPECTUS

Applicable to Major Construction Projects  
Submitted Under Section XVIA of the Zoning Bylaw  
And Comprehensive Permit Projects Submitted  
Under Chapter 40B

Date: 07-23-2019

Year/Number: \_\_\_\_\_

I. IDENTIFICATION

Petitioner: Sun Life Assurance

Address: 96 Worcester Street

Telephone: 781-237-6030

Land Owner of Record: Sun Life Assurance Company of Canada

Location of Property: 96 Worcester Street

Proposed Use of Property: Business (LT-B) - No Use Change

Zoning Districts: (Including all overlay districts) \_\_\_\_\_

Limited Business District (LT-B)

Are any other special permits or variances, other than Site Plan Approval  
required for this project? Yes X No \_\_\_\_\_

If yes, what is required? Notice of Intent - Wetlands Protection Committee

II. DESCRIPTION

Describe in detail the plan to be executed under the appropriate categories below

1. Land Area 360,426 SF (8.27 AC)
2. Square footage of proposed construction footprint 8,250 SF
3. Square footage of existing building footprint N/A
4. Square footage of total structure footprint N/A
5. Total floor area of existing building N/A
6. Total floor area of proposed construction N/A
7. Total floor area after proposed construction completed N/A
8. Floor area ratio: (Commercial)
9. Number of Buildings N/A
10. Number of Stories of each Building N/A
11. Height of each Building N/A
12. Number of Parking Spaces: (Existing/Proposed)  
Standard 1660 / 1554 Compact        /        Handicapped        /         
Covered        /        Open        /         
Total (Existing and proposed) 1693/1691  
Total Number Required 1204
13. Number of handicapped sidewalk curb cuts provided 1 (Additional)
14. Lot coverage in square feet ( % )

	Before	After
1) Buildings	( 36% )	( 36% )
2) Drives & Parking	( 19% )	( 19% )
3) Other uses (identify uses and coverage)	( N/A )	( N/A )
15. Open Space

1) Landscaped area	( 13% )	( 13% )
2) Natural (i.e. woods, fields)	( 27% )	( 26% )
3) Recreational	( N/A )	( N/A )

A. Residential Construction

1. Number of Dwelling Units

Efficiency N/A                      One Bedroom N/A                      Two Bedroom N/A  
Three Bedroom N/A                      Other N/A

2. How many units will be provided with handicapped access to bathrooms, toilets, entrances, egresses, etc.? N/A

3. Density in square feet of land per dwelling unit.  
Existing N/A                      Proposed N/A

4. Density in square feet of land per person:  
Existing N/A                      Proposed N/A

III. TRAFFIC IMPACT ANALYSIS AND DATA N/A  
(Explain basis for data entered)

If, as a result of the proposed construction, the following conditions will exist, Questions 1-5 must be answered:

- a. If the floor area of the building exceeds 10,000 sf; or
- b. If 50 or more vehicle trips will be generated by the completed project in any single hour of the day.

1. Projected traffic generation of proposed new development:

a. Peak Day	In	Out	Total
24-Hour	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>
Am Peak Hour	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>
PM Peak Hour	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>
b. Typical or Average Day			
24-Hour	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>
Am Peak Hour	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>
PM Peak Hour	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>

2. Current two-way traffic flows on frontage street(s): N/A

	24 Hour	AM Peak Hour	PM Peak Hour
Street <u>N/A</u>			
Street <u>N/A</u>			

3. Data compiled by: N/A

4. Date of data compilation: N/A

5. Comment on adequacy of drive entrances & exits with respect to sight distance and other traffic operations considerations on frontage street(s)

Locations through which 30 or more vehicles approach from a single direction in any single hour of the day.

(List intersections and operational problems):

N/A

List possible hazardous pedestrian and bicycle crossings:

N/A

6. Has a separate Traffic Study been submitted? Yes \_\_\_\_\_ No X

IV. PUBLIC UTILITIES - (Quantitative, state basis for data entered) N/A

A. Estimated water consumption N/A gal/day

B. Number of Fire Hydrants - existing within 200 ft \_\_\_\_\_ Proposed N/A

C. Estimated discharge to sewer system \_\_\_\_\_ gal/day

D. Sewer Disposal - will any proposed on-site individual sewage disposal systems be designed to receive more than 110 gallons of sewage per quarter acre per day? Yes \_\_\_\_\_ No X

E. Refuse disposal N/A lbs. or tons/day

1. Proposed method of handling N/A

2. What provisions will be made to facilitate the recycling of solid waste? N/A

F. Service Voltage N/A Service Amperage N/A

1. Estimated peak electrical consumption N/A kw

a. Heating Season N/A kw b. Cooling Season N/A kw

2. Estimated annual electric energy consumption N/A kw

3. Three Phase Service N/A Single Phase Service N/A

G. Are energy efficient appliances to be used? N/A

H. What R-Factors will be used in insulation and glazing for walls and ceilings? N/A

I. What energy source will be used for heating water?  
Electric N/A Gas N/A Fuel Oil N/A Other N/A

J. Will electric resistance heating or heat pumps be used? Yes \_\_\_ No X

K. Will the facility include an emergency electric generator?  
Yes \_\_\_ No X

If YES, would you be willing to run it to reduce your peak load?

Yes \_\_\_ No \_\_\_

V. FIRE PROTECTION N/A

A. \*Fire flow presently available at site N/A

B. \*Total floor area of building (Largest single building if more than one building) N/A

C. Type of Building Construction N/A

D. \*Required fire flow for building (Maximum required for a single building if more than one building) N/A

E. \*If required fire flow (D) exceeds available fire flow (A), describe plans to provide required fire flow (D)

N/A

F. Describe access for fire apparatus to building (s) N/A

\*Written statement indicating these figures signed by a registered professional engineer must accompany submittal.

VI. ENVIRONMENTAL IMPACT

A. What percentage of the property is Wetlands 5%  
Floodplains 0

Will either be altered as a result of the project? NO

B. Will the proposed development contribute in any way to pollution of groundwater, surface water, or waterway: Yes \_\_\_ No X

Oil \_\_\_ Salt \_\_\_ Chemicals \_\_\_ Other \_\_\_

Explain

---

---

Describe proposed measures to eliminate or minimize such pollution:

---

---

- C. Does the proposed development involve storage of any of the following materials above or below the ground?
- |           |  |
|-----------|--|
| <u>NO</u> | deicing chemicals or other related materials       |
| <u>NO</u> | commercial fertilizers and other related materials |
| <u>NO</u> | hazardous materials                                |
| <u>NO</u> | liquid petroleum products                          |

If YES to any of the above, list specific materials to be stored:

---

---

- D. Impact on surface drainage
- 1a. Current rate of peak runoff N/A cubic ft/second
- b. Current volume of runoff N/A cubic feet or acre-feet
- 2a. Post-development rate of peak runoff N/A cfs
- b. Post-development volume of runoff N/A cubic feet or acre-feet
- (Design storm and rainfall intensity should be cited for #1 & #2)
3. Describe measures to eliminate or minimize any increase in rate of runoff Stone trench installation for canopy area runoff and new dry-well with overflow at base of ramp structure.
- 
4. Might the project result in significant changes in existing drainage patterns? Will any abutting or other property be adversely affected by the changes? NO
- 

- E. Does the proposed structure include installation of floor drains?  
Yes      No X If YES, how many?

- F. Will the project affect the condition, use, or access to any existing public open space or recreation area? If so, how?

The proposed project will connect the current entrance via an ADA compliant walkway to accessible doors at the side and rear of the buildings.

---

G. Does the proposed development involve outside lighting? Yes  No   
if YES, state height of lighting fixtures 36" +/- (bollard lights)

Will the outside lighting shine directly on abutting premises?  
Yes  No

If YES, explain

---

Describe proposed steps to minimize this impact \_\_\_\_\_

---

H. Might any site or structure of historic or archeological significance be affected? Yes  No

Describe \_\_\_\_\_

I. Will the project require the removal of any street trees protected under M.G.L. Ch. 87? Yes  No

If YES, how many? \_\_\_\_\_

J. Will the project involve blasting or pile driving? Yes  No

1. What is the approximate volume of the material to be removed?

\_\_\_\_\_ 15 CY \_\_\_\_\_

Where will this material be disposed? Landfill \_\_\_\_\_

K. Is an Environmental Notification Form required to be filed under M.G.L. Ch. 30, Section 61-62H, the Mass. Environmental Policy Act?

Yes  No

#### VII. IMPACT OF WATER SUPPLY

A. Will the project result in an increase of 10,000 square feet or more of impervious area within a Water Supply Protection District defined by Section XIVE of the Zoning Bylaw? Yes  No

If so, does it satisfy the design and operation standards of Section XIVE? Yes  No

B. Will the project result in finished exterior grades lower than the existing grade and less than 5 feet of soil overburden above the maximum ground water elevation within a Water Supply Protection District? Yes  No

C. Will catch basins be installed? Yes \_\_\_ No X  
If so, how many? \_\_\_\_\_

Do catch basins presently exist? Yes X No \_\_\_  
If so, how many? \_\_\_\_\_

Are catch basins fitted with oil and grease traps? Yes \_\_\_ No X  
How many? Existing \_\_\_\_\_ Proposed \_\_\_\_\_

D. Will water saving appliances be used or water conservation devices be used in all plumbing? Yes \_\_\_ No N/A

VIII. FINANCIAL IMPACT

A. Estimated Building Permit Valuation N/A

B. Estimated assessed value N/A



Existing 96 Worcester Street, Entrance



Existing 96 Worcester Street, Entrance



**Existing 96 Worcester Street, Entrance**



**Existing 96 Worcester Street, Entrance**



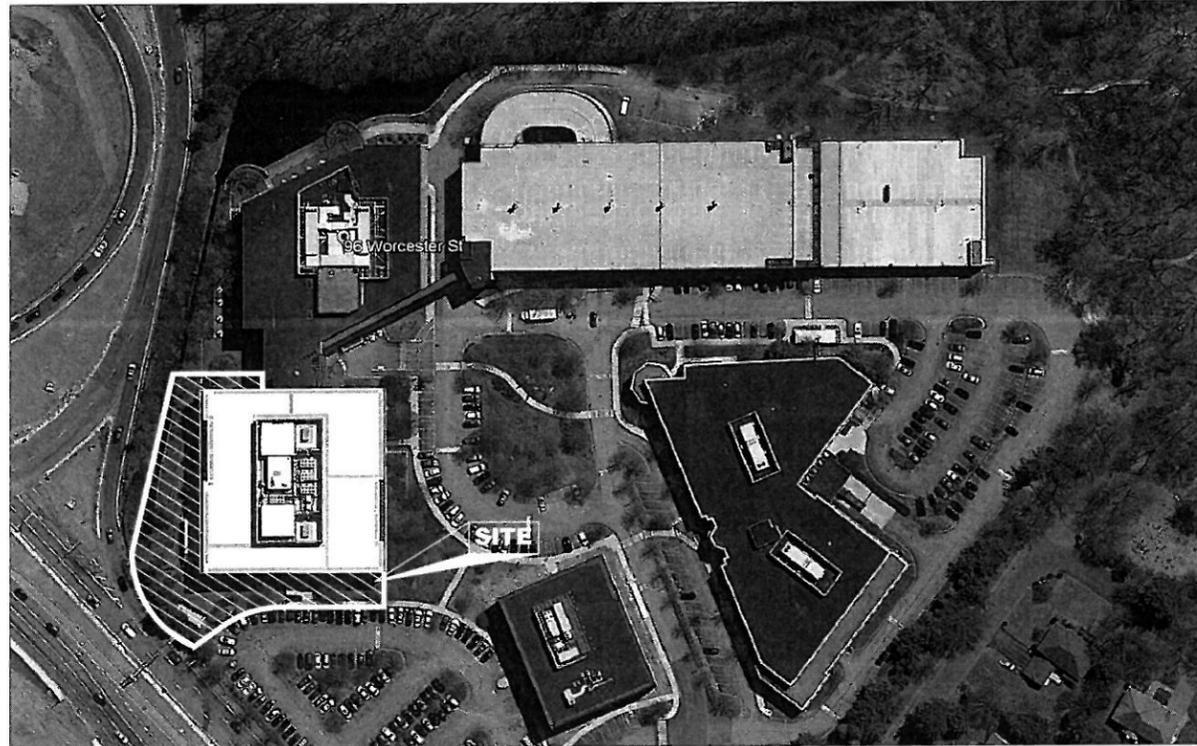
Northern Area



Northern Area

# ZBA SITE PLAN APPROVAL ACCESSIBILITY PLAN

SUN LIFE ASSURANCE  
96 WORCESTER STREET  
WELLESLEY, MA 02481



**LOCUS MAP**  
(NOT TO SCALE)



**OWNER/APPLICANT:**

SUN LIFE ASSURANCE CO. OF CANADA  
96 WORCESTER STREET  
WELLESLEY, MA 02481

**ASSESSOR'S ID:**

MAP 4  
PARCEL 2  
BOOK 31451  
PAGE 392

**ISSUED FOR: MAJOR SITE PLAN APPROVAL WITHOUT PSI**

SUBMITTAL DATE: JULY 23, 2019  
REVISED DATE:

**PROJECT TEAM:**

CIVIL ENGINEER:  
HIGHPOINT ENGINEERING  
45 DAN ROAD, SUITE 140  
CANTON, MA 02021  
TEL: (781) 713-3401  
ATTN: Derek B. Redgate, P.E.  
www.highpointeng.com

LAND SURVEYOR:  
DGT ASSOCIATES SURVEYING & ENGINEERING  
1071 WORCESTER ROAD  
FRAMINGHAM, MA 01701  
TEL: (508)-879-0030

LANDSCAPE ARCHITECT:  
COPELY WOLFF DESIGN GROUP  
LANDSCAPE ARCHITECTS & PLANNERS  
10 POST OFFICE SQUARE #1315  
BOSTON, MA 02109  
ATTN: JIM HEROUX  
TEL: (617)-654-9000

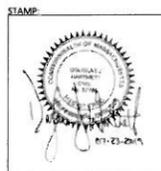
ARCHITECT:  
FUSION DESIGN CONSULTANTS  
300 SUMMER STREET, 1ST FLOOR  
BOSTON, MA 02210  
ATTN: JIM DUFFY

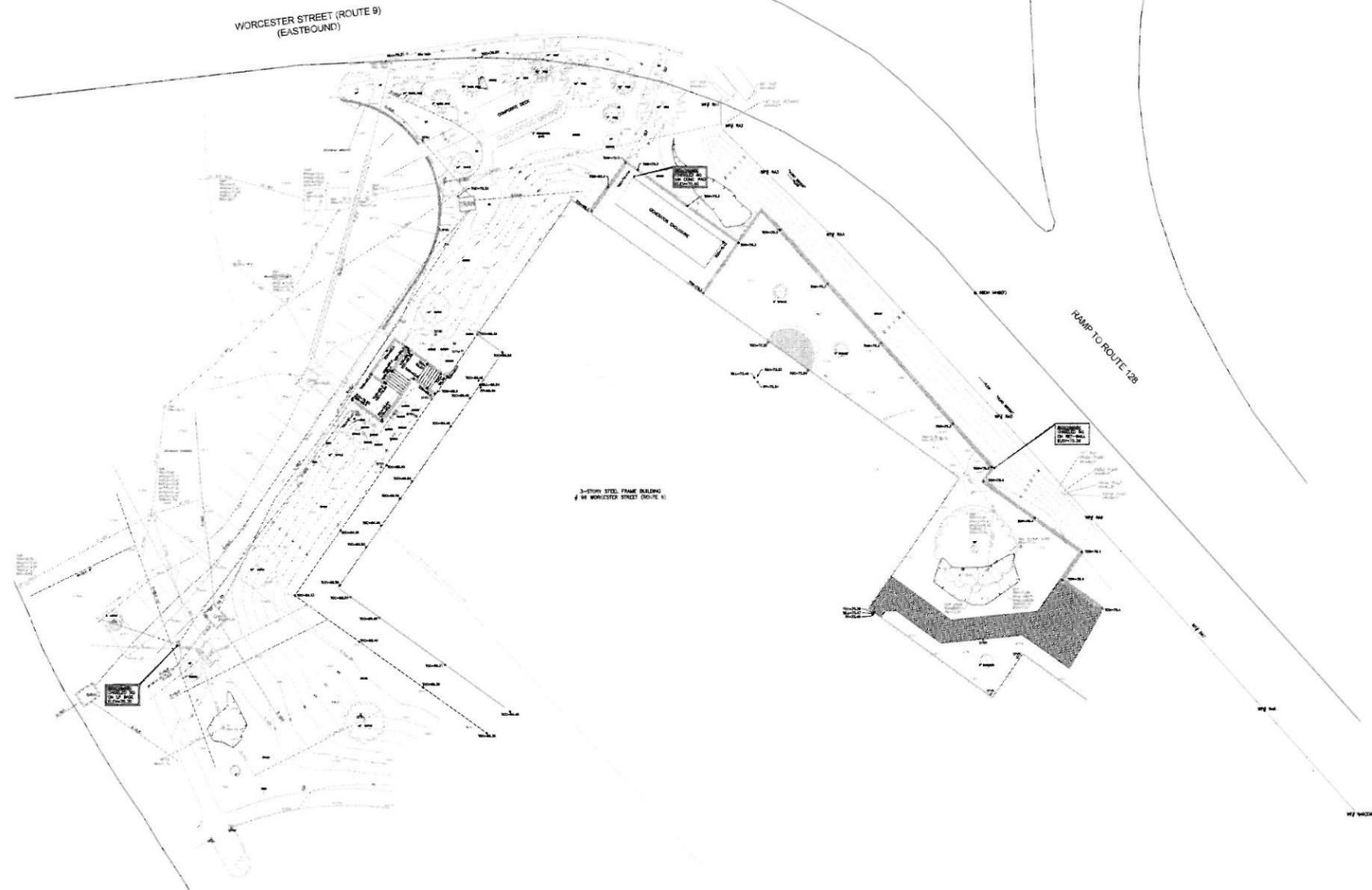
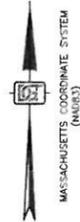
**INDEX OF DRAWINGS**

		ISSUE HISTORY:	
		ISSUED FOR ZBA SITE PLAN REVIEW WITHOUT PSI JULY 23, 2019	
<b>GENERAL</b>			
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C100	SITE PREPARATION AND EROSION CONTROL PLAN	•	
L1.0	MATERIALS AND GRADING PLAN	•	
L2.0	LANDSCAPE PLANTING PLAN (PLANS DATED 6-27-2019)	•	
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L4.1	LANDSCAPE DETAILS SHEET 2 (PLANS DATED 6-27-2019)	•	
A01	PLANS, ELEVATIONS AND DETAILS	•	



**PROPOSED RENDERING**





**UTILITY NOTES**

THE PRINCIPAL GUIDELINES FOR UNDERGROUND UTILITY MAPPING ARE THE AMERICAN SOCIETY OF CIVIL ENGINEERS (ASCE) C/ASCE 38-02, STANDARD GUIDELINE FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA, 2003.

**UTILITY QUALITY LEVEL INFORMATION INDEX (ASCE/C1 38-02):**

**QUALITY LEVEL D, "OLD"** UTILITY INFORMATION PLOTTED ON THE DRAWING BASED SOLELY ON RECORD INFORMATION, INDIVIDUAL RECOLLECTIONS OR THE EXISTENCE OF UTILITY SERVICE. IT SHALL BE NOTED THAT ALL INFORMATION SHOWN (OTHER THAN AT TEST HOLE LOCATIONS, SEE "OLA" BELOW), INCLUDE BUT NOT LIMITED TO UTILITY SIZE, CAPACITY, MATERIAL COMPOSITION, CONDITION OR SERVICE STATUS SHALL BE CONSIDERED "OLD" EVEN THOUGH THE UTILITY MAY BE PLOTTED AND LABELED AS "OLC" OR "OLB".

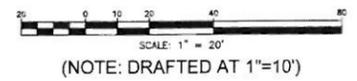
**QUALITY LEVEL C, "OLC"** UTILITY INFORMATION OBTAINED AS ABOVE FOR QUALITY LEVEL D, PLOTTED TO CORRELATE WITH SURFACE UTILITY FEATURES WHICH HAVE BEEN FIELD VERIFIED, SURVEY LOCATED AND ACCURATELY REDUCED ONTO THE DESIGN/CONSTRUCTION DOCUMENTS. INCLUDED IN THIS CATEGORY ARE UTILITY DEPICTIONS, WHICH IN THE PROFESSIONAL OPINION OF THE SUBSURFACE UTILITY ENGINEER REPRESENT THE MOST PROBABLE APPROXIMATE HORIZONTAL LOCATION, TYPE AND/OR EXISTENCE OF A UTILITY.

**QUALITY LEVEL B, "OLB"** UTILITY INFORMATION DERIVED BY ESTABLISHING THE SURFACE HORIZONTAL LOCATION OF A UTILITY USING ELECTRONIC METHODS. SAID INFORMATION IS SUBSEQUENTLY FIELD LOCATED AND ACCURATELY REDUCED ONTO THE DESIGN/CONSTRUCTION DOCUMENTS.

ALL UNDERGROUND UTILITIES SHOWN HEREON ARE QUALITY LEVEL "D" (OLD) PER ASCE STANDARD 38-02 DESIGNATION UNLESS OTHERWISE NOTED. THEY ARE APPROXIMATE ONLY AND WERE COMPILED ACCORDING TO AVAILABLE RECORDS FROM THE VARIOUS COMPANIES AND PUBLIC AGENCIES. ACTUAL LOCATIONS MUST BE DETERMINED IN THE FIELD. BEFORE DESIGNING, EXCAVATING, BLASTING, INSTALLING, BACKFILLING, GRADING, PAVEMENT RESTORATION, REPAIRING OR OTHER CONSTRUCTION, ALL UTILITY COMPANIES MUST BE NOTIFIED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THIS PLAN. SEE CHAPTER 570, ACTS OF 1963, MASSACHUSETTS. CALL "DIG-SAFE" AT 1-888-344-7233 OR DIAL 811. DOT ASSOCIATES ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACCURATELY SHOWN. BEFORE FUTURE CONNECTIONS, THE APPROPRIATE UTILITY ENGINEERING DEPARTMENTS MUST BE CONSULTED.

- QUALITY LEVEL "B" INFORMATION ("OLB")**
- CATV-OLB--- COMMUNICATIONS: CABLE TELEVISION, ALARM OR SIGNAL LINES
  - D-OLB--- DRAIN
  - E-OLB--- ELECTRIC: ELEC. POWER LINES, CABLES, CONDUIT & LIGHTING CABLES
  - FO-OLB--- COMMUNICATIONS: FIBER OPTIC
  - S-OLB--- SEWER
  - T-OLB--- COMMUNICATIONS: TELEPHONE
  - U-OLB--- UNVERIFIED / UNKNOWN UTILITY TYPE
  - W-OLB--- WATER: LOW PRESSURE, HIGH PRESSURE, FIRE SERVICE
- QUALITY LEVEL "C" INFORMATION ("OLC")**
- CATV-OLC--- COMMUNICATIONS: CABLE TELEVISION, ALARM OR SIGNAL LINES
  - D-OLC--- DRAIN
  - E-OLC--- ELECTRIC: ELEC. POWER LINES, CABLES, CONDUIT & LIGHTING CABLES
  - FO-OLC--- COMMUNICATIONS: FIBER OPTIC
  - S-OLC--- SEWER
  - T-OLC--- COMMUNICATIONS: TELEPHONE
  - U-OLC--- UNVERIFIED / UNKNOWN UTILITY TYPE
  - W-OLC--- WATER: LOW PRESSURE, HIGH PRESSURE, FIRE SERVICE
- QUALITY LEVEL "D" INFORMATION ("OLD")**
- CATV--- COMMUNICATIONS: CABLE TELEVISION, ALARM OR SIGNAL LINES
  - D--- DRAIN
  - E--- ELECTRIC: ELEC. POWER LINES, CABLES, CONDUIT & LIGHTING CABLES
  - FO--- COMMUNICATIONS: FIBER OPTIC
  - S--- SEWER
  - T--- COMMUNICATIONS: TELEPHONE
  - U--- UNVERIFIED / UNKNOWN UTILITY TYPE
  - W--- WATER: LOW PRESSURE, HIGH PRESSURE, FIRE SERVICE

*[Signature]*  
26 June 2019



**LEGEND**

- |  |   |
|--|---|
| <ul style="list-style-type: none"> <li>ASPHALT CURB</li> <li>BOLLARD OR GUARD POST</li> <li>CATCH BASIN</li> <li>CHAIN LINK FENCE</li> <li>CONCRETE SIDEWALK</li> <li>DRAIN MANHOLE</li> <li>ELECTRIC MANHOLE</li> <li>FINISHED FLOOR ELEVATION</li> <li>GRANITE CURB</li> <li>HYDRANT</li> <li>IRRIGATION CONTROL VALVE</li> <li>LIGHT POLE</li> <li>LANDSCAPED AREAS</li> <li>MAN HOLE</li> <li>POST</li> <li>RETAINING WALL</li> <li>STEEL GUARD RAIL</li> <li>SHRUB</li> </ul> | <ul style="list-style-type: none"> <li>SIGN</li> <li>SIGN POST</li> <li>SILL ELEVATION</li> <li>GARAGE SLAB ELEVATION</li> <li>SEWER MANHOLE</li> <li>WATER SPIGOT</li> <li>WATER SPRINKLER</li> <li>SPOT ELEVATION, HARD SURFACE</li> <li>SPOT ELEVATION, SOFT GROUND</li> <li>SEWER SHUT-OFF</li> <li>TOP OF CURB ELEVATION</li> <li>TOP OF CONCRETE ELEVATION</li> <li>TOP OF FOUNDATION ELEVATION</li> <li>TOP OF WALL ELEVATION</li> <li>TELEPHONE HAND HOLE/PULL BOX</li> <li>TELEPHONE MANHOLE</li> <li>TRAFFIC HAND HOLE/PULL BOX</li> <li>TRANSFORMER</li> <li>WETLAND FLAG</li> </ul> |
|--|---|

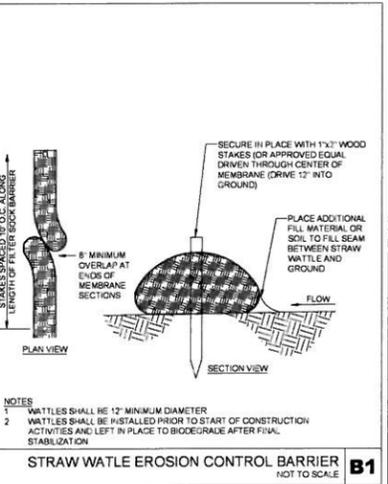
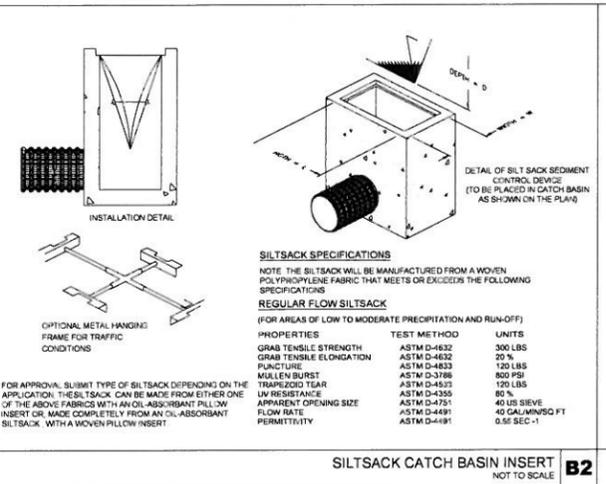
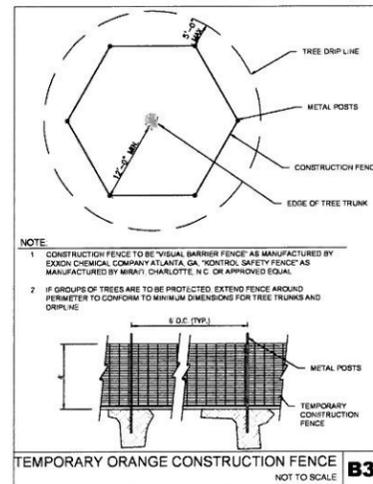
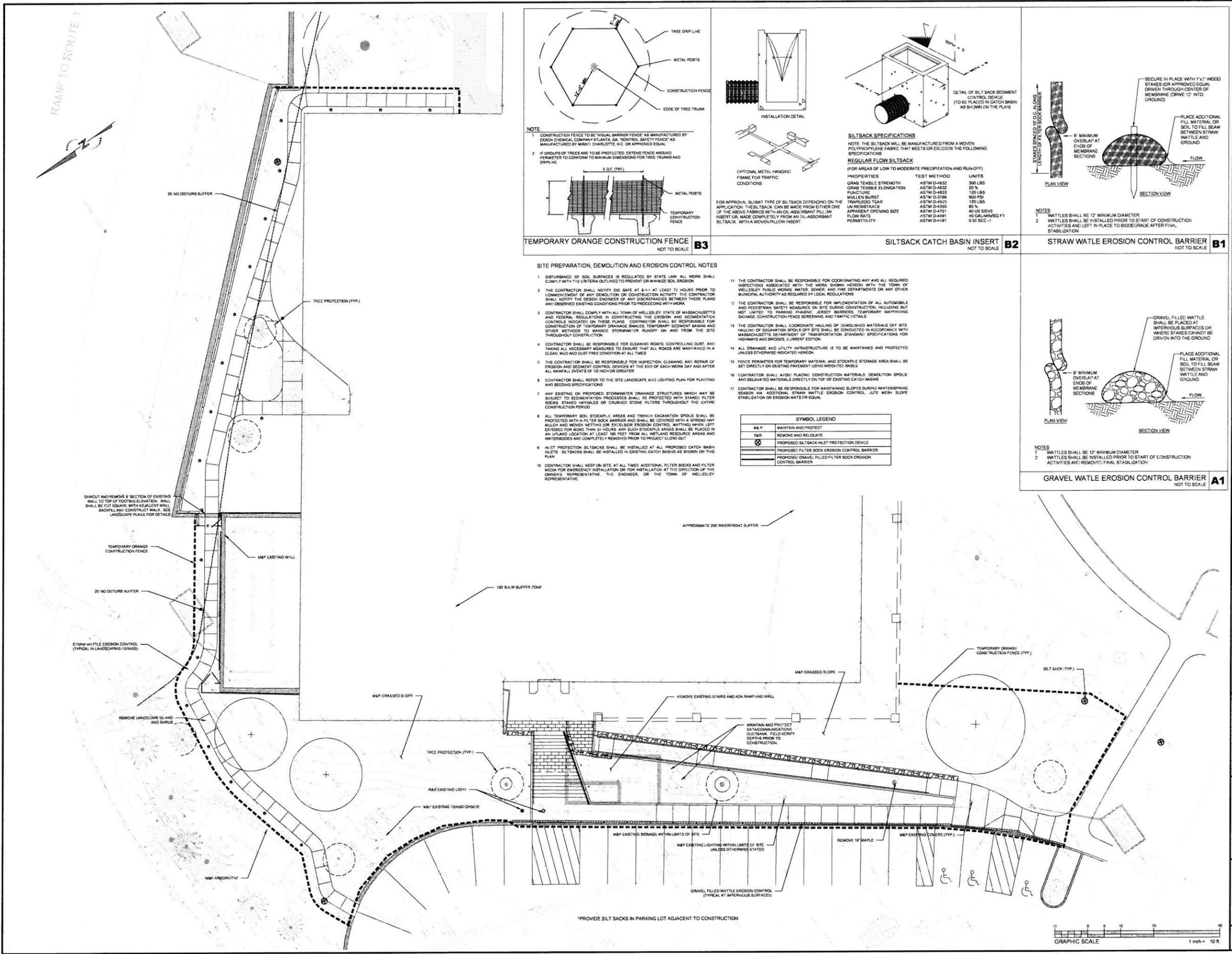
**NOTES**

- 1.) RECORD OWNER IS SUN LIFE ASSURANCE OF CANADA (U.S.). SEE DEED BOOK 31451 PAGE 392.
- 2.) ELEVATIONS REFER TO THE TOWN OF WELLESLEY DATUM, SUBTRACT 6.29' TO CONVERT TO NAVD 1988.
- 3.) SEE WELLESLEY ASSESSORS MAP 4, PARCEL 2.
- 4.) PARCEL FALLS WITHIN ZONING DISTRICT LIMITED BUSINESS-"LT B".
- 5.) THE PARCEL LIES IN "ZONE X", FEMA FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 2502100028E, DATE: JULY 17, 2012.
- 6.) SEE NORFOLK COUNTY REGISTRY OF DEEDS FOR RECORD DOCUMENTS.
- 7.) TOPOGRAPHIC FEATURES, SITE DETAILS AND SIGNIFICANT IMPROVEMENTS DEPICTED HEREON, WERE OBTAINED FROM A FIELD SURVEY CONDUCTED BY DGT ASSOCIATES, INC. ON APRIL 26, 2019.
- 8.) THIS TOPOGRAPHIC SURVEY WAS PREPARED TO MEET NATIONAL MAP ACCURACY STANDARDS AT A SCALE OF 1"=10' HORIZONTALLY AND A 1 FOOT CONTOUR INTERVAL VERTICALLY. ANY REPRODUCTIONS OR RESCALING MAY AFFECT THE MAP ACCURACY.
- 9.) LOCATION OF UNDERGROUND UTILITIES SHOWN HEREON WERE DETERMINED FROM EXISTING RECORDS AND FROM LOCATION OF ABOVE GROUND UTILITY FEATURES. LOCATION SHOWN SHALL BE CONSIDERED APPROXIMATE. BEFORE CONSTRUCTION, THE LOCATION OF UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR. IN ACCORDANCE WITH CH. 82, SEC. 40 AS AMENDED, ALL UTILITY COMPANIES AND APPLICABLE GOVERNMENT AGENCIES MUST BE CONTACTED. CONTACT "DIG-SAFE" AT 811.
10. WETLAND DELINEATION PERFORMED BY ECOTEC, INC. - ENVIRONMENTAL CONSULTING SERVICES.

SITE ADDRESS: SUN LIFE 96 WORCESTER STREET		RESEARCH: JAC
TOPOGRAPHIC PLAN OF LAND IN WELLESLEY, MASSACHUSETTS NORFOLK COUNTY		FIELD: ABW
PREPARED FOR: HIGHPOINT ENGINEERING 45 DAN ROAD CANTON, MA 02021		CALCULATIONS: JAC
PREPARED BY: <b>DGT Associates</b> Surveying & Engineering Framingham • Boston • Worcester 1071 Worcester Road, Framingham, MA 01701 508-879-0030 www.DGTAssociates.com		DRAFTING: JAC
		CHECK: PAL
		PROJ. MANAGER: DWH, PLS
		DATE: 26 JUNE 2019
		PROJECT NO.: 25343
		CRD FILE: NA
		SHEET 1 OF 1

BY:	DESCRIPTION:	DATE:	REV:

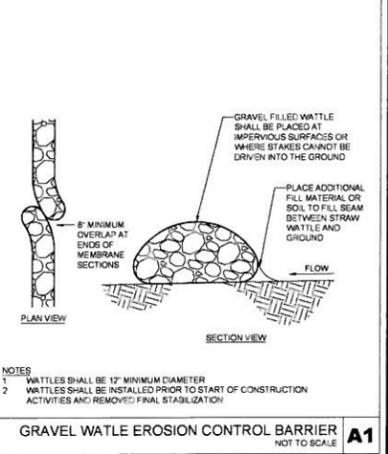
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**SITE PREPARATION, DEMOLITION AND EROSION CONTROL NOTES**

- DISTURBANCE OF SOIL SURFACES IS REGULATED BY STATE LAW. ALL WORK SHALL COMPLY WITH THE CRITERIA OUTLINED TO PREVENT OR MINIMIZE SOIL EROSION.
- THE CONTRACTOR SHALL NOTIFY (DIG SAFE AT 8-1-1 AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF ANY DEMOLITION OR CONSTRUCTION ACTIVITY) THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES BETWEEN THESE PLANS AND OBSERVED EXISTING CONDITIONS PRIOR TO PROCEEDING WITH WORK.
- CONTRACTOR SHALL COMPLY WITH ALL TOWN OF WELLESLEY STATE OF MASSACHUSETTS AND FEDERAL REGULATIONS IN CONSTRUCTING THE EROSION AND SEDIMENTATION CONTROLS INDICATED ON THESE PLANS. CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION OF TEMPORARY DRAINAGE SWALES, TEMPORARY SEDIMENT BASINS AND OTHER METHODS TO MANAGE STORMWATER RUNOFF ON AND FROM THE SITE THROUGHOUT CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ROADS, CONTROLLING DUST, AND TAKING ALL NECESSARY MEASURES TO ENSURE THAT ALL ROADS ARE MAINTAINED IN A CLEAN, MUD AND DUST FREE CONDITION AT ALL TIMES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTION, CLEANING AND REPAIR OF EROSION AND SEDIMENT CONTROL DEVICES AT THE END OF EACH WORK DAY AND AFTER ALL ANNUAL EVENTS OF 1/2 INCH OR GREATER.
- CONTRACTOR SHALL REFER TO THE SITE LANDSCAPE AND LIGHTING PLAN FOR PLANTING AND SEEDING SPECIFICATIONS.
- ANY EXISTING OR PROPOSED STORMWATER DRAINAGE STRUCTURES WHICH MAY BE SUBJECT TO SEDIMENTATION PROCESSES SHALL BE PROTECTED WITH STAKED FILTER SOCKS, STAKED HAYBALES OR CRUSHED STONE FILTERS THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD.
- ALL TEMPORARY SOIL STOCKPILE AREAS AND TRENCH EXCAVATION SPILLS SHALL BE PROTECTED WITH A FILTER SOCK BARRIER AND SHALL BE COVERED WITH A SPREAD WAY MULCH AND WOVEN NETTING (OR EXCELISOR EROSION CONTROL MATTING) WHEN LEFT EXPOSED FOR MORE THAN 24 HOURS. ANY SUCH STOCKPILE AREAS SHALL BE PLACED IN AN UPLAND LOCATION AT LEAST 100 FEET FROM ALL WETLAND RESOURCE AREAS AND WATERBODIES AND COMPLETELY REMOVED PRIOR TO PROJECT CLOSE-OUT.
- IF NET PROTECTION SILTSACKS SHALL BE INSTALLED AT ALL PROPOSED CATCH BASIN INLETS. SILTSACKS SHALL BE INSTALLED IN EXISTING CATCH BASINS AS SHOWN ON THIS PLAN.
- CONTRACTOR SHALL KEEP ON SITE AT ALL TIMES. ADDITIONAL FILTER SOCKS AND FILTER MEDIA FOR EMERGENCY INSTALLATION OR FOR INSTALLATION AT THE DISCRETION OF THE OWNER'S REPRESENTATIVE, THE ENGINEER, OR THE TOWN OF WELLESLEY REPRESENTATIVE.

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ANY AND ALL REQUIRED INSPECTIONS ASSOCIATED WITH THE WORK SHOWN HEREIN WITH THE TOWN OF WELLESLEY PUBLIC WORKS, WATER, SEWER, AND FIRE DEPARTMENTS OR ANY OTHER MUNICIPAL AUTHORITY AS REQUIRED BY LOCAL REGULATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTATION OF ALL AUTOMOBILE AND PEDESTRIAN SAFETY MEASURES ON SITE DURING CONSTRUCTION, INCLUDING BUT NOT LIMITED TO: PARKING, FLAGGING, JERSEY BARRIERS, TEMPORARY WAYFRONT SIGNAGE, CONSTRUCTION FENCE SCREENING, AND TRAFFIC LIGHTS.
- THE CONTRACTOR SHALL COORDINATE HAULING OF DISMISSED MATERIALS OFF SITE. HAULING OF EXCAVATION SPILLS OFF SITE SHALL BE CONDUCTED IN ACCORDANCE WITH MASSACHUSETTS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, CURRENT EDITION.
- ALL DRAINAGE AND UTILITY INFRASTRUCTURE IS TO BE MAINTAINED AND PROTECTED UNLESS OTHERWISE INDICATED HEREON.
- FENCE PERIMETER FOR TEMPORARY MATERIAL AND STOCKPILE STORAGE AREA SHALL BE SET DIRECTLY ON EXISTING PAVEMENT USING WEIGHTED BASES.
- CONTRACTOR SHALL AVOID PLACING CONSTRUCTION MATERIALS, DEMOLITION SPILLS, AND DEBRIS MATERIALS DIRECTLY ON TOP OF EXISTING CATCH BASINS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING SLOPES DURING WATERSPREADING SEASON VIA ADDITIONAL STRAW WATTLE EROSION CONTROL, JUTE MESH SLOPE STABILIZATION OR EROSION MATS OR EQUAL.



**SYMBOL LEGEND**

M&P	MAINTAIN AND PROTECT
R&R	REMOVE AND RELOCATE
(Symbol: Circle with X)	PROPOSED SILTSACK INLET PROTECTION DEVICE
(Symbol: Circle with S)	PROPOSED FILTER SOCK EROSION CONTROL BARRIER
(Symbol: Circle with G)	PROPOSED GRAVEL FILLED FILTER SOCK EROSION CONTROL BARRIER

**HIGHPOINT ENGINEERING, INC.**  
www.highpointeng.com

Client: SUN LIFE ASSURANCE COMPANY OF CANADA  
ONE SUN LIFE EXECUTIVE PARK  
WELLESLEY HILLS, MA 02481

Scale: 1" = 10'

**SUN LIFE FINANCIAL ACCESSIBILITY PLAN**

SUN LIFE ASSURANCE COMPANY OF CANADA  
96 WORCESTER STREET  
WELLESLEY, MA 02481  
OWNER/APPLICANT: SUN LIFE ASSURANCE COMPANY OF CANADA

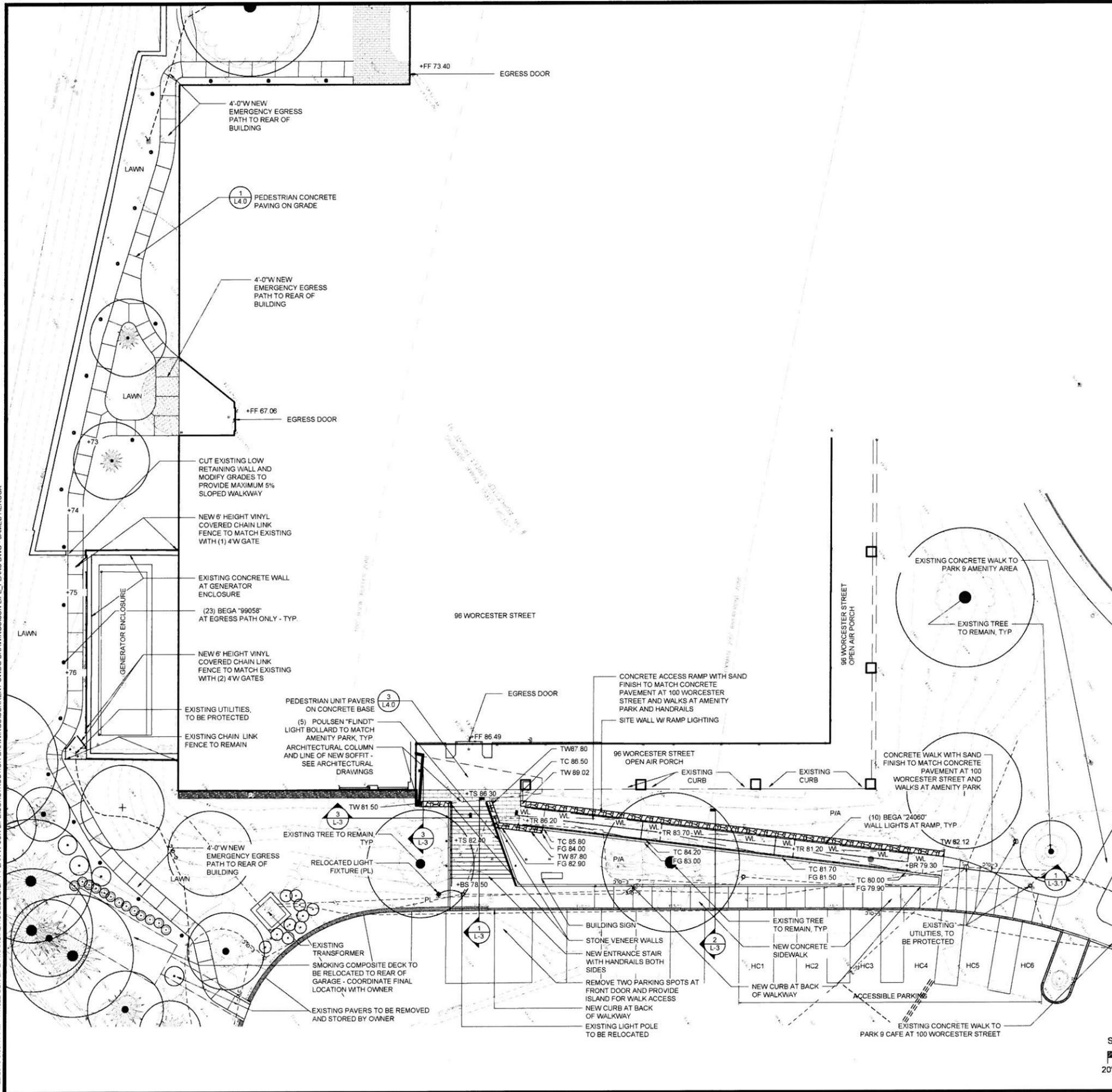
REV	DATE	DESCRIPTION
1	2019.07.23	28A SITE PLAN APPROVAL WITHOUT P&S
2	2019.07.23	ISSUE DATE
3	2019.07.23	PROJECT NUMBER
4	19008	

Drawn by: SAH  
Checked by: DR  
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**SITE PREPARATION AND EROSION CONTROL PLAN**

Sheet Number: **C100**

7/22/2019 6:05:17 PM - T:1122 SUN LIFE FINANCIAL ACCESSIBILITY PLAN W SUN LIFE CONSTRUCTION DRAWINGS SUN LIFE PLANS DWG - JAMES HEROUX



**MATERIALS NOTES**

1. THE DIMENSIONS OF CONCRETE PAVEMENT MODULES AS SHOWN ON THE DRAWINGS ARE TO THE CENTER LINE OF EACH TYPE OF JOINT EXCEPT WHERE PAVEMENT MEETS A VERTICAL FACE, AT THIS LOCATION DIMENSIONS ARE TO THE VERTICAL FACE.
2. THE DIMENSIONS SHOWN ON DRAWINGS SHOW DESIGN INTENT AND MUST BE FIELD VERIFIED PRIOR TO PREPARATION OF SHOP DRAWINGS. ALL ALIGNMENTS SHALL BE INSTALLED AS SHOWN.
3. REQUIRED SHOP DRAWINGS FOR ALL PAVEMENT AND SITE WALLS SHALL BE BASED ON FIELD MEASUREMENT AND LAYOUT VERIFICATION BY THE CONTRACTOR.
4. WHERE NEW PAVING MEETS EXISTING PAVING, MEET LINE AND GRADE OF EXISTING WITH NEW CONSTRUCTION.
5. EXPANSION JOINT FILLER AND SEALANT SHALL BE PLACED WHERE PAVEMENT MEETS CURBING, WALLS OF OTHER VERTICAL ELEMENTS, INCLUDING LIGHT BASES, HYDRANTS, BUILDINGS AND BUILDING COLUMNS, WALLS, STAIRS AND AT OTHER CONDITIONS AS SHOWN ON THE DRAWINGS. CONTRACTOR SHALL REQUEST THE PRESENCE OF THE LANDSCAPE ARCHITECT TO REVIEW THE LAYOUT OF EXPANSION JOINTS PRIOR TO PLACING FINISHED WORK.

**LANDSCAPE GRADING NOTES**

1. PITCH EVENLY BETWEEN SPOT GRADES. ALL PAVING AREAS MUST PITCH TO DRAIN AT MIN. PITCH OF 1/4" PER FOOT UNLESS OTHERWISE SHOWN. REPORT ANY DISCREPANCIES BETWEEN EXISTING AND PROPOSED SPOT GRADES THAT DO NOT PITCH ACCORDINGLY TO THE LANDSCAPE ARCHITECT BEFORE COMMENCING WORK.
2. WHERE NEW PAVING MEETS EXISTING PAVING, MEET LINE AND GRADE OF EXISTING SMOOTHLY WITH NEW CONSTRUCTION.
3. EXCAVATION ADJACENT TO EXISTING AND PROPOSED UTILITY LINES AND EXISTING TREES SHALL BE DONE BY HAND. CONTRACTOR SHALL PROTECT ALL EXPOSED UTILITIES.
4. CONTRACTOR SHALL PROTECT EXISTING UTILITIES, EXISTING STRUCTURES, IMPROVEMENTS, APPURTENANCES AND VEGETATION TO REMAIN. CONTRACTOR SHALL REPAIR ANY DAMAGE INCURRED AT NO COST TO OWNER.
5. CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF PERMITS AND LICENSES ISSUED BY THE FEDERAL, STATE AND LOCAL AGENCIES (SEE SPECS).
6. CONTRACTOR SHALL COORDINATE ALL SITE UTILITY IMPROVEMENTS WITH THE PROPER AUTHORITIES.
7. MAINTAIN A MAXIMUM OF 1.8% CROSS SLOPE ON ALL PAVED SURFACES, UNLESS OTHERWISE NOTED.
8. ALL MANHOLES, DRAINAGE STRUCTURES, STEAM MANHOLES, ELECTRIC MANHOLE FRAMES AND COVERS WITHIN THE PROJECT WORK AREA SHALL BE ADJUSTED TO FINISH GRADES UNLESS OTHERWISE NOTED.
9. SEE CIVIL ENGINEER'S DRAWINGS FOR GRADING IN VEHICULAR AREAS, PUBLIC SIDEWALK AND ACCESSIBLE CURB RAMPS.

**PAVING LEGEND**

- UNIT PAVERS
- PEDESTRIAN CONCRETE PAVING

**LIGHTING LEGEND**

- \* BL1 LIGHT BOLLARD, LOUIS POULSON (BL1)
- BL2 LIGHT BOLLARD, BEGA (BL2)
- WL WALL LIGHT (WL)
- \* PL RELOCATED POLE LIGHT FIXTURE (PL)

PREPARED BY  
**C W D G** Copley Wolff Design Group  
Landscape Architects & Planners

PERMIT SET

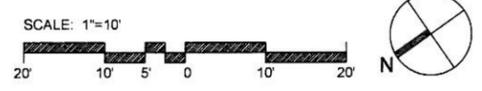
PROJECT NAME / CLIENT  
**SUN LIFE ASSURANCE  
ACCESSIBILITY PLAN  
96 WORCESTER STREET, WELLESLEY HILLS, MA 02458**

CADD PROJECT NUMBER 1922

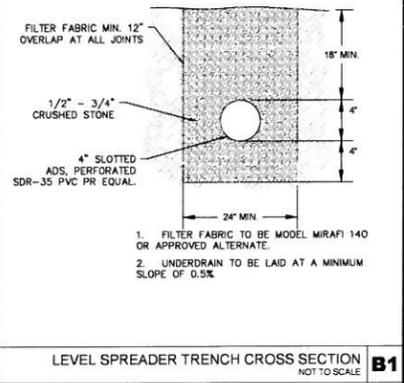
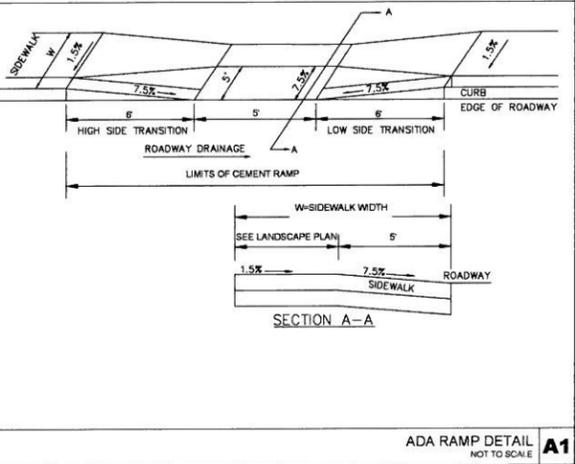
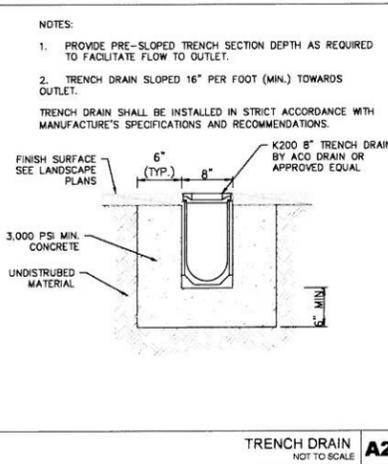
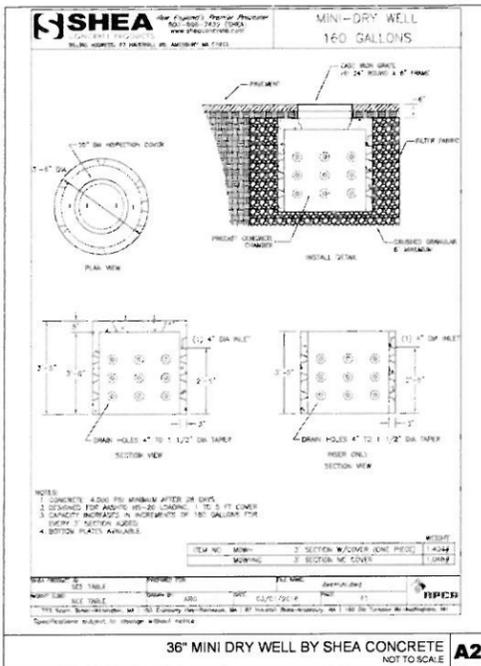
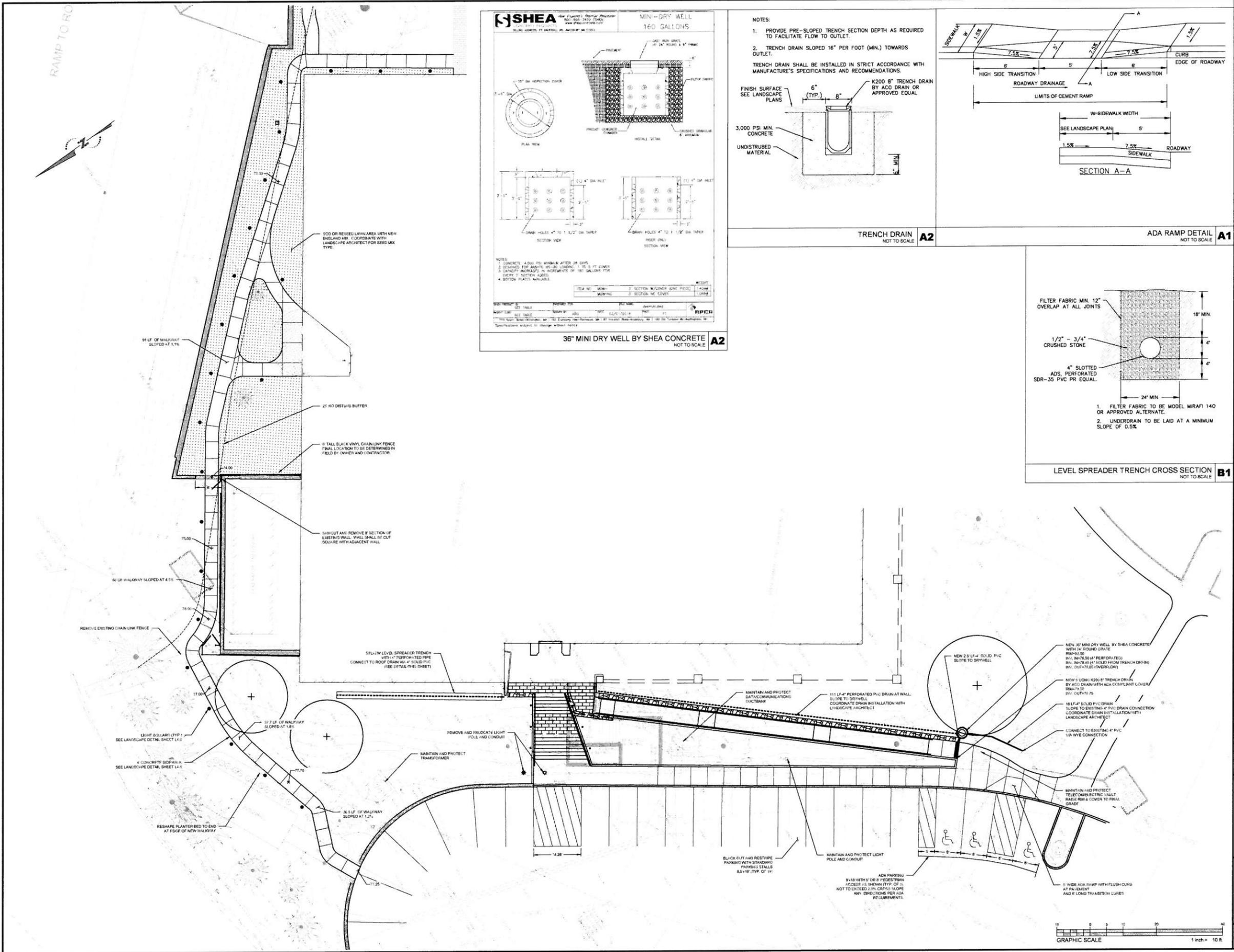
REV #	DATE	DESCRIPTION
5/23/2019		DRAFT PLANS
6/27/2019		PERMIT PLANS
7/23/2019		ZBA PLANS

DRAWING TITLE  
**MATERIALS AND LIGHTING PLAN**

DRAWN BY: AS  
CHECKED BY: JH  
SCALE: 1" = 10'  
DATE: 05.23.2019  
SHEET: 2 OF 6  
DRAWING NUMBER: **L1.0**







HIGH POINT ENGINEERING, INC.  
 100 WILSON AVENUE  
 WELLESLEY, MA 02481  
 www.highpointeng.com

CLIENT: SUN LIFE ASSURANCE COMPANY OF CANADA  
 ONE SUN LIFE EXECUTIVE PARK  
 WELLESLEY HILLS, MA 02481

CONTRACT NO.:

PROJECT NO. 19008  
 SHEET NO. C200



**SUN LIFE FINANCIAL ACCESSIBILITY PLAN**  
 SUN LIFE ASSURANCE COMPANY OF CANADA  
 96 WORCESTER STREET  
 WELLESLEY, MA 02481  
 OWNER/APPLICANT: SUN LIFE ASSURANCE COMPANY OF CANADA

REV.	DATE	DESCRIPTION

ISSUE TYPE: 2BA SITE PLAN APPROVAL WITHOUT PS  
 ISSUE DATE: JULY 23, 2019  
 PROJECT NUMBER: 19008

DRAWN BY: SHW  
 CHECKED BY: DR  
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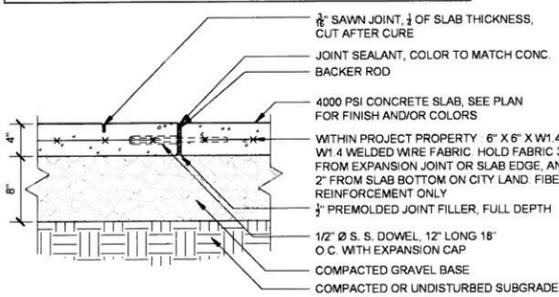
**CIVIL SITE PLAN**

SHEET NUMBER: **C200**

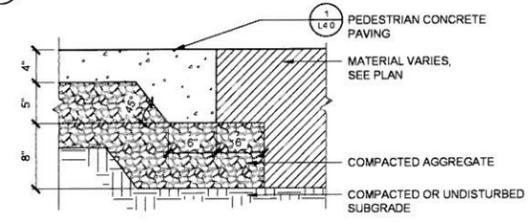




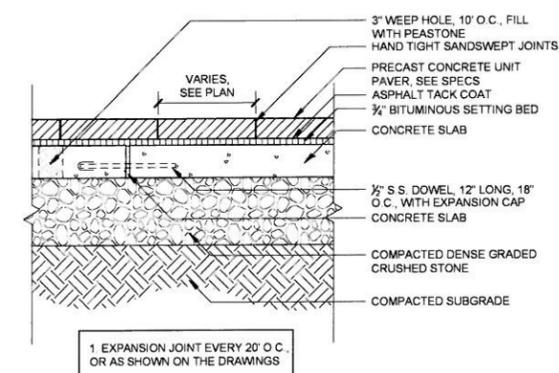
- NOTE:  
 1 CONTROL JOINTS EVERY 5' UNLESS OTHERWISE SHOWN ON PLAN  
 2 EXPANSION JOINTS EVERY 20' UNLESS OTHERWISE SHOWN ON PLAN  
 3 EXPANSION JOINTS TYPICAL AT BUILDING AND CURBS  
 4 PROVIDE 10" DEEP THICKENED EDGE AT PLANTING BEDS, 6" WIDTH



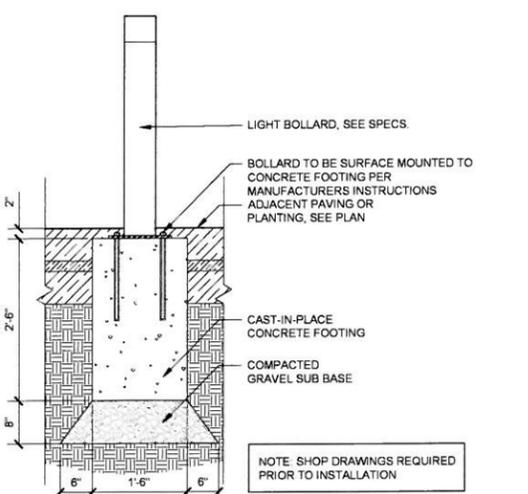
**1 PEDESTRIAN CONCRETE PAVING ON GRADE**  
 SCALE: 1-1/2" = 1'-0"



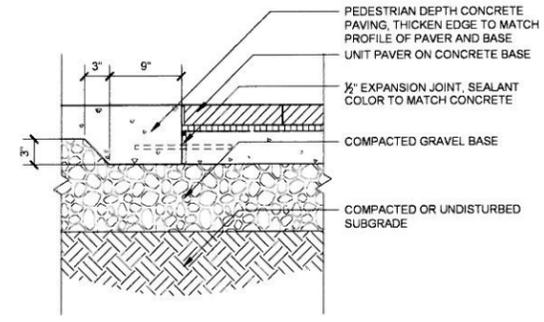
**2 THICKENED EDGE AT CONCRETE PAVING**  
 SCALE: 1-1/2" = 1'-0"



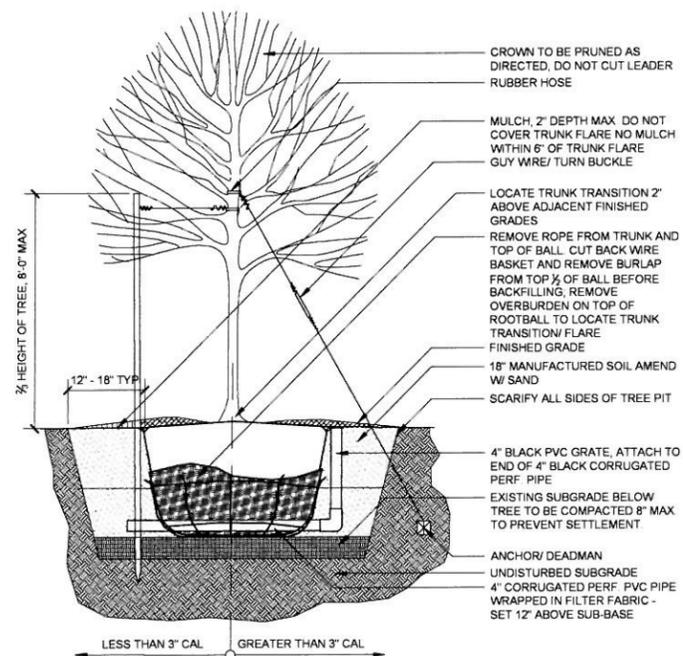
**3 UNIT PAVERS ON CONCRETE BASE**  
 SCALE: 1-1/2" = 1'-0"



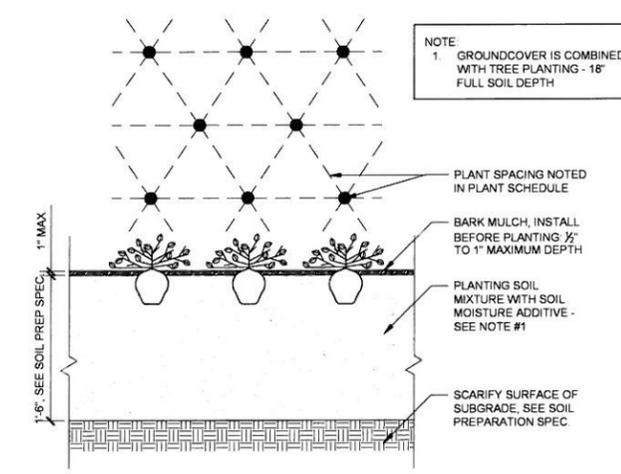
**4 LIGHT BOLLARD**  
 SCALE: 1" = 1'-0"



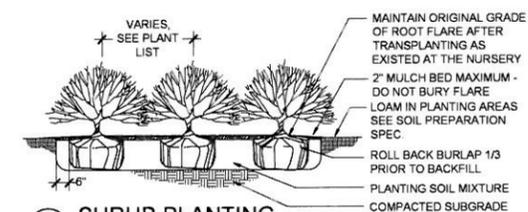
**5 UNIT PAVER TO CONCRETE PAVING TRANSITION**  
 SCALE: 1-1/2" = 1'-0"



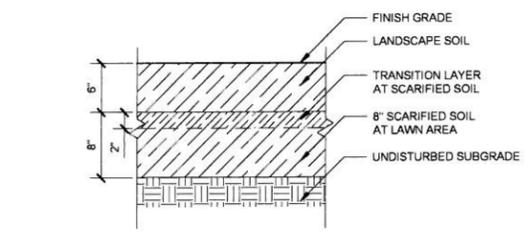
**6 DECIDUOUS TREE PLANTING**  
 SCALE: 1/2" = 1'-0"



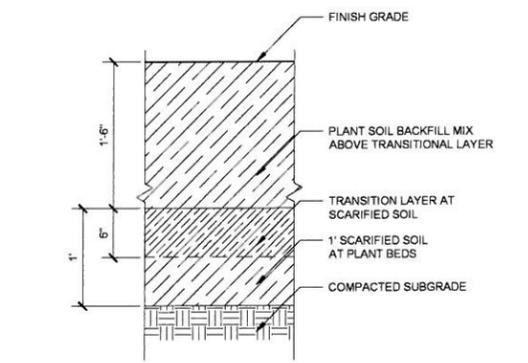
**7 GROUNDCOVER/ VINE PLANTING**  
 NOT TO SCALE



**8 SHRUB PLANTING**  
 SCALE: NOT TO SCALE



**9 SOIL PREP AT SOD LAWN**  
 SCALE: 1-1/2" = 1'-0"



**10 SOIL PREP AT WOODY PLANT BEDS**  
 SCALE: 1-1/2" = 1'-0"

**SUN LIFE ASSURANCE  
 ACCESSIBILITY PLAN**  
 96 WORCESTER STREET, WELLESLEY HILLS, MA 2

REV #	DATE	DESCRIPTION
5/23/2019		DRAFT PLANS
6/27/2019		PERMIT PLANS
7/23/2019		ZBA PLANS

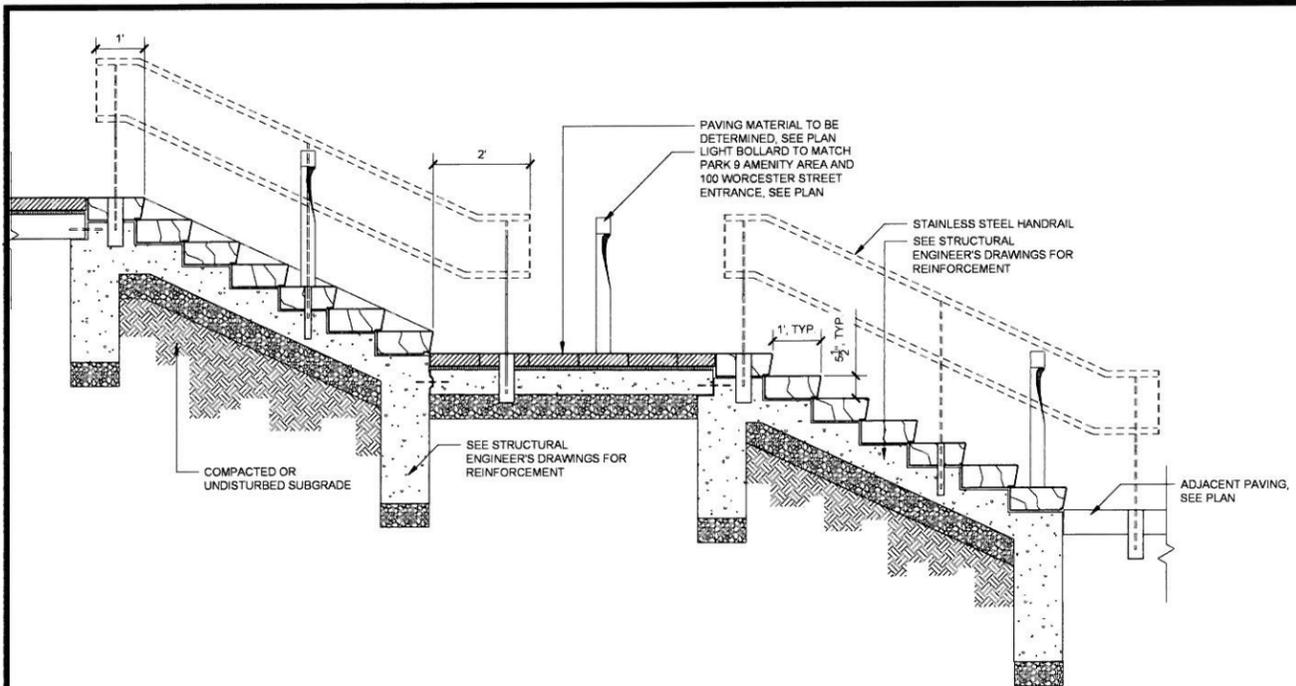


DRAWING TITLE  
**LANDSCAPE DETAILS**

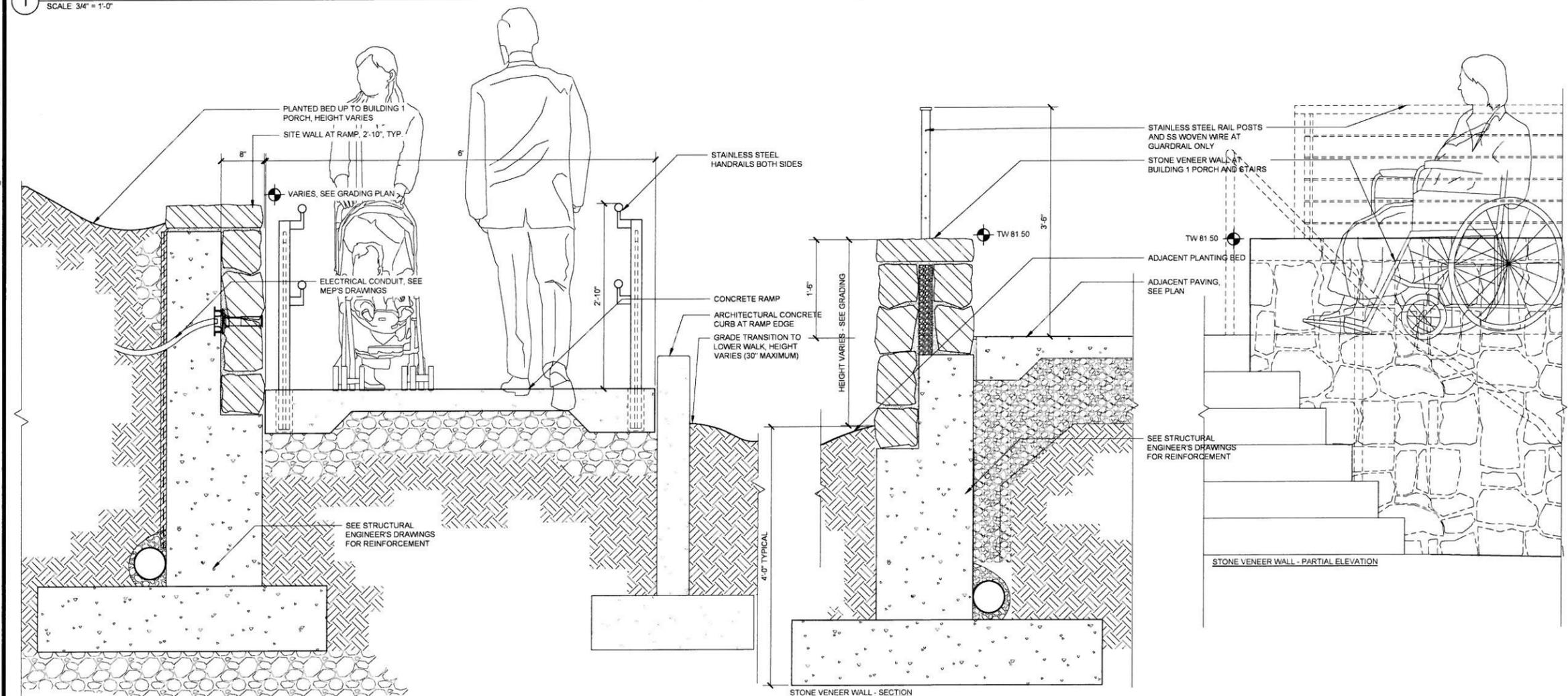
DRAWN BY	AS
CHECKED BY	JH
SCALE	AS NOTED
DATE	05.23.2019
SHEET	5 OF 6
DRAWING NUMBER	

**L4.0**

7/22/2019 8:28:55 PM - T:\1922 SUN LIFE FINANCIAL ACCESSIBILITY PLAN W SUN LIFE\CONSTRUCTION DRAWINGS\CURRENT CMDD DRAWINGS\SUN LIFE\_DETAILS.DWG - JAMES HEROLUX



**1 MAIN STAIR AT 96 WORCESTER STREET**  
SCALE 3/4" = 1'-0"



**2 SITE WALL ALONG ACCESS RAMP**  
SCALE 1-1/2" = 1'-0"

**3 SITE WALL AT BUILDING 1 PORCH**  
SCALE 1-1/2" = 1'-0"

7/22/2019 6:29:00 PM - T:\1922 SUN LIFE FINANCIAL ACCESSIBILITY PLAN W SUN LIFE CONSTRUCTION DRAWINGS\CURRENT CWDG DRAWINGS\SUN LIFE DETAILS DWG - JAMES HEROLUX

PREPARED BY  
**C W D G** Copley Wolff Design Group  
Landscape Architects & Planners  
www.cwdfg.com

PERMIT SET

PROJECT NAME / CLIENT

**SUN LIFE ASSURANCE  
ACCESSIBILITY PLAN**  
96 WORCESTER STREET, WELLESLEY HILLS, MA 2

CWDG PROJECT NUMBER 1922  
ISSUANCES

REV #	DATE	DESCRIPTION
5/23/2019	5/23/2019	DRAFT PLANS
6/27/2019	6/27/2019	PERMIT PLANS
7/23/2019	7/23/2019	ZBA PLANS

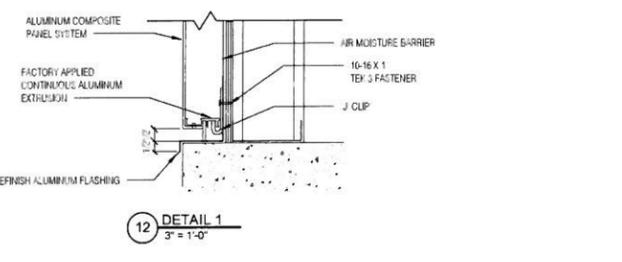
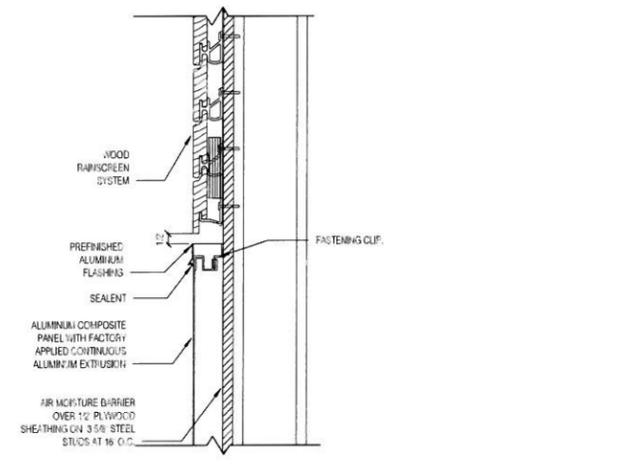
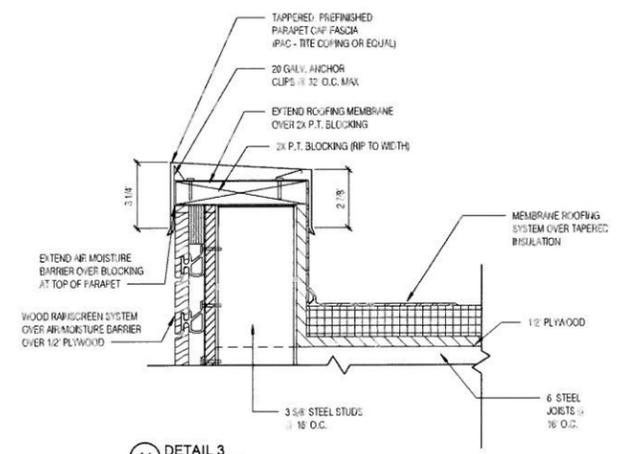
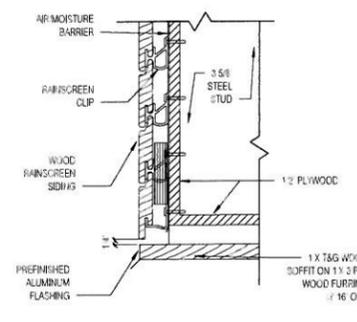
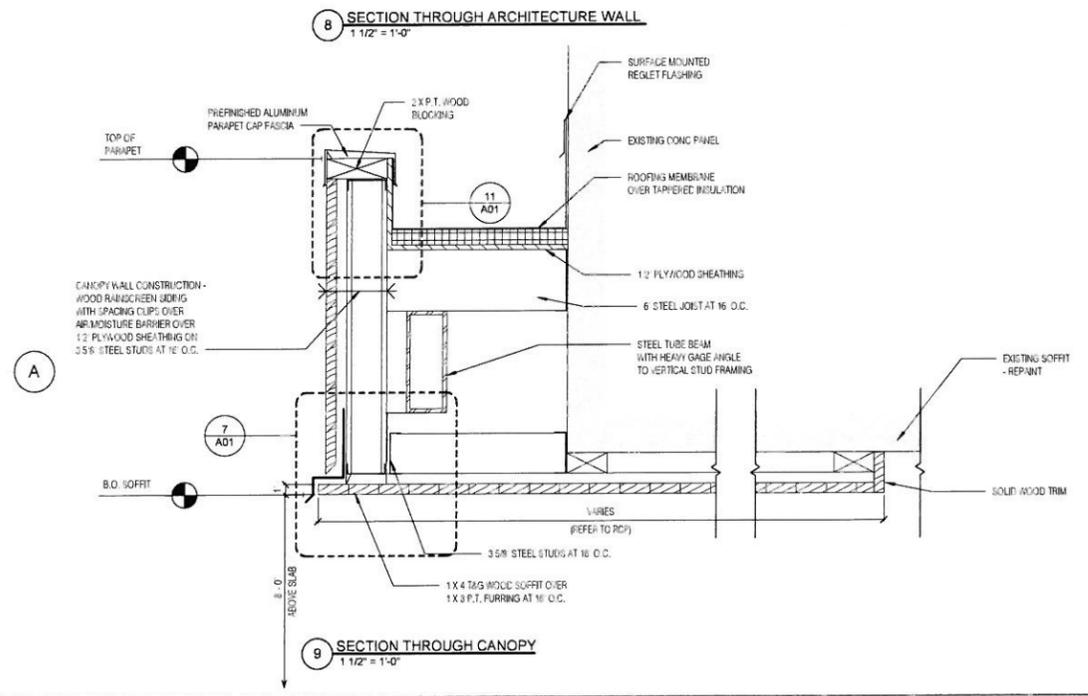
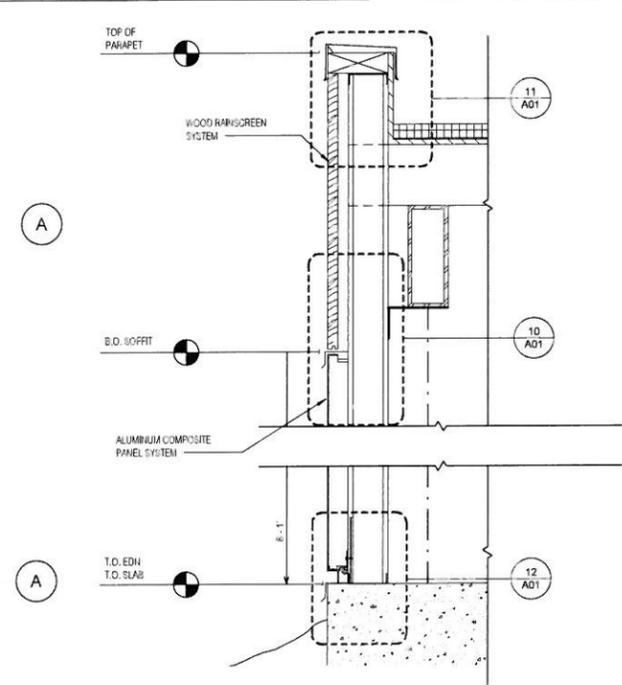
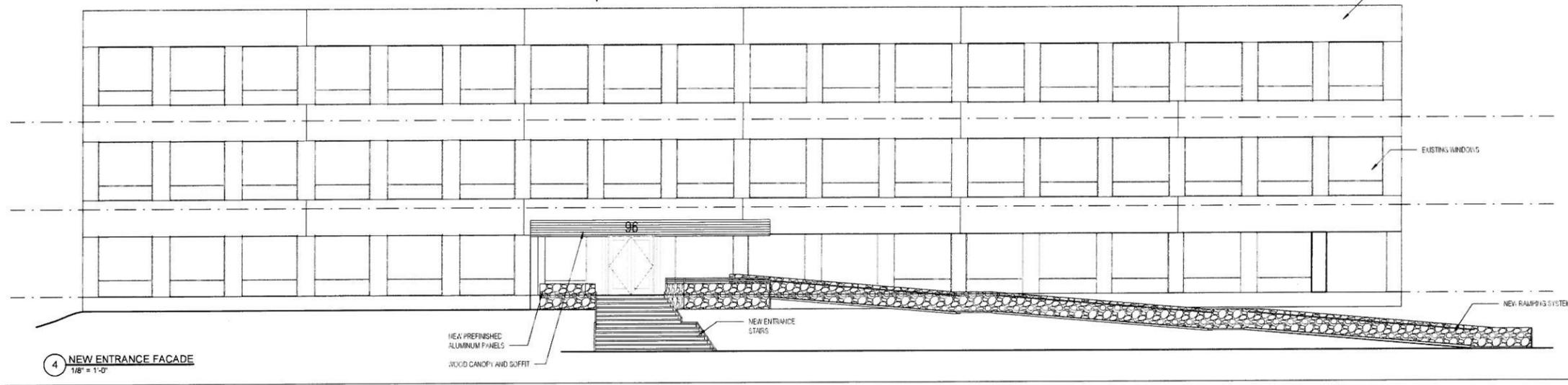
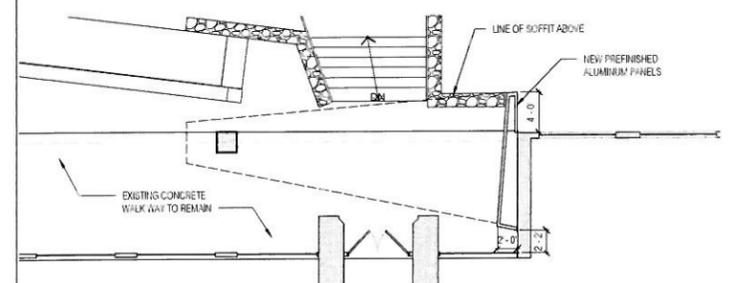
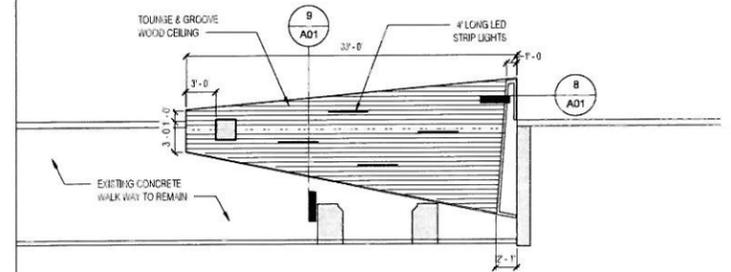
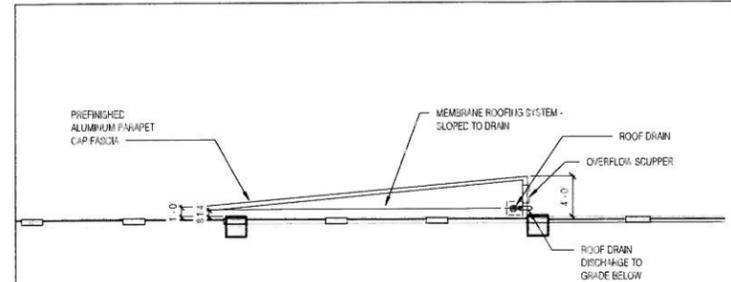


DRAWING TITLE  
**LANDSCAPE  
DETAILS**

DRAWN BY AS  
CHECKED BY JH  
SCALE AS NOTED  
DATE 05 23 2019  
SHEET 6 OF 6  
DRAWING NUMBER

**L4.1**

7/20/2019 2:31:14 PM C:\paw\2019 Local Files\17.084.01.06 Park9 New Building\Entrance - p15.dwg (KJL) (1/1)



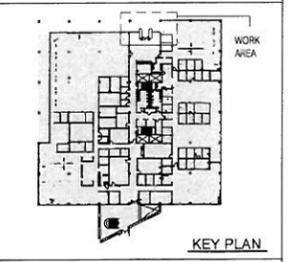
SUN LIFE ASSURANCE  
ACCESSIBILITY PLAN

**fusion**  
design consultants

300 Summer Street | 1st Floor | Boston, MA 02210  
Tel 617.737.3768 | Fax 617.426.3799



ISSUE	DATE	DESCRIPTION	BY	CHECK
1	7/5/19	JMA	BY	JDK



PROJECT:  
**PARK 9**  
ADDRESS:  
**96 WORCESTER STREET**  
CITY:  
**WELLESLEY, MA 02481**  
CLIENT:  
**SUN LIFE FINANCIAL**

PROJECT TYPE:  
**PLANS, ELEVATION AND DETAILS**

PROJECT NUMBER	DATE
17.084.01.06	7/5/19
DESIGNER	CHECKED BY
JMD	JD

A01