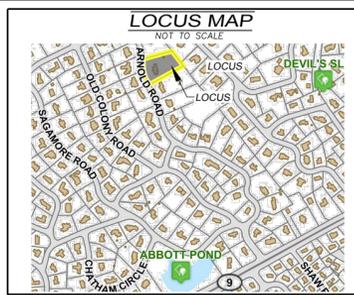




81 ARNOLD ROAD WELLESLEY, MA



#86
RDG=268.3±
RS=239.7±

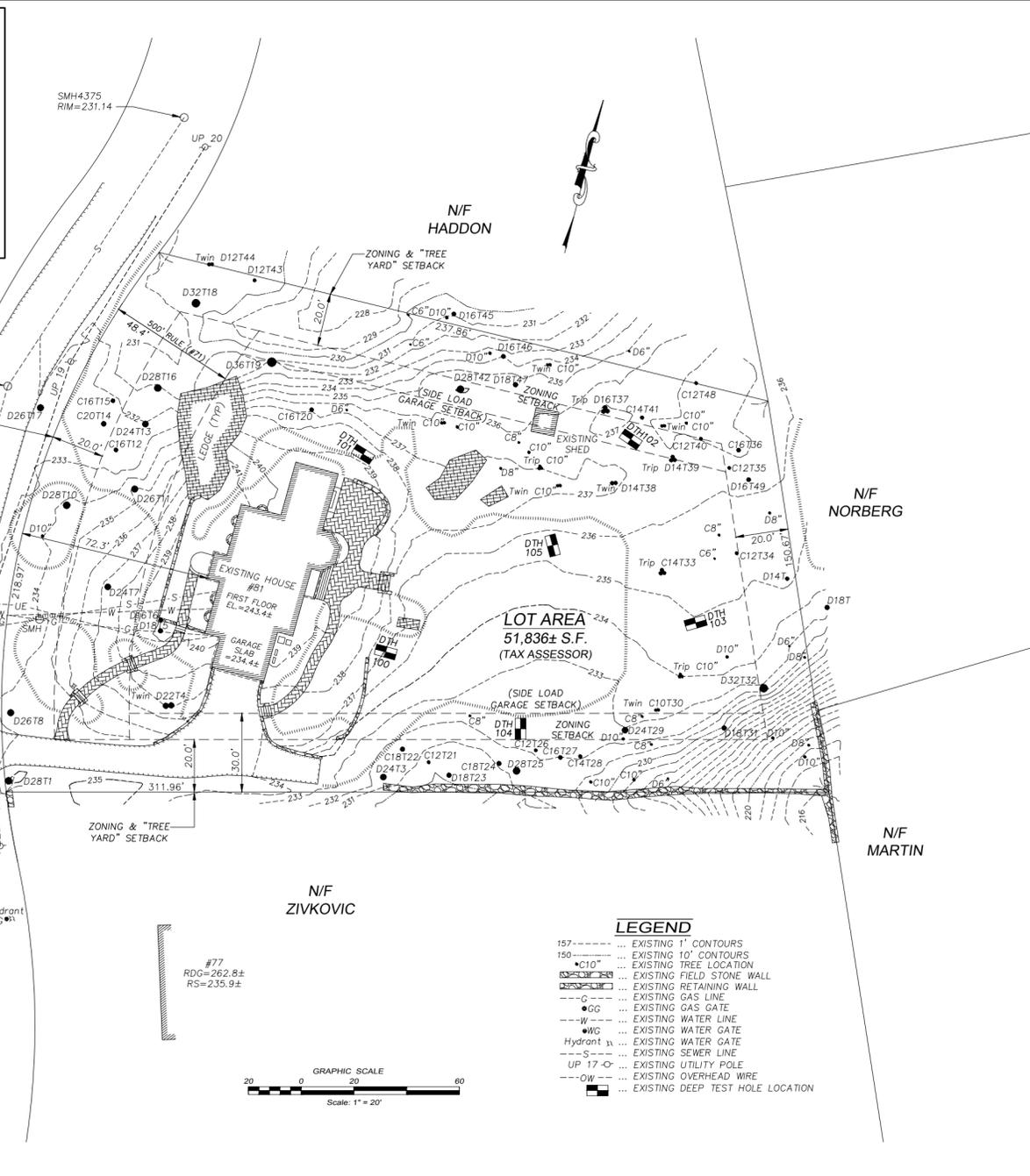
SMH2330
RIM=232.29

#82
RDG=266.9±
RS=234.6±

SMH2345
RIM=233.04

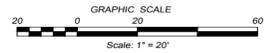
#78
RDG=262.7±
RS=234.2±

SMH2343
RIM=234.91



LOT AREA
51,836± S.F.
(TAX ASSESSOR)

- LEGEND**
- 157----- EXISTING 1' CONTOURS
 - 150----- EXISTING 10' CONTOURS
 - C10" EXISTING TREE LOCATION
 - EXISTING FIELD STONE WALL
 - EXISTING RETAINING WALL
 - G--- EXISTING GAS LINE
 - GG EXISTING GAS GATE
 - W--- EXISTING WATER LINE
 - WG EXISTING WATER GATE
 - Hydrant W.G. EXISTING WATER GATE
 - S--- EXISTING SEWER LINE
 - UP 17-○ EXISTING UTILITY POLE
 - OW--- EXISTING OVERHEAD WIRE
 - EXISTING DEEP TEST HOLE LOCATION



NOTES

1. THIS PLAN SHALL NOT BE RECORDED OR USED TO ESTABLISH PROPERTY LINES.
2. FOR ADDITIONAL PROPERTY LINE INFORMATION REFER TO THE LAND COURT CERTIFICATE #201,329 RECORDED AT THE MIDDLESEX REGISTRY OF DEEDS.
3. THIS PLAN REFERS TO THE TOWN OF WELLESLEY ASSESSOR'S MAP #6, LOT 13.
4. ZONING CLASSIFICATION: SINGLE RESIDENCE 20.
5. ALL ELEVATIONS SHOWN HEREON REFER TO N.A.V.D. OF 1988.
6. THE PLANIMETRIC SITE FEATURES SHOWN HEREON ARE BASED ON FIELD SURVEY WORK PERFORMED BY THE JILLSON COMPANY IN JANUARY 2020.
7. ANY EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN HEREON ARE BASED ON INFORMATION PROVIDED BY THE TOWN AND FIELD SKETCHES AND SHALL BE CONSIDERED APPROXIMATE. FURTHERMORE, THE TOTAL EXTENT OF THE UNDERGROUND UTILITIES IS UNKNOWN.
8. THE PROJECT SITE IS LOCATED IN 'ZONE X - AREA OF MINIMAL FLOOD HAZARD' AS SHOWN ON FIRM FLOOD MAP NUMBER MAP 25021C0008E, EFFECTIVE ON 7/17/12.
9. SEWER MANHOLE IN THE FRONT YARD WAS NOT OBSERVED. ITS PLOTTED FROM TIE-CARD DATA, PROBES & APPROXIMATELY 18" BELOW GRADE.

EXISTING HOUSE ELEVATIONS

HIGHEST ROOF RIDGE = 273.14
FIRST FLOOR THRESHOLD = 243.44
TOP OF FOUNDATION (A) = 242.22
TOP OF FOUNDATION (B) = 240.94
GARAGE SLAB (EXIT) = 234.44

LOT COVERAGE

ALLOWED = 15.0% / 7,775± S.F.
EXISTING = 5.4% / 2,784± S.F.

BUILDING COVERAGE

ALLOWED = 15.0% / 7,775± S.F.
EXISTING = 4.7% / 2,432± S.F.

**"81 ARNOLD ROAD
EXISTING CONDITIONS PLAN"**

LAND IN
WELLESLEY, MASS.

PREPARED FOR: MATT FRUHAN
81 ARNOLD ROAD
WELLESLEY, MA 02481

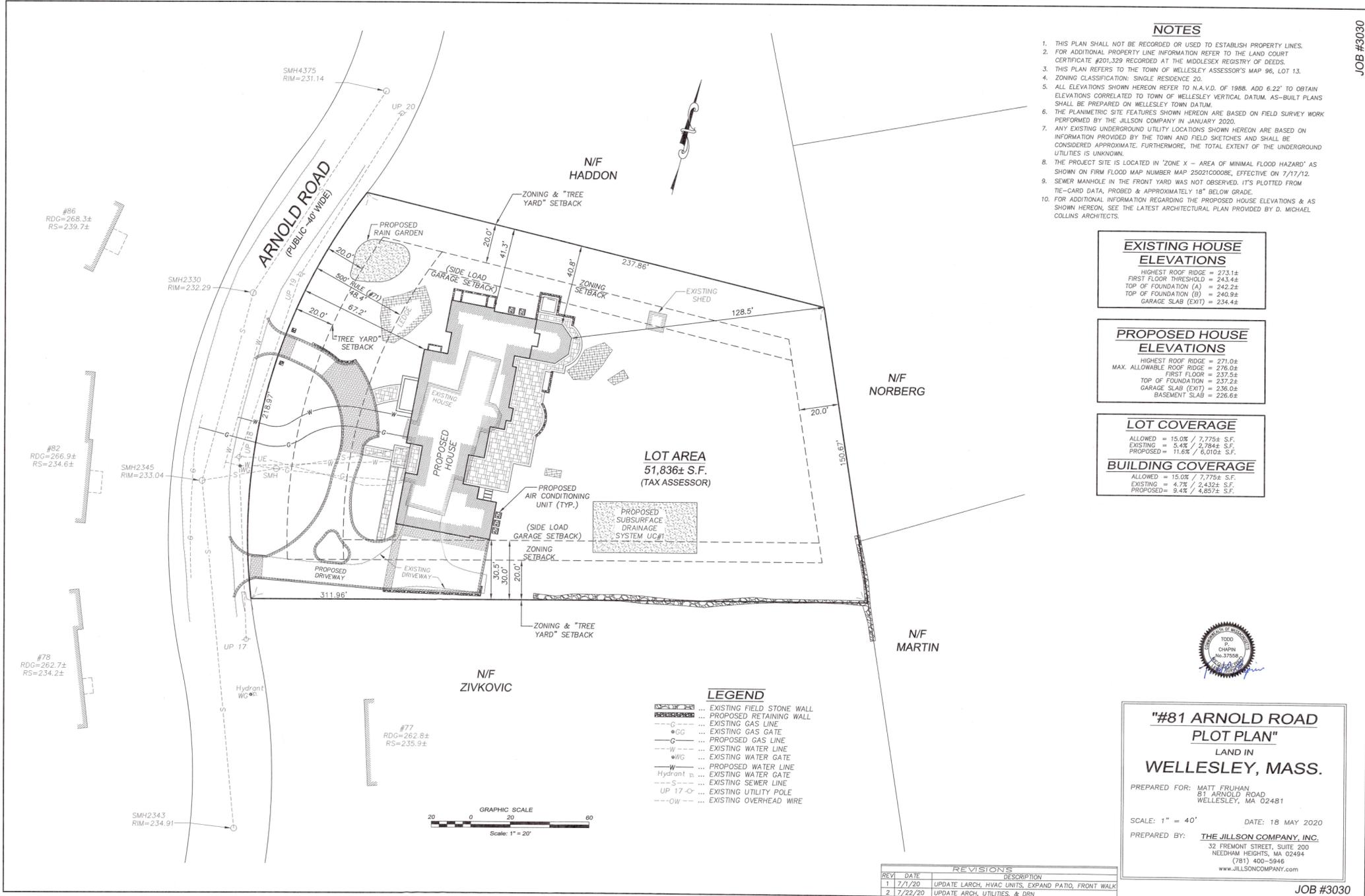
SCALE: 1" = 40' DATE: 18 MAY 2020

PREPARED BY: **THE JILLSON COMPANY, INC.**
32 FREMONT STREET, SUITE 200
NEEDHAM HEIGHTS, MA 02494
(781) 400-5946
www.JILLSONCOMPANY.com

JOB #3030

JOB #3030

NEW PAGE



NOTES

1. THIS PLAN SHALL NOT BE RECORDED OR USED TO ESTABLISH PROPERTY LINES.
2. FOR ADDITIONAL PROPERTY LINE INFORMATION REFER TO THE LAND COURT CERTIFICATE #201329 RECORDED AT THE MIDDLESEX REGISTRY OF DEEDS.
3. THIS PLAN REFERS TO THE TOWN OF WELLESLEY ASSESSOR'S MAP 96, LOT 13.
4. ZONING CLASSIFICATION: SINGLE RESIDENCE 20.
5. ALL ELEVATIONS SHOWN HEREON REFER TO N.A.V.D. OF 1988. ADD 6.22' TO OBTAIN ELEVATIONS CORRELATED TO TOWN OF WELLESLEY VERTICAL DATUM. AS-BUILT PLANS SHALL BE PREPARED ON WELLESLEY TOWN DATUM.
6. THE PLANIMETRIC SITE FEATURES SHOWN HEREON ARE BASED ON FIELD SURVEY WORK PERFORMED BY THE JILLSON COMPANY IN JANUARY 2020.
7. ANY EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN HEREON ARE BASED ON INFORMATION PROVIDED BY THE TOWN AND FIELD SKETCHES AND SHALL BE CONSIDERED APPROXIMATE. FURTHERMORE, THE TOTAL EXTENT OF THE UNDERGROUND UTILITIES IS UNKNOWN.
8. THE PROJECT SITE IS LOCATED IN 'ZONE X - AREA OF MINIMAL FLOOD HAZARD' AS SHOWN ON FIRM FLOOD MAP NUMBER MAP 25021C000BE, EFFECTIVE ON 7/17/12.
9. SEWER MANHOLE IN THE FRONT YARD WAS NOT OBSERVED. IT'S PLOTTED FROM TIE-CARD DATA, PROBED & APPROXIMATELY 18" BELOW GRADE.
10. FOR ADDITIONAL INFORMATION REGARDING THE PROPOSED HOUSE ELEVATIONS & AS SHOWN HEREON, SEE THE LATEST ARCHITECTURAL PLAN PROVIDED BY D. MICHAEL COLLINS ARCHITECTS.

EXISTING HOUSE ELEVATIONS

| | |
|-----------------------|----------|
| HIGHEST ROOF RIDGE | = 273.1± |
| FIRST FLOOR THRESHOLD | = 243.4± |
| TOP OF FOUNDATION (A) | = 242.2± |
| TOP OF FOUNDATION (B) | = 240.9± |
| GARAGE SLAB (EXT) | = 234.4± |

PROPOSED HOUSE ELEVATIONS

| | |
|---------------------------|----------|
| HIGHEST ROOF RIDGE | = 271.0± |
| MAX. ALLOWABLE ROOF RIDGE | = 276.0± |
| FIRST FLOOR | = 237.5± |
| TOP OF FOUNDATION | = 237.2± |
| GARAGE SLAB (EXT) | = 236.0± |
| BASEMENT SLAB | = 226.6± |

LOT COVERAGE

| | |
|----------|-----------------------|
| ALLOWED | = 15.0% / 7,775± S.F. |
| EXISTING | = 5.4% / 2,784± S.F. |
| PROPOSED | = 11.6% / 5,910± S.F. |

BUILDING COVERAGE

| | |
|----------|-----------------------|
| ALLOWED | = 15.0% / 7,775± S.F. |
| EXISTING | = 4.7% / 2,432± S.F. |
| PROPOSED | = 9.4% / 4,857± S.F. |



**"#81 ARNOLD ROAD
PLOT PLAN"**
LAND IN
WELLESLEY, MASS.

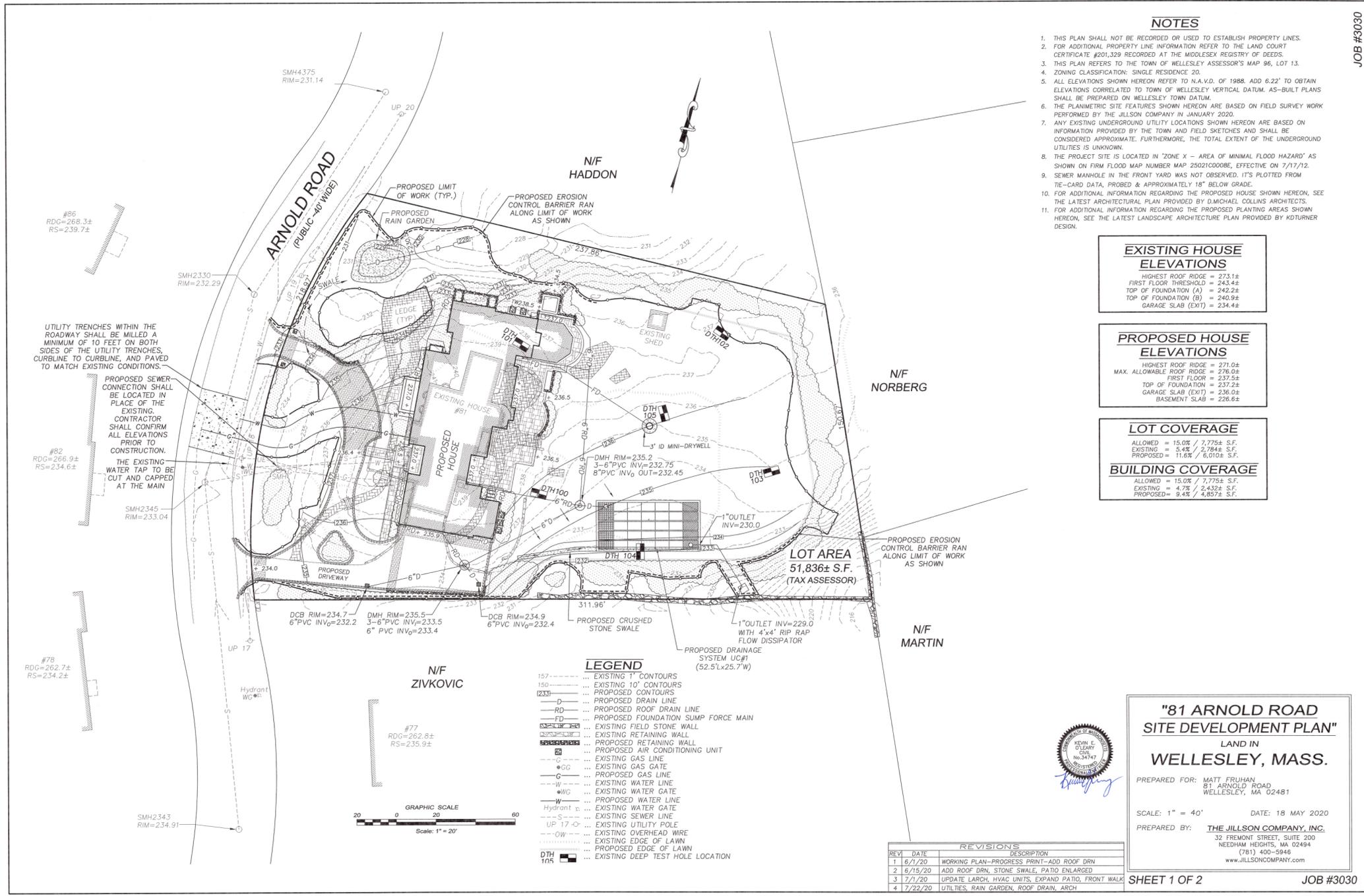
PREPARED FOR: MATT FRUHAN
81 ARNOLD ROAD
WELLESLEY, MA 02481

SCALE: 1" = 40' DATE: 18 MAY 2020

PREPARED BY: **THE JILLSON COMPANY, INC.**
32 FREMONT STREET, SUITE 200
NEEDHAM HEIGHTS, MA 02494
(781) 400-5946
www.JILLSONCOMPANY.com

REVISIONS

| REVI | DATE | DESCRIPTION |
|------|---------|--|
| 1 | 7/1/20 | UPDATE LARCH, HVAC UNITS, EXPAND PATIO, FRONT WALK |
| 2 | 7/22/20 | UPDATE ARCH, UTILITIES, & DRN |



NOTES

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11. FOR ADDITIONAL INFORMATION REGARDING THE PROPOSED PLANTING AREAS SHOWN HEREON, SEE THE LATEST LANDSCAPE ARCHITECTURE PLAN PROVIDED BY KOTURNER DESIGN.

EXISTING HOUSE ELEVATIONS

| | |
|-----------------------|----------|
| HIGHEST ROOF RIDGE | = 273.1± |
| FIRST FLOOR THRESHOLD | = 243.4± |
| TOP OF FOUNDATION (A) | = 242.2± |
| TOP OF FOUNDATION (B) | = 240.9± |
| GARAGE SLAB (EXIT) | = 234.4± |

PROPOSED HOUSE ELEVATIONS

| | |
|---------------------------|----------|
| HIGHEST ROOF RIDGE | = 271.0± |
| MAX. ALLOWABLE ROOF RIDGE | = 278.0± |
| FIRST FLOOR | = 237.5± |
| TOP OF FOUNDATION (A) | = 237.2± |
| GARAGE SLAB (EXIT) | = 236.0± |
| BASEMENT SLAB | = 226.6± |

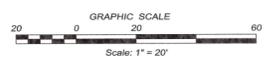
LOT COVERAGE

| | |
|----------|-----------------------|
| ALLOWED | = 15.0% / 7,775± S.F. |
| EXISTING | = 5.4% / 2,784± S.F. |
| PROPOSED | = 11.6% / 5,910± S.F. |

BUILDING COVERAGE

| | |
|----------|-----------------------|
| ALLOWED | = 15.0% / 7,775± S.F. |
| EXISTING | = 4.7% / 2,432± S.F. |
| PROPOSED | = 9.4% / 4,857± S.F. |

- LEGEND**
- 157----- ... EXISTING 1" CONTOURS
 - 150----- ... EXISTING 10" CONTOURS
 - (233)----- ... PROPOSED CONTOURS
 - D----- ... PROPOSED DRAIN LINE
 - RD----- ... PROPOSED ROOF DRAIN LINE
 - FD----- ... PROPOSED FOUNDATION SUMP FORCE MAIN
 - ... EXISTING FIELD STONE WALL
 - ... EXISTING RETAINING WALL
 - ... PROPOSED RETAINING WALL
 - ... PROPOSED AIR CONDITIONING UNIT
 - G----- ... EXISTING GAS LINE
 - GG----- ... EXISTING GAS GATE
 - C----- ... PROPOSED GAS LINE
 - W----- ... EXISTING WATER LINE
 - WG----- ... EXISTING WATER GATE
 - W----- ... PROPOSED WATER LINE
 - Hydrant ● ... EXISTING WATER GATE
 - S----- ... EXISTING SEWER LINE
 - UP 17----- ... EXISTING UTILITY POLE
 - OW----- ... EXISTING OVERHEAD WIRE
 - ... EXISTING EDGE OF LAWN
 - ... PROPOSED EDGE OF LAWN
 - DTH 10# ... EXISTING DEEP TEST HOLE LOCATION



**"81 ARNOLD ROAD
SITE DEVELOPMENT PLAN"**
LAND IN
WELLESLEY, MASS.

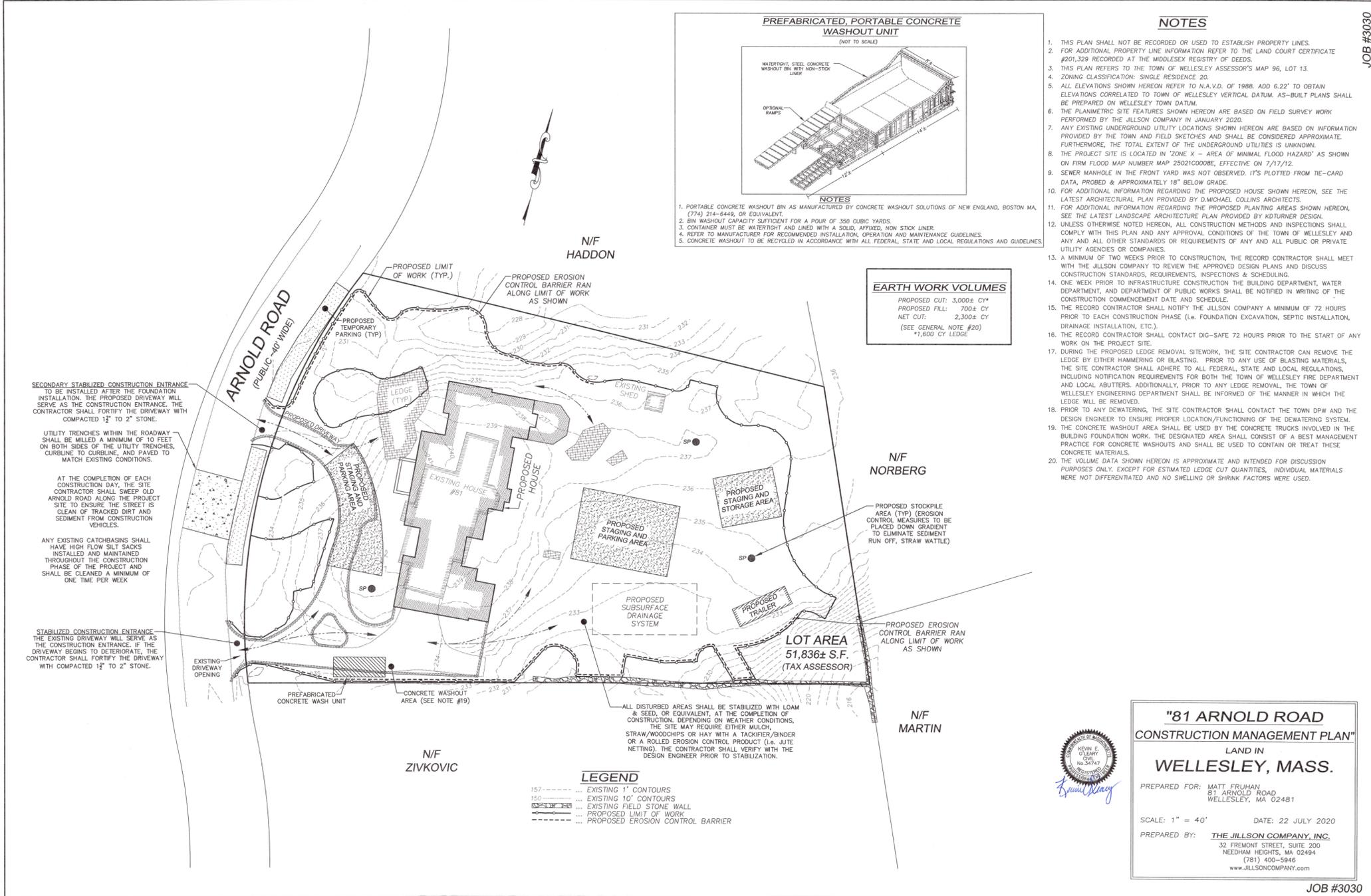
PREPARED FOR: MATT FRUHAN
81 ARNOLD ROAD
WELLESLEY, MA 02481

SCALE: 1" = 40' DATE: 18 MAY 2020

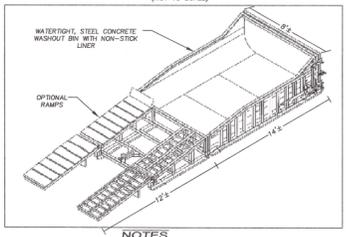
PREPARED BY: **THE JILLSON COMPANY, INC.**
32 FREMONT STREET, SUITE 200
NEEDHAM HEIGHTS, MA 02494
(781) 400-5948
www.JILLSONCOMPANY.com

REVISIONS

| REV | DATE | DESCRIPTION |
|-----|---------|--|
| 1 | 6/7/20 | WORKING PLAN-PROGRESS PRINT-ADD ROOF DRN |
| 2 | 6/15/20 | ADD ROOF DRN, STONE SWALE, PATIO ENLARGED |
| 3 | 7/1/20 | UPDATE LARCH, HVAC UNITS, EXPAND PATIO, FRONT WALK |
| 4 | 7/22/20 | UTILITIES, RAIN GARDEN, ROOF DRAIN, ARCH |



PREFABRICATED, PORTABLE CONCRETE WASHOUT UNIT
(NOT TO SCALE)



- NOTES**
1. PORTABLE CONCRETE WASHOUT BIN AS MANUFACTURED BY CONCRETE WASHOUT SOLUTIONS OF NEW ENGLAND, BOSTON MA, (774) 214-6448, OR EQUIVALENT.
 2. BIN WASHOUT CAPACITY SUFFICIENT FOR A POUR OF 350 CUBIC YARDS.
 3. CONTAINER MUST BE WATER-TIGHT AND LINED WITH A SOLID, AFFIXED, NON-STICK LINER.
 4. REFER TO MANUFACTURER FOR RECOMMENDED INSTALLATION, OPERATION AND MAINTENANCE GUIDELINES.
 5. CONCRETE WASHOUT TO BE RECYCLED IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS AND GUIDELINES.

EARTH WORK VOLUMES

| | |
|------------------------|------------|
| PROPOSED CUT: | 3,000± CY* |
| PROPOSED FILL: | 700± CY |
| NET CUT: | 2,300± CY |
| (SEE GENERAL NOTE #20) | |
| *1,600 CY LEDGE | |

NOTES

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2. FOR ADDITIONAL PROPERTY LINE INFORMATION REFER TO THE LAND COURT CERTIFICATE #201,329 RECORDED AT THE MIDDLESEX REGISTRY OF DEEDS.
3. THIS PLAN REFERS TO THE TOWN OF WELLESLEY ASSESSOR'S MAP 96, LOT 13.
4. ZONING CLASSIFICATION: SINGLE RESIDENCE 20.
5. ALL ELEVATIONS SHOWN HEREON REFER TO N.A.V.D. OF 1988. ADD 6.22' TO OBTAIN ELEVATIONS CORRELATED TO TOWN OF WELLESLEY VERTICAL DATUM. AS-BUILT PLANS SHALL BE PREPARED ON WELLESLEY TOWN DATUM.
6. THE PLANIMETRIC SITE FEATURES SHOWN HEREON ARE BASED ON FIELD SURVEY WORK PERFORMED BY THE JILLSON COMPANY IN JANUARY 2020.
7. ANY EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN HEREON ARE BASED ON INFORMATION PROVIDED BY THE TOWN AND FIELD SKETCHES AND SHALL BE CONSIDERED APPROXIMATE. FURTHERMORE, THE TOTAL EXTENT OF THE UNDERGROUND UTILITIES IS UNKNOWN.
8. THE PROJECT SITE IS LOCATED IN ZONE X - AREA OF MINIMAL FLOOD HAZARD AS SHOWN ON FIRM FLOOD MAP NUMBER MAP 25021C0008E, EFFECTIVE ON 7/17/12.
9. SEWER MANHOLE IN THE FRONT YARD WAS NOT OBSERVED. IT'S PLOTTED FROM TIE-CARD DATA, PROBED & APPROXIMATELY 18" BELOW GRADE.
10. FOR ADDITIONAL INFORMATION REGARDING THE PROPOSED HOUSE SHOWN HEREON, SEE THE LATEST ARCHITECTURAL PLAN PROVIDED BY D.MICHAEL COLLINS ARCHITECTS.
11. FOR ADDITIONAL INFORMATION REGARDING THE PROPOSED PLANTING AREAS SHOWN HEREON, SEE THE LATEST LANDSCAPE ARCHITECTURE PLAN PROVIDED BY KOTURNER DESIGN.
12. UNLESS OTHERWISE NOTED HEREON, ALL CONSTRUCTION METHODS AND INSPECTIONS SHALL COMPLY WITH THIS PLAN AND ANY APPROVAL CONDITIONS OF THE TOWN OF WELLESLEY AND ANY AND ALL OTHER STANDARDS OR REQUIREMENTS OF ANY AND ALL PUBLIC OR PRIVATE UTILITY AGENCIES OR COMPANIES.
13. A MINIMUM OF TWO WEEKS PRIOR TO CONSTRUCTION, THE RECORD CONTRACTOR SHALL MEET WITH THE JILLSON COMPANY TO REVIEW THE APPROVED DESIGN PLANS AND DISCUSS CONSTRUCTION STANDARDS, REQUIREMENTS, INSPECTIONS & SCHEDULING.
14. ONE WEEK PRIOR TO INFRASTRUCTURE CONSTRUCTION THE BUILDING DEPARTMENT, WATER DEPARTMENT, AND DEPARTMENT OF PUBLIC WORKS SHALL BE NOTIFIED IN WRITING OF THE CONSTRUCTION COMMENCEMENT DATE AND SCHEDULE.
15. THE RECORD CONTRACTOR SHALL NOTIFY THE JILLSON COMPANY A MINIMUM OF 72 HOURS PRIOR TO EACH CONSTRUCTION PHASE (I.E. FOUNDATION EXCAVATION, SEPTIC INSTALLATION, DRAINAGE INSTALLATION, ETC.).
16. THE RECORD CONTRACTOR SHALL CONTACT DIG-SAFE 72 HOURS PRIOR TO THE START OF ANY WORK ON THE PROJECT SITE.
17. DURING THE PROPOSED LEDGE REMOVAL SITEWORK, THE SITE CONTRACTOR CAN REMOVE THE LEDGE BY EITHER HAMMERMING OR BLASTING. PRIOR TO ANY USE OF BLASTING MATERIALS, THE SITE CONTRACTOR SHALL ADHERE TO ALL FEDERAL, STATE AND LOCAL REGULATIONS, INCLUDING NOTIFICATION REQUIREMENTS FOR BOTH THE TOWN OF WELLESLEY FIRE DEPARTMENT AND LOCAL ABUTTERS. ADDITIONALLY, PRIOR TO ANY LEDGE REMOVAL, THE TOWN OF WELLESLEY ENGINEERING DEPARTMENT SHALL BE INFORMED OF THE MANNER IN WHICH THE LEDGE WILL BE REMOVED.
18. PRIOR TO ANY DEWATERING, THE SITE CONTRACTOR SHALL CONTACT THE TOWN DPW AND THE DESIGN ENGINEER TO ENSURE PROPER LOCATION/FUNCTIONING OF THE DEWATERING SYSTEM.
19. THE CONCRETE WASHOUT AREA SHALL BE USED BY THE CONCRETE TRUCKS INVOLVED IN THE BUILDING FOUNDATION WORK. THE DESIGNATED AREA SHALL CONSIST OF A BEST MANAGEMENT PRACTICE FOR CONCRETE WASHOUTS AND SHALL BE USED TO CONTAIN OR TREAT THESE CONCRETE MATERIALS.
20. THE VOLUME DATA SHOWN HEREON IS APPROXIMATE AND INTENDED FOR DISCUSSION PURPOSES ONLY. EXCEPT FOR ESTIMATED LEDGE CUT QUANTITIES, INDIVIDUAL MATERIALS WERE NOT DIFFERENTIATED AND NO SWELLING OR SHRINK FACTORS WERE USED.

SECONDARY STABILIZED CONSTRUCTION ENTRANCE TO BE INSTALLED AFTER THE FOUNDATION INSTALLATION. THE PROPOSED DRIVEWAY WILL SERVE AS THE CONSTRUCTION ENTRANCE. THE CONTRACTOR SHALL FORTIFY THE DRIVEWAY WITH COMPACTED 1 1/2" TO 2" STONE.

UTILITY TRENCHES WITHIN THE ROADWAY SHALL BE MILLED A MINIMUM OF 10 FEET ON BOTH SIDES OF THE UTILITY TRENCHES, CURBLINE TO CURBLINE, AND PAVED TO MATCH EXISTING CONDITIONS.

AT THE COMPLETION OF EACH CONSTRUCTION DAY, THE SITE CONTRACTOR SHALL SWEEP OLD ARNOLD ROAD ALONG THE PROJECT SITE TO ENSURE THE STREET IS CLEAN OF TRACKED DIRT AND SEDIMENT FROM CONSTRUCTION VEHICLES.

ANY EXISTING CATCHBASINS SHALL HAVE HIGH FLOW SILT SACKS INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PHASE OF THE PROJECT AND SHALL BE CLEANED A MINIMUM OF ONE TIME PER WEEK.

STABILIZED CONSTRUCTION ENTRANCE THE EXISTING DRIVEWAY WILL SERVE AS THE CONSTRUCTION ENTRANCE. IF THE DRIVEWAY BEGINS TO DETERIORATE, THE CONTRACTOR SHALL FORTIFY THE DRIVEWAY WITH COMPACTED 1 1/2" TO 2" STONE.

ALL DISTURBED AREAS SHALL BE STABILIZED WITH LOAM & SEED, OR EQUIVALENT, AT THE COMPLETION OF CONSTRUCTION, DEPENDING ON WEATHER CONDITIONS, THE SITE MAY REQUIRE EITHER MULCH, STRAW/WOODCHIPS OR HAY WITH A TACKIFIER/BINDER OR A ROLLED EROSION CONTROL PRODUCT (I.E. JUTE NETTING). THE CONTRACTOR SHALL VERIFY WITH THE DESIGN ENGINEER PRIOR TO STABILIZATION.

LEGEND

| | |
|-----|--------------------------------------|
| 157 | --- EXISTING 1' CONTOURS |
| 150 | --- EXISTING 10' CONTOURS |
| --- | --- EXISTING FIELD STONE WALL |
| --- | --- PROPOSED LIMIT OF WORK |
| --- | --- PROPOSED EROSION CONTROL BARRIER |

**"81 ARNOLD ROAD
CONSTRUCTION MANAGEMENT PLAN"**

LAND IN
WELLESLEY, MASS.

PREPARED FOR: MATT FRUHAN
81 ARNOLD ROAD
WELLESLEY, MA 02481

SCALE: 1" = 40' DATE: 22 JULY 2020

PREPARED BY: **THE JILLSON COMPANY, INC.**
32 FREMONT STREET, SUITE 200
NEEDHAM HEIGHTS, MA 02494
(781) 400-5946
www.JILLSONCOMPANY.com

SOIL LOGS
(NOT TO SCALE)

DEEP TEST HOLE#100 (NOVEMBER 21, 2019)

| Depth | Soil Horizon | Soil Texture | Soil Color |
|-----------------|--------------|-------------------|-----------------|
| 0'-12" | A | Unclassified Fill | |
| Mottling Note | Weeping Note | Standing Note | Refusal 24'-12" |
| E.S.H.G.W. = JM | | EL=MA | NAV088 Datum |

DEEP TEST HOLE#101 (NOVEMBER 21, 2019)

| Depth | Soil Horizon | Soil Texture | Soil Color |
|-----------------|--------------|---------------|--------------|
| 0'-12" | A | Loom | 10YR2/2 |
| 12'-28" | B | Sandy Loom | 10YR5/6 |
| Mottling Note | Weeping Note | Standing Note | Refusal 28" |
| E.S.H.G.W. = JM | | EL=MA | NAV088 Datum |

DEEP TEST HOLE#102 (NOVEMBER 21, 2019)

| Depth | Soil Horizon | Soil Texture | Soil Color |
|-----------------|--------------|---------------|--------------|
| 0'-6" | A | Loom | 10YR2/2 |
| 6'-24" | B | Sandy Loom | 10YR4/6 |
| Mottling Note | Weeping Note | Standing Note | Refusal 24" |
| E.S.H.G.W. = JM | | EL=MA | NAV088 Datum |

DEEP TEST HOLE#103 (NOVEMBER 21, 2019)

| Depth | Soil Horizon | Soil Texture | Soil Color |
|-----------------|--------------|---------------|--------------|
| 0'-18" | A | Loom | 10YR2/2 |
| Mottling Note | Weeping Note | Standing Note | Refusal 18" |
| E.S.H.G.W. = JM | | EL=MA | NAV088 Datum |

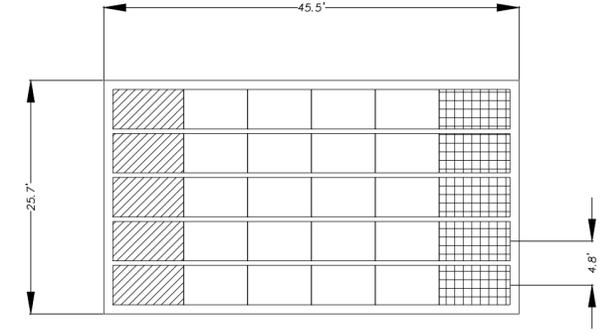
DEEP TEST HOLE#104 (NOVEMBER 21, 2019)

| Depth | Soil Horizon | Soil Texture | Soil Color |
|-----------------|--------------|---------------|-----------------|
| 0'-10" | A | Loom | |
| 10'-34" | B | Sandy Loom | 10YR5/6 |
| 34'-50" | C1 | Sandy Loom | 5Y5/3 |
| 50'-84" | C2 | Loomy Sand | 2.5Y4/1 |
| Mottling Note | Weeping Note | Standing Note | Refusal 27'-28" |
| E.S.H.G.W. = JM | | EL=227.2 | NAV088 Datum |

DEEP TEST HOLE#105 (NOVEMBER 21, 2019)

| Depth | Soil Horizon | Soil Texture | Soil Color |
|-----------------|--------------|---------------|--------------|
| 0'-10" | A | Loom | |
| 10'-30" | B | Sandy Loom | 10YR5/6 |
| 30'-84" | C | Sandy Loom | 5Y5/3 |
| Mottling Note | Weeping Note | Standing Note | Refusal 84" |
| E.S.H.G.W. = JC | | EL=229.5 | NAV088 Datum |

DRAINAGE SYSTEM UC1 DETAILS
(NOT TO SCALE)

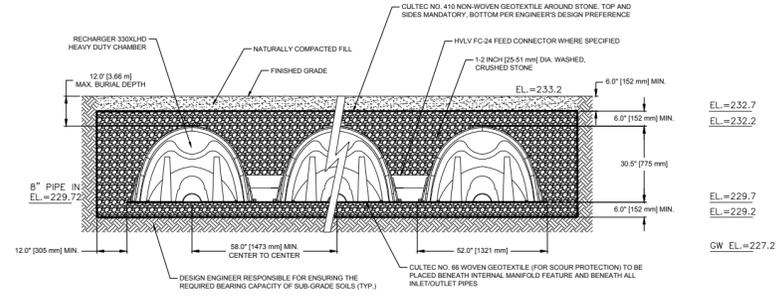


CULTEC RECHARGER 330XLHD STORMWATER BED

| STARTER CHAMBERS | 1 | PIECES |
|-------------------------------|---------|--------|
| INTERMEDIATE CHAMBERS | 26 | PIECES |
| END CHAMBERS | 5 | PIECES |
| STONE | 2016.00 | CF |
| VOLUME OF EXCAVATION | 4708.16 | CF |
| CULTEC NO. 402P FILTER FABRIC | 2016.16 | SQ.FT. |



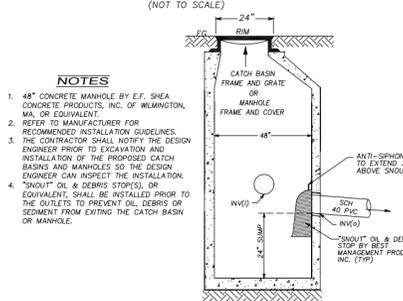
CULTEC STORMWATER MANAGEMENT SYSTEM
TOTAL STORAGE PROVIDED: 2628.8 CF (STORAGE PROVIDED IN CHAMBERS: 1620.6 CF) (STORAGE PROVIDED IN STONE: 1008.2 CF)
*SYSTEM INSTALLED REQUIRING STONE AMOUNTS OF 6.0 INCHES BELOW CHAMBERS, 6.0 INCHES ABOVE AND A 12.0 INCHES BORDER SURROUNDING



GENERAL NOTES
RECHARGER 330XL HD BY CULTEC, INC. OF BROOKFIELD, CT. STORAGE PROVIDED = 11.32 CF/FT (1.05 m³/m) PER DESIGN UNIT. REFER TO CULTEC, INC.'S CURRENT RECOMMENDED INSTALLATION GUIDELINES. THE CHAMBER WILL BE DESIGNED TO WITHSTAND TRAFFIC LOADS WHEN INSTALLED ACCORDING TO CULTEC'S RECOMMENDED INSTALLATION INSTRUCTIONS.
ALL RECHARGER 330XL HD HEAVY DUTY UNITS ARE MARKED WITH A COLOR STRIPE FORMED INTO THE PART ALONG THE LENGTH OF THE CHAMBER. ALL RECHARGER 330XL HD CHAMBERS MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.

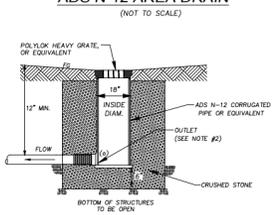
EL=232.7
EL=232.2
EL=229.7
EL=229.2
GW EL=227.2

48" (ID) DRAINAGE CATCH BASIN & MANHOLE
(NOT TO SCALE)



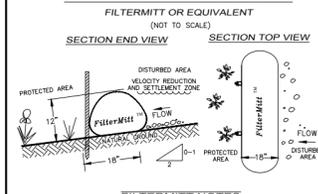
- NOTES**
- 48" CONCRETE MANHOLE BY E.F. SHEA CONCRETE PRODUCTS, INC. OF WILMINGTON, MA, OR EQUIVALENT.
 - REFER TO MANUFACTURER FOR RECOMMENDED INSTALLATION GUIDELINES.
 - THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER PRIOR TO EXCAVATION AND INSTALLATION OF THE PROPOSED CATCH BASIN AND MANHOLES SO THE DESIGN ENGINEER CAN INSPECT THE INSTALLATION.
 - "SNOUT" OIL & DEBRIS STOP(S), OR EQUIVALENT, SHALL BE INSTALLED PRIOR TO THE OUTLETS TO PREVENT OIL, DEBRIS OR SEDIMENT FROM ENTERING THE CATCH BASIN OR MANHOLE.

ADS N-12 AREA DRAIN
(NOT TO SCALE)



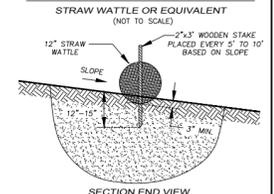
- NOTES**
- USE ADS N-12 CORRUGATED PIPE MANUFACTURED BY ADS OF HILLIARD, OH OR EQUIVALENT.
 - WIRE MESH GUARDS, OR EQUIVALENT, SHALL BE INSTALLED PRIOR TO THE OUTLETS FOR EACH CLEANOUT TO PREVENT DEBRIS FROM ENTERING THE DRAINAGE PIPE.
 - REFER TO MANUFACTURER FOR RECOMMENDED INSTALLATION GUIDELINES.

EROSION CONTROL BARRIER
FILTERMITT OR EQUIVALENT
(NOT TO SCALE)



- FILTERMITT NOTES**
- THE EROSION CONTROL BARRIER SHALL BE INSTALLED AS SHOWN ON THE SITE PLAN.
 - THE EROSION CONTROL MEASURES SHALL BE PROPERLY MAINTAINED THROUGHOUT CONSTRUCTION.

EROSION CONTROL BARRIER
STRAW WATTLE OR EQUIVALENT
(NOT TO SCALE)



- STRAW WATTLE NOTES**
- THE EROSION CONTROL BARRIER SHALL BE USED TO ENDORSE STOCKPILE MATERIALS.
 - THE EROSION CONTROL MEASURES SHALL BE PROPERLY MAINTAINED THROUGHOUT CONSTRUCTION.
 - A SMALL AMOUNT OF BARRIER SHALL BE STOCKPILED ON-SITE FOR EMERGENCY USE.

**"81 ARNOLD ROAD
DETAIL SHEET"**
LAND IN
WELLESLEY, MASS.

PREPARED FOR: MATT FRUHAN
81 ARNOLD ROAD
WELLESLEY, MA 02481

SCALE: NOT TO SCALE DATE: 18 MAY 2020

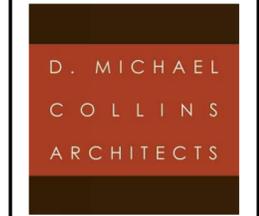
PREPARED BY: **THE JILLSON COMPANY, INC.**
32 FREMONT STREET, SUITE 200
NEEDHAM HEIGHTS, MA 02494
(781) 400-5946
www.JILLSONCOMPANY.com

GENERAL NOTES:
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REVISIONS:

ISSUE DATES:



21 ELIOT STREET NATICK, MA 01760
 DMCARCH.COM P+F 508.651.7099

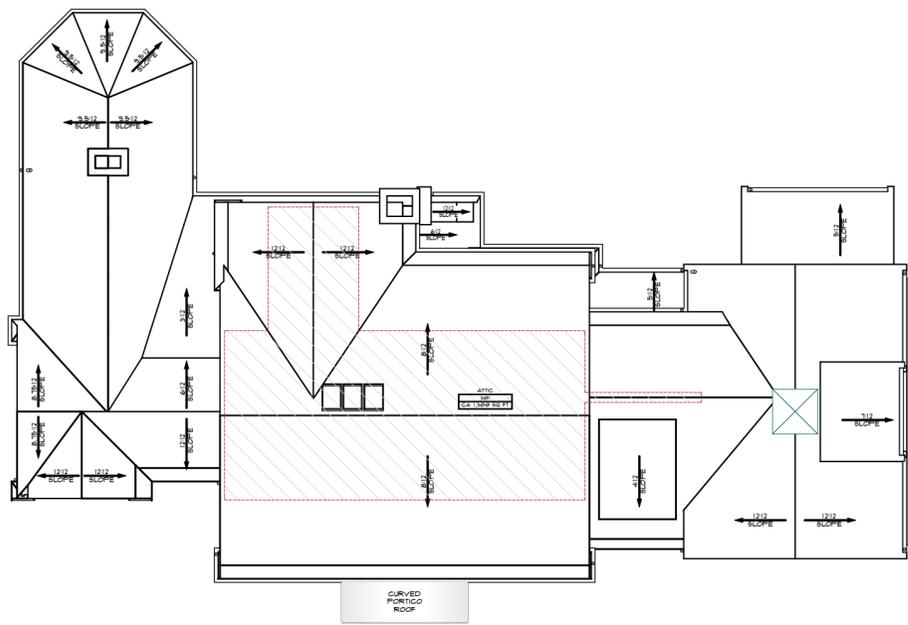
FRUHAN RESIDENCE

81 ARNOLD ROAD
 WELLESLEY, MA

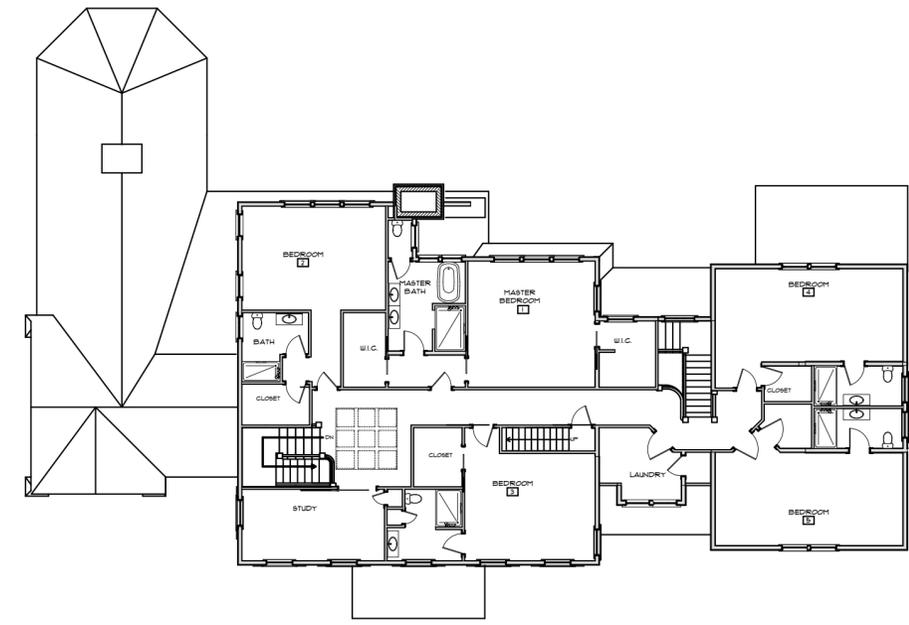
DRAWN BY:
 DATE: 5.11.2020

DESCRIPTION:
 TLAG ATTIC PLAN

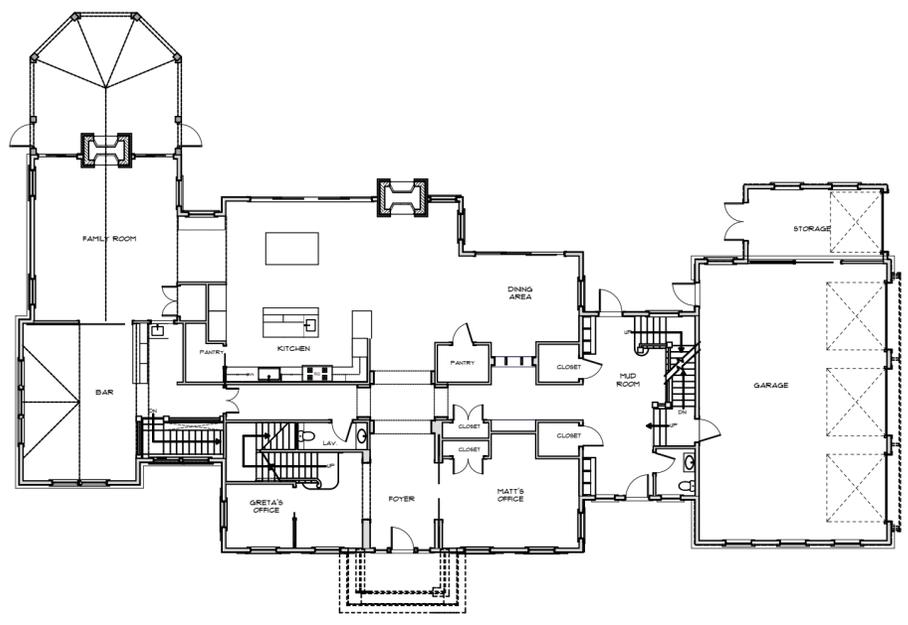
DWG. #
TLAG



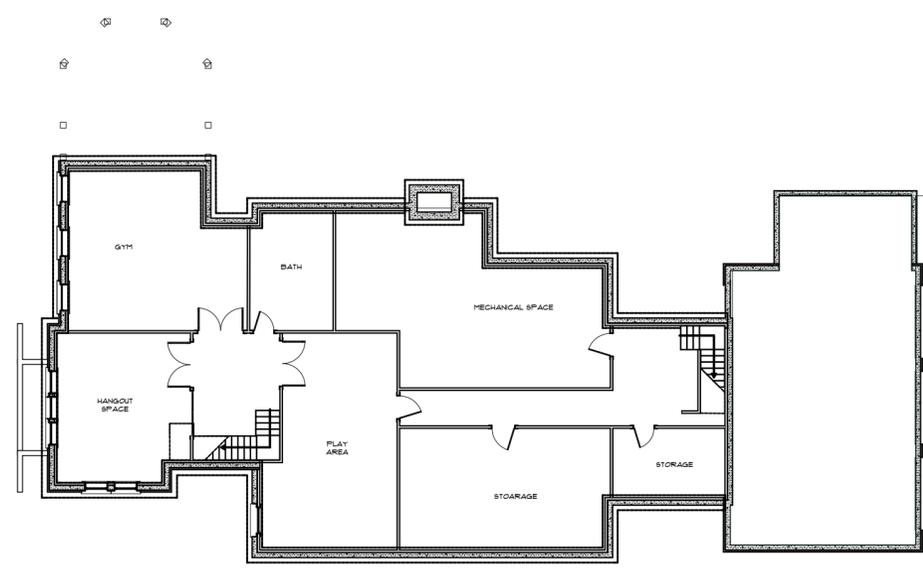
1 ROOF PLAN W/ ATTIC AREA 1,300 SQ.FT.
 SCALE: 1/16" = 1'-0"
 0 8' 16' 32'



2 2ND FLOOR AREA 3,220 SQ.FT.
 SCALE: 1/16" = 1'-0"
 0 8' 16' 32'



3 1ST FLOOR AREA PLUS GRAGE 4,788 SQ.FT.
 SCALE: 1/16" = 1'-0"
 0 8' 16' 32'



4 BASEMENT TLAG 3,421 SQ.FT.
 SCALE: 1/16" = 1'-0"
 0 8' 16' 32'

| AREA | |
|-----------------------|---------------------|
| PROPOSED FOUNDATION | 3,421 SQ.FT. |
| PROPOSED FIRST FLOOR | 4,788 SQ.FT. |
| PROPOSED SECOND FLOOR | 3,220 SQ.FT. |
| PROPOSED ATTIC SPACE | 1,300 SQ.FT. |
| PROPOSED TOTAL | 12735 SQ.FT. |

| TLAG | |
|----------------------------|---------------------|
| PROPOSED FOUNDATION TLAG | 0 SQ.FT. |
| PROPOSED FIRST FLOOR TLAG | 4,788 SQ.FT. |
| PROPOSED SECOND FLOOR TLAG | 3,220 SQ.FT. |
| PROPOSED ATTIC SPACE TLAG | 1,300 SQ.FT. |
| PROPOSED TOTAL | 9,308 SQ.FT. |



FRONT AND SIDE



BACK

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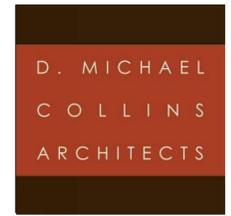
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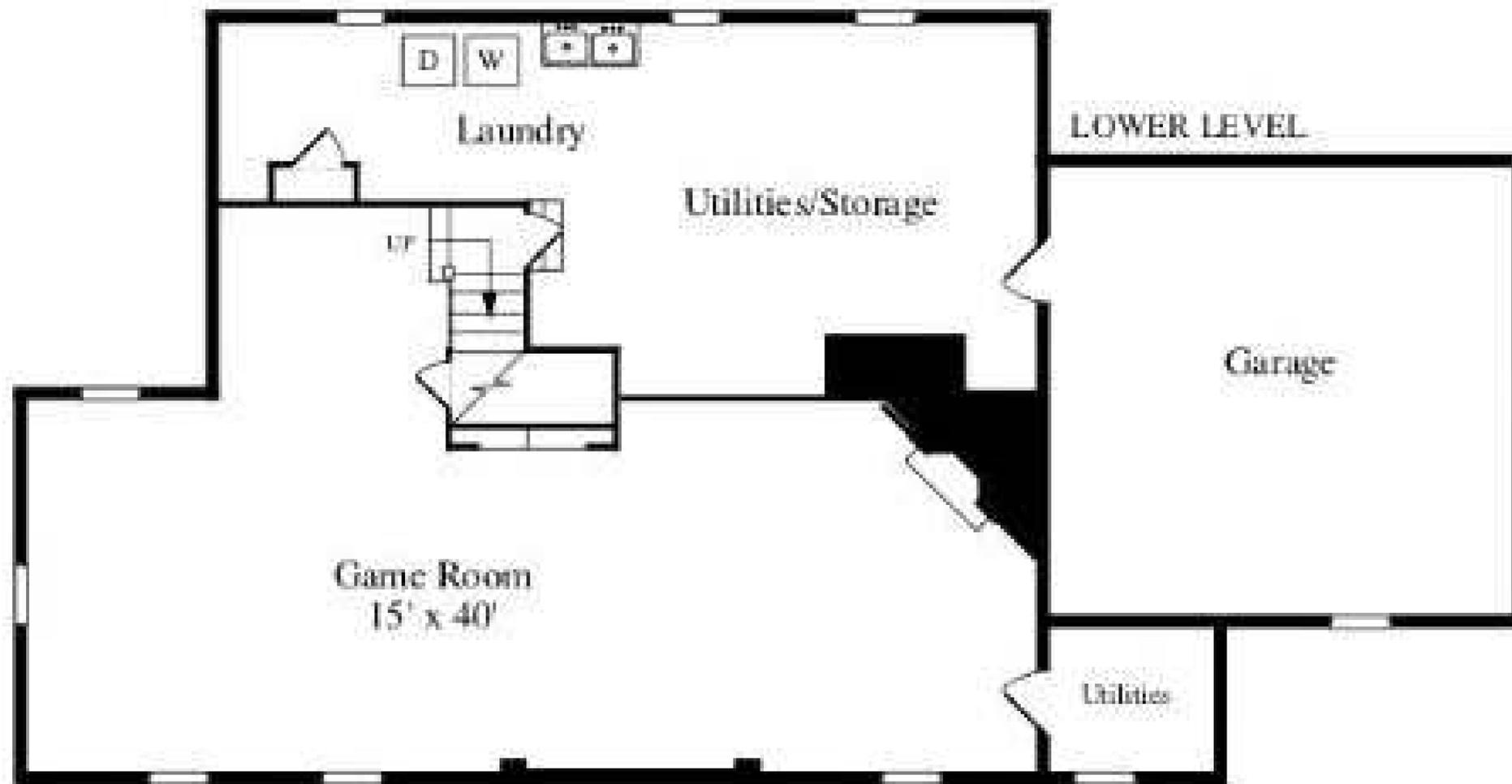
FRUHAN RESIDENCE

81 ARNOLD ROAD
 WELLESLEY, MA

DRAWN BY:
 DATE: 5.11.2019

DESCRIPTION:
 PHOTOGRAPHS
 EXISTING HOUSE

DWG. #
EX 0.0



EXISTING BASEMENT PLAN
SCALE: 1/8" = 1'-0"

TLA- 802 SF

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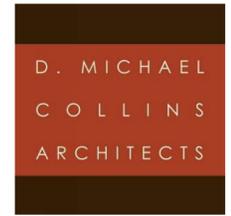
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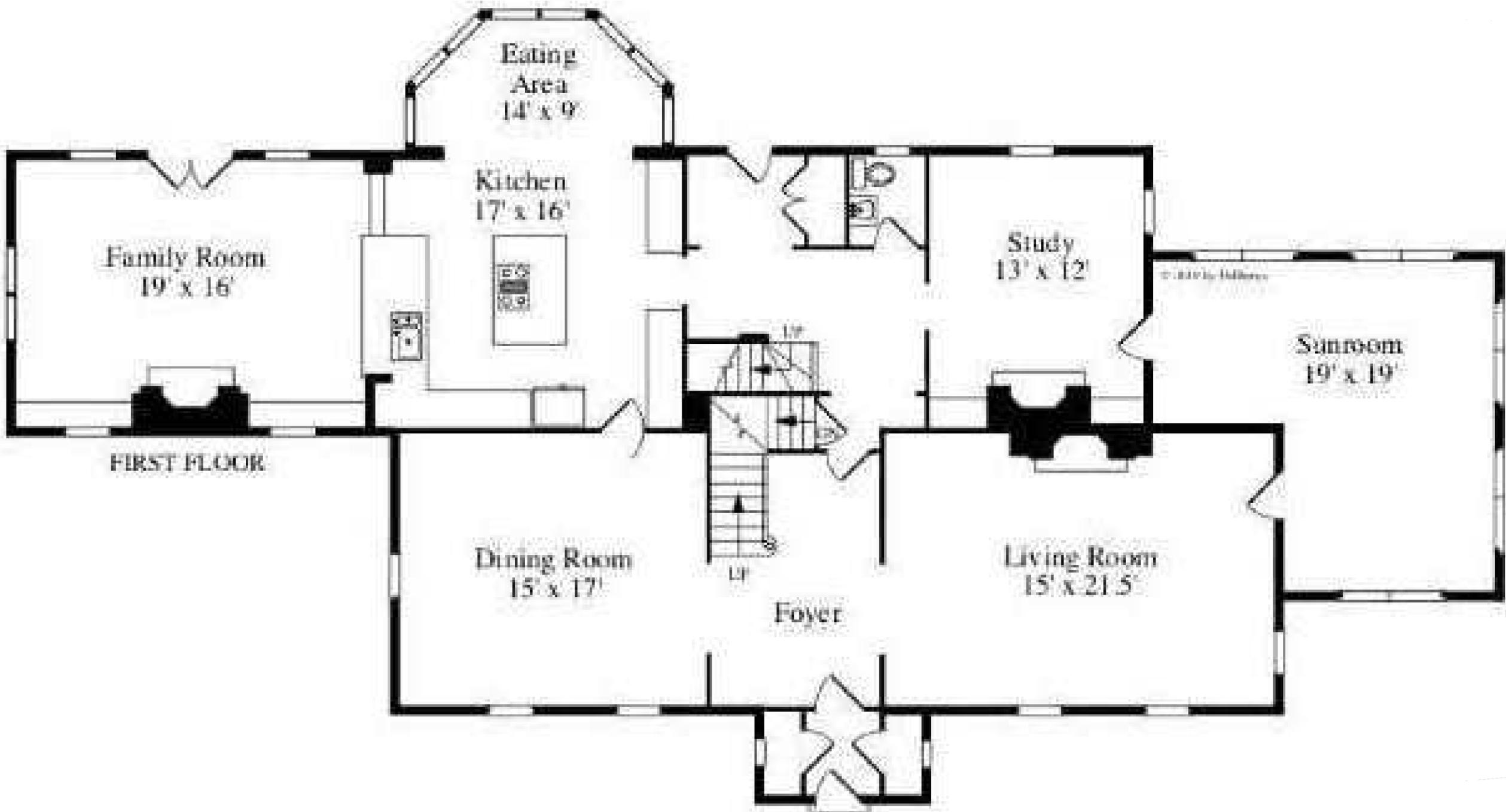
FRUHAN RESIDENCE

81 ARNOLD ROAD
WELLESLEY, MA

DRAWN BY:
DATE: 5.11.2020

DESCRIPTION:
Existing Basement Plan

DWG. #
EX-1.0



EXISTING FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"

TLA 2,276 SF

GENERAL NOTES:
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FRUHAN RESIDENCE

81 ARNOLD ROAD
 WELLESLEY, MA

DRAWN BY:
 DATE: 5.11.2020

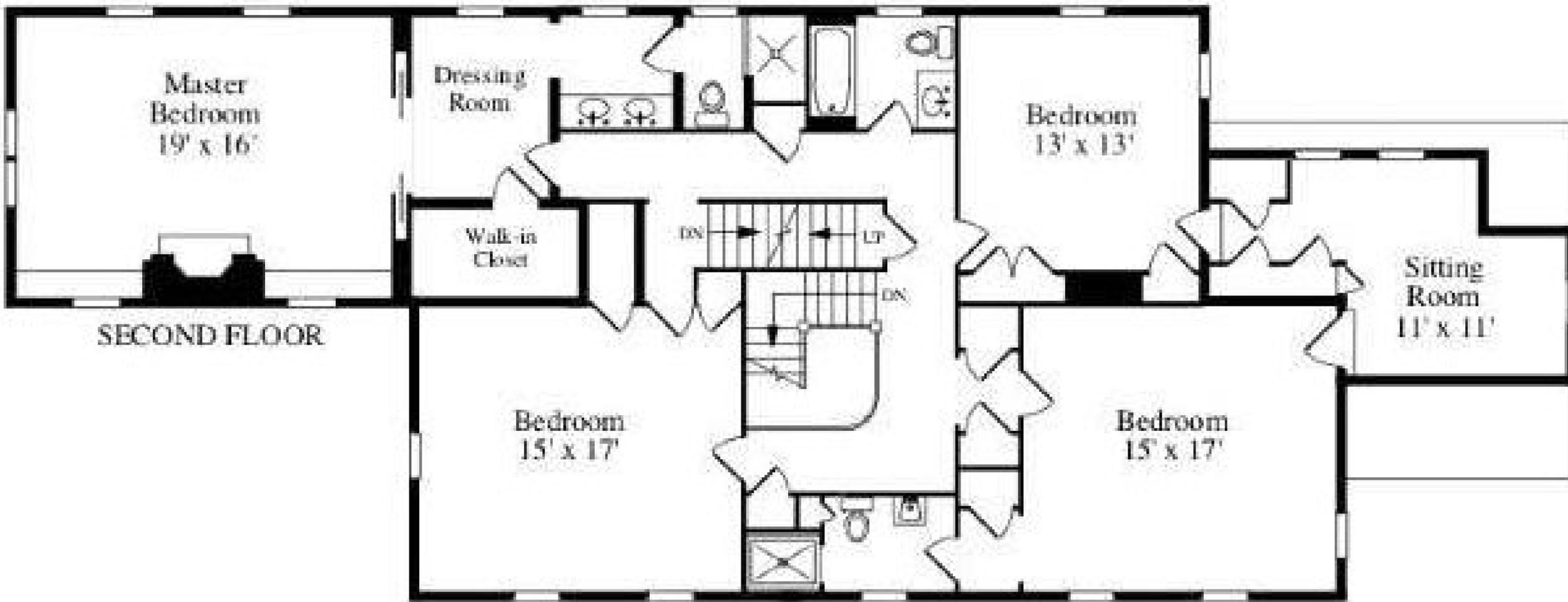
DESCRIPTION:
 Existing First Floor Plan

DWG. #

EX-1.1

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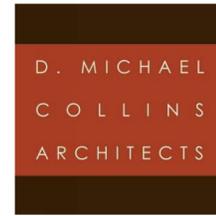
SECOND FLOOR

EXISTING SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"

TLA -2,003 SF

REVISIONS:

ISSUE DATES:



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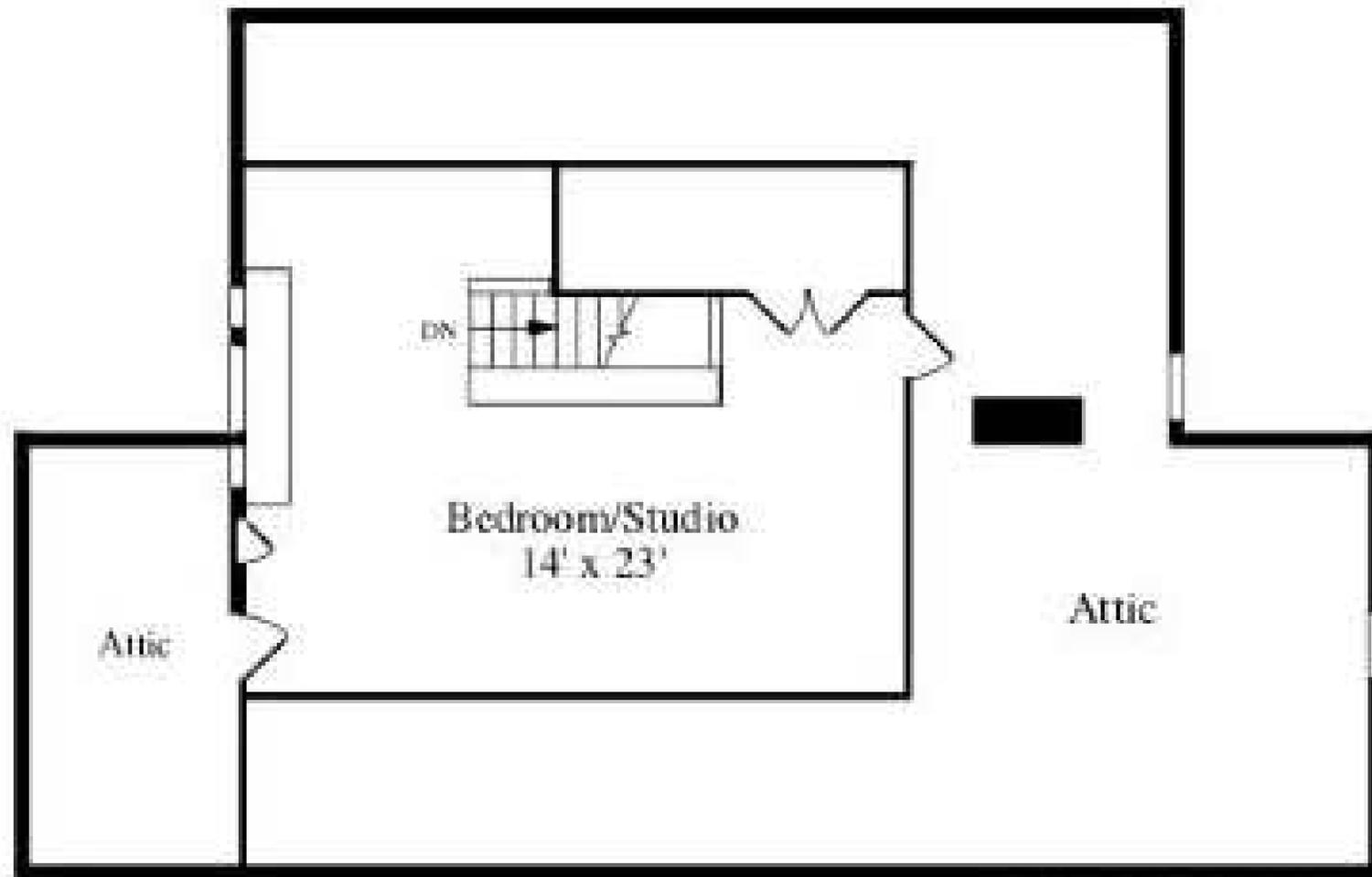
**FRUHAN
 RESIDENCE**

81 ARNOLD ROAD
 WELLESLEY, MA

DRAWN BY:
 DATE: 5.11.2020

DESCRIPTION:
 Existing Second
 Floor Plan

DWG. #
EX-1.2



EXISTING ATTIC PLAN
 SCALE: 1/8" = 1'-0"

TLA - 429 SF

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REVISIONS:

ISSUE DATES:



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**FRUHAN
 RESIDENCE**

81 ARNOLD ROAD
 WELLESLEY, MA

DRAWN BY:
 DATE: 5.11.2020

DESCRIPTION:
 Existing Attic Plan

DWG. #
EX-1.3

GENERAL NOTES:
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REVISIONS:

ISSUE DATES:



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FRUHAN RESIDENCE

81 ARNOLD ROAD
 WELLESLEY, MA

DRAWN BY:
 DATE: 5.11.2020

DESCRIPTION:
EXISTING ELEVATIONS

DWG. #

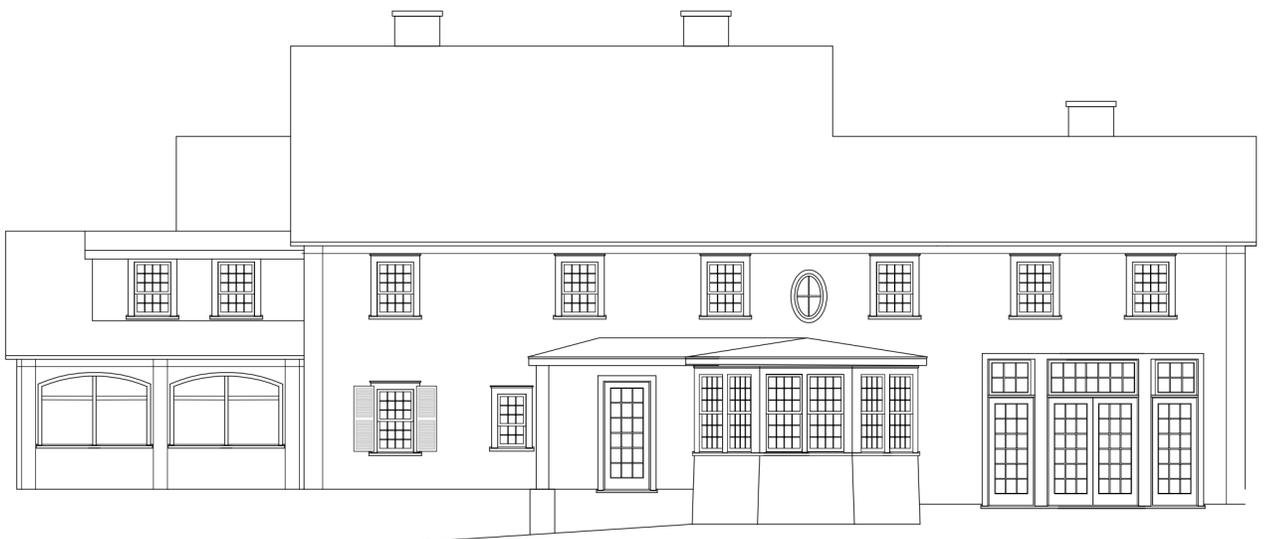
EX-2.0



EXISTING FRONT ELEVATION
 SCALE 1/8" = 1'-0"



EXISTING RIGHT SIDE ELEVATION
 SCALE 1/8" = 1'-0"



EXISTING REAR ELEVATION
 SCALE 1/8" = 1'-0"



EXISTING LEFT SIDE ELEVATION
 SCALE 1/8" = 1'-0"



66 Arnold Road - TLA 6,935 Lot 26,965
35' Grade to Ridge



71 Arnold Road - TLA 3,715 Lot 46,555
28' Grade to Ridge



77 Arnold Road - TLA 3,266 Lot 51,052
27' Grade to Ridge



78 Arnold Road - TLA 2,754 Lot 29,624
28' Grade to Ridge



82 Arnold Road - TLA 5,509 Lot 18,865
29' Grade to Ridge



86 Arnold Road - TLA 5,951 Lot 22,852
29' Grade to Ridge



90 Arnold Road - TLA 6,638 Lot 27,535
28' Grade to Ridge



91 Arnold Road - TLA 4,519 Lot 35,765
27' Grade to Ridge



97 Arnold Road - TLA 4,425 Lot 22,745
30' Grade to Ridge

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ISSUE DATES:

D. MICHAEL
COLLINS
ARCHITECTS

21 ELIOT STREET NATICK, MA 01760
DMCARCH.COM P+F 508.651.7099

FRUHAN
RESIDENCE

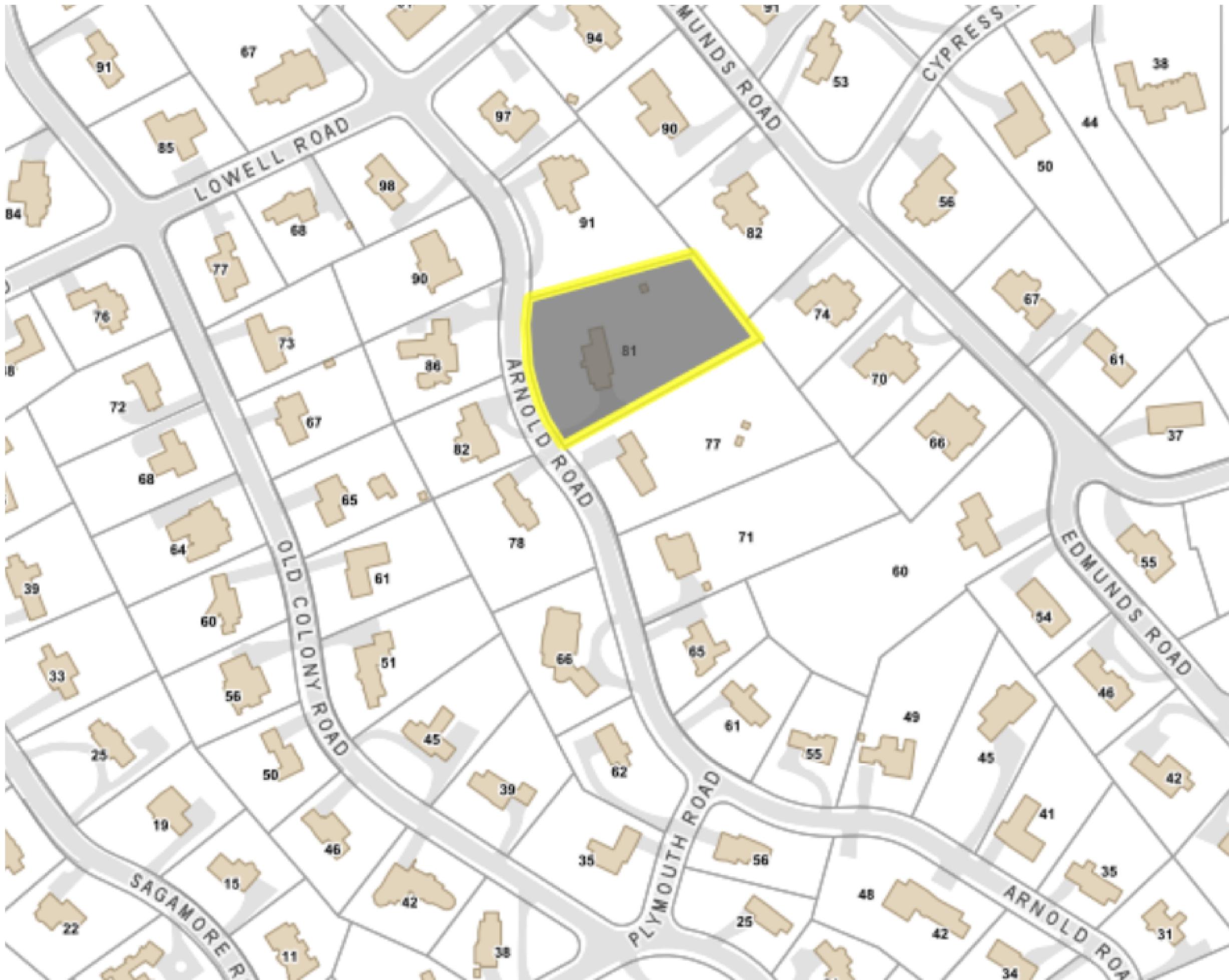
81 ARNOLD ROAD
WELLESLEY, MA

DRAWN BY:
DATE: 5.11.2020

DESCRIPTION:
NEIGHBORHOOD
DELINEATION

DWG. #

N1.0



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FRUHAN RESIDENCE

81 ARNOLD ROAD
 WELLESLEY, MA

DRAWN BY:
 DATE: 5.11.2020

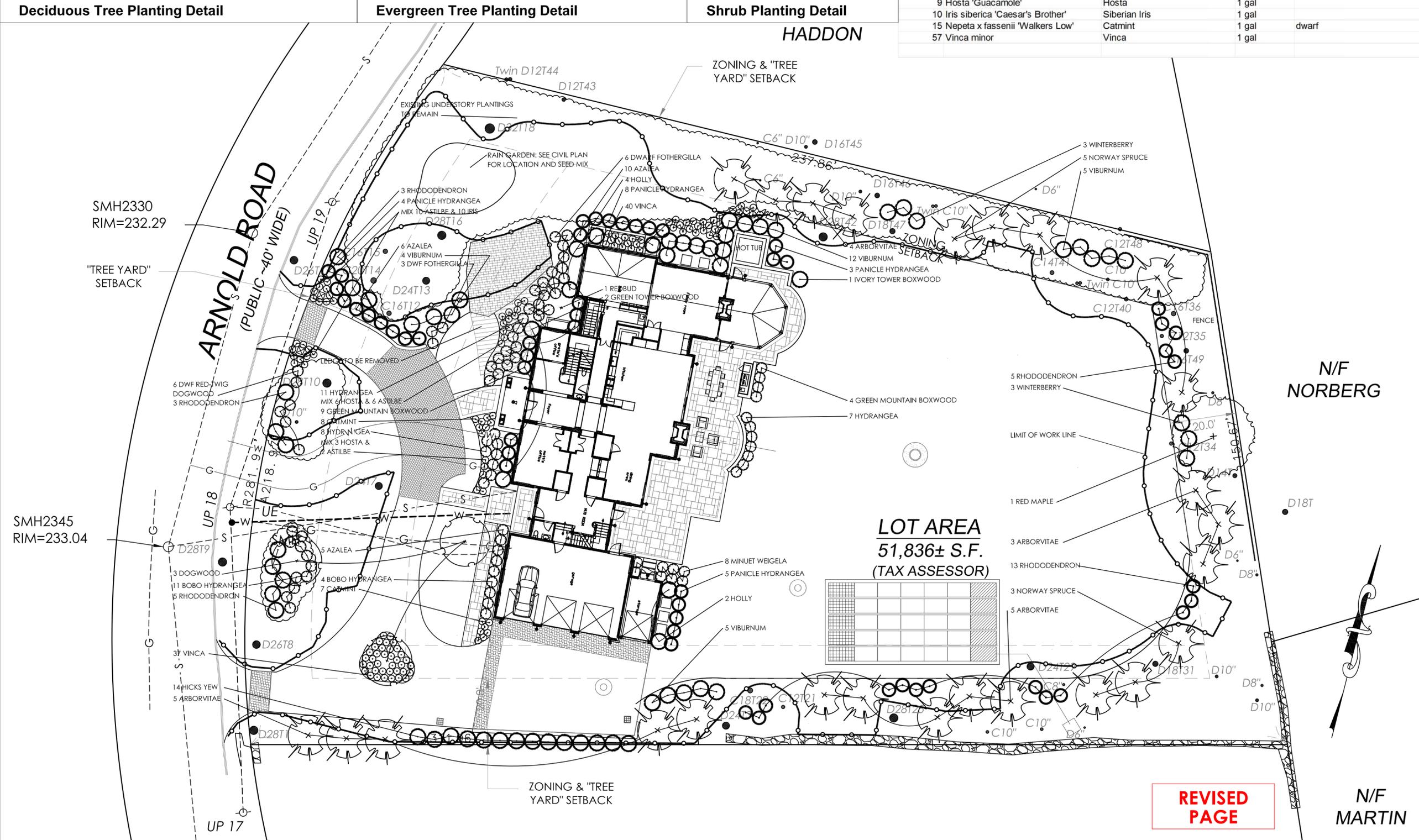
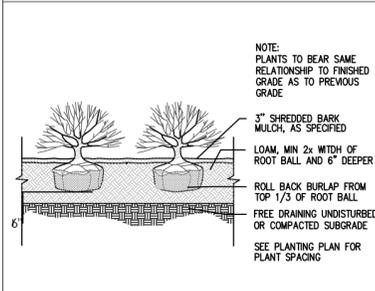
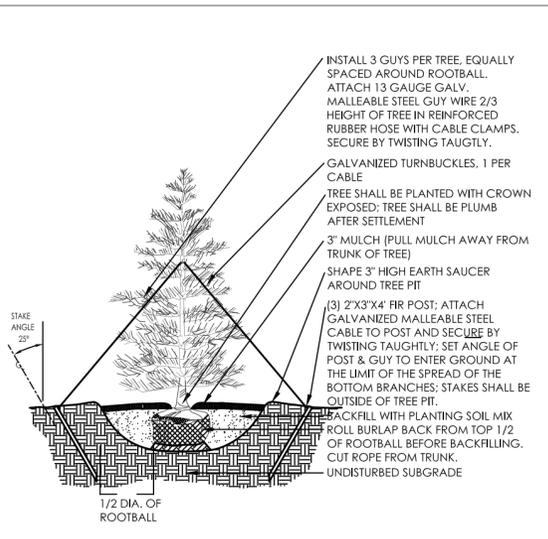
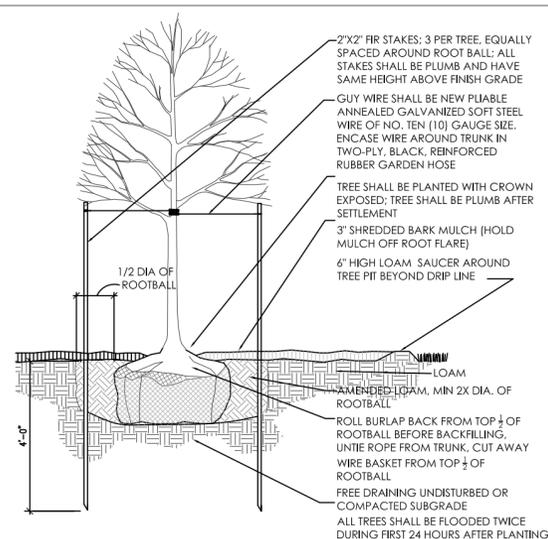
DESCRIPTION:
 NEIGHBORHOOD DELINEATION

DWG. #

N1.1

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|---|---------|------------|
| 1 | 4-6-20 | For review |
| 2 | 4-8-20 | For review |
| 3 | 4-14-20 | For review |
| 4 | 4-15-20 | For review |
| 5 | 4-29-20 | For review |
| 6 | 6-25-20 | For review |
| 7 | 7-20-20 | For review |

| Fruhan Plant List | | | | |
|-------------------|-----------------------------------|--------------------------|-------------|----------------|
| Qty. | Scientific Name | Common Name | Size | Notes |
| Trees | | | | |
| 3 | Abies concolor | White Fir | 10-12' ht. | |
| 1 | Acer rubrum | Red Maple | 4" cal. | |
| 1 | Cercis canadensis | Redbud | 2-2.5" cal. | |
| 3 | Cornus x 'Rutban' | Dogwood | 2-2.5" cal. | Rutgers hybrid |
| 5 | Ilex opaca 'Miss Helen' | American Holly | 7-8' ht. | |
| 5 | Picea abies | Norway Spruce | 12-14' ht. | |
| 12 | Thuja 'Green Giant' | Arborvitae | 10-12' ht. | |
| Shrubs | | | | |
| 21 | Azalea 'Delaware Valley White' | Azalea | 5 gal. | |
| 13 | Buxus 'Green Mountain' | Green Mountain Boxwood | 2.5-3' ht. | |
| 3 | Buxus 'Green Tower' | Green Tower Boxwood | 3-3.5' ht. | |
| 6 | Cornus sericea 'Kelsey' | Dwarf Red-Twig Dogwood | 5 gal. | |
| 9 | Fothergilla gardenii 'Mt Airy' | Dwarf Fothergilla | 5 gal. | |
| 26 | Hydrangea macrophylla 'Blue Wave' | Lacecap Hydrangea | 5 gal. | |
| 15 | Hydrangea paniculata 'LVOBO' | Bobo Hydrangea | 7 gal. | |
| 20 | Hydrangea paniculata 'Quickfire' | Panicle Hydrangea | 7 gal. | |
| 9 | Ilex x meserveae 'Blue Princess' | Holly | 4.5-5' ht. | |
| 3 | Ilex verticillata 'Sparkleberry' | Sparkleberry Winterberry | 7 gal. | female |
| 29 | Rhododendron 'Cunningham's White' | Rhododendron | 3-3.5' ht. | white flower |
| 14 | Taxus x 'Hicks' | Hicks Upright Yew | 5-5.5' ht. | |
| 26 | Viburnum x burkwoodii 'Mohawk' | Viburnum | 4-4.5' ht. | |
| 8 | Weigela florida 'Minuet' | Minuet Weigela | 5 gal. | dwarf |
| Perennials | | | | |
| 18 | Astilbe 'Bridal Veil' | Astilbe | 1 gal. | |
| 9 | Hosta 'Guacamole' | Hosta | 1 gal. | |
| 10 | Iris siberica 'Caesar's Brother' | Siberian Iris | 1 gal. | |
| 15 | Nepeta x fassenii 'Walkers Low' | Catmint | 1 gal. | dwarf |
| 57 | Vinca minor | Vinca | 1 gal. | |



Issued:



1 WEST ELEVATION
 SCALE: 1/8" = 1'-0"
 0 4' 8' 16'

CHANGES FROM ORIGINAL SUBMISSION

BASED ON COMMENTS FROM DESIGN REVIEW BOARD

- ① • REDUCED THE OVERHANG ON THE MAIN BODY OF THE HOUSE FROM 14" TO 10"
- INCREASED THE HEIGHT OF THE FRIEZE BOARD ABOVE THE SECOND FLOOR WINDOWS FROM 6" TO 9"

BASED ON COMMENTS FROM HISTORICAL COMMISSION

- ② • INCREASED THE WIDTH OF SHUTTER BY 3" SO THAT THEY FULLY COVER WINDOW WHEN SHUT.
- ③ • ALIGN WINDOWS VERTICALLY ON NORTH AND SOUTH ELEVATIONS OF MAIN VOLUME.
- ④ • SHIFTED THE GARAGE AND MUDROOM VOLUME 16" TO THE EAST, SO THAT THE FACE OF THE GARGE IS NOW 2'-4" BACK FROM THE MAIN FACADE OF THE HOUSE.

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REVISIONS:

ISSUE DATES:

D. MICHAEL
 COLLINS
 ARCHITECTS

21 ELIOT STREET NATICK, MA 01760
 DMCARCH.COM P+F 508.651.7099

**FRUHAN
 RESIDENCE**

81 ARNOLD ROAD
 WELLESLEY, MA

DRAWN BY:
 DATE: 7.28.2020

DESCRIPTION:

MATERIALS

DWG. #

**REVISED
 PAGE**

A3.0



CHANGES FROM ORIGINAL SUBMISSION

BASED ON COMMENTS FROM DESIGN REVIEW BOARD

- ① • REDUCED THE OVERHANG ON THE MAIN BODY OF THE HOUSE FROM 14" TO 10"
- INCREASED THE HEIGHT OF THE FRIEZE BOARD ABOVE THE SECOND FLOOR WINDOWS FROM 6" TO 9"

BASED ON COMMENTS FROM HISTORICAL COMMISSION

- ② • INCREASED THE WIDTH OF SHUTTER BY 3" SO THAT THEY FULLY COVER WINDOW WHEN SHUT.
- ③ • ALIGN WINDOWS VERTICALLY ON NORTH AND SOUTH ELEVATIONS OF MAIN VOLUME.
- ④ • SHIFTED THE GARAGE AND MUDROOM VOLUME 16" TO THE EAST, SO THAT THE FACE OF THE GARGE IS NOW 2'-4" BACK FROM THE MAIN FACADE OF THE HOUSE.

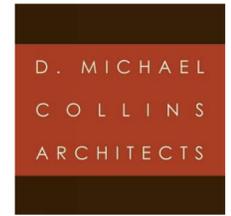
PERSPECTIVE

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REVISIONS:

ISSUE DATES:



21 ELIOT STREET NATICK, MA 01760
 DMCARCH.COM P+F 508.651.7099

**FRUHAN
 RESIDENCE**

81 ARNOLD ROAD
 WELLESLEY, MA

DRAWN BY:
 DATE: 7.28.2020

DESCRIPTION:
 Front
 Perspective

DWG. #

A3.1

**REVISED
 PAGE**



CHANGES FROM ORIGINAL SUBMISSION

BASED ON COMMENTS FROM DESIGN REVIEW BOARD

- REDUCED THE OVERHANG ON THE MAIN BODY OF THE HOUSE FROM 14" TO 10"
- INCREASED THE HEIGHT OF THE FRIEZE BOARD ABOVE THE SECOND FLOOR WINDOWS FROM 6" TO 9"

BASED ON COMMENTS FROM HISTORICAL COMMISSION

- INCREASED THE WIDTH OF SHUTTER BY 3" SO THAT THEY FULLY COVER WINDOW WHEN SHUT.
- ALIGN WINDOWS VERTICALLY ON NORTH AND SOUTH ELEVATIONS OF MAIN VOLUME.
- SHIFTED THE GARAGE AND MUDROOM VOLUME 16" TO THE EAST, SO THAT THE FACE OF THE GARAGE IS NOW 2'-4" BACK FROM THE MAIN FACADE OF THE HOUSE.

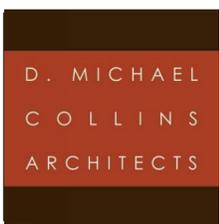
PERSPECTIVE

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REVISIONS:

ISSUE DATES:



21 ELIOT STREET NATICK, MA 01760
 DMCARCH.COM P+F 508.651.7099

**FRUHAN
 RESIDENCE**

81 ARNOLD ROAD
 WELLESLEY, MA

DRAWN BY:

DATE: 7.28.2020

DESCRIPTION:

Front
 Perspective

DWG. #

A3.2

**REVISED
 PAGE**



PERSPECTIVE

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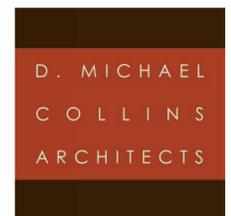
It is the responsibility of the Contractor to review these drawings and report any errors or discrepancies on the drawings, shop drawings, details, or associated sketches to the Architect before construction has commenced. Do not scale drawings.

REVISIONS:

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ISSUE DATES:

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**FRUHAN
 RESIDENCE**

81 ARNOLD ROAD
 WELLESLEY, MA

DRAWN BY:

DATE: 5.11.2020

DESCRIPTION:

Rear
 Perspective

DWG. #

A3.3



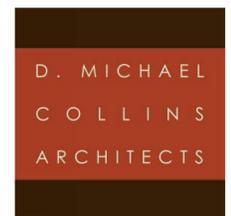
PERSPECTIVE

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**FRUHAN
 RESIDENCE**

81 ARNOLD ROAD
 WELLESLEY, MA

DRAWN BY:

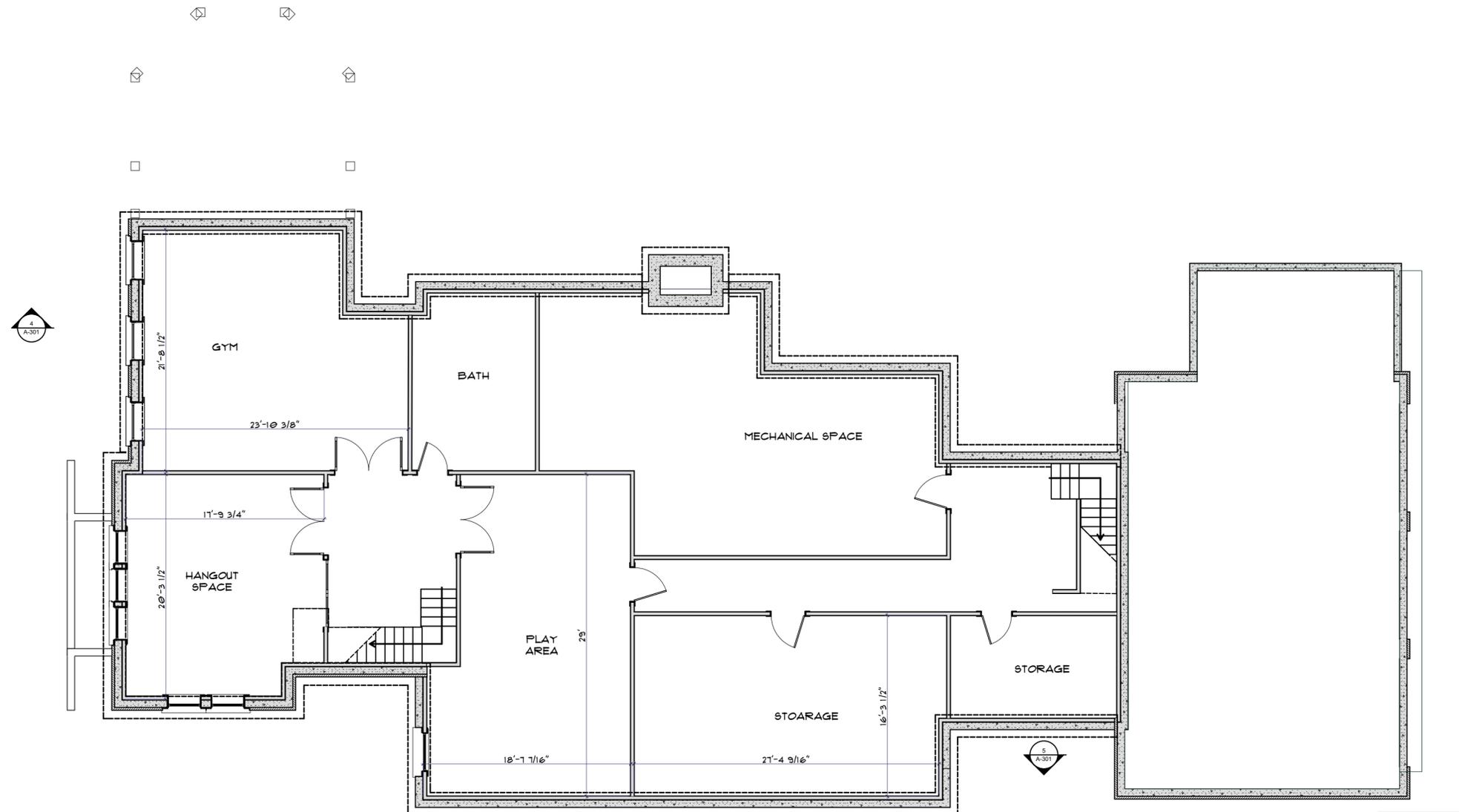
DATE: 5.11.2020

DESCRIPTION:

Rear
 Perspective

DWG. #

A3.4



FOUNDATION PLAN
SCALE: 1/8" = 1'-0"



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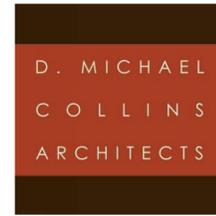
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REVISIONS:

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ISSUE DATES:

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**FRUHAN
 RESIDENCE**

81 ARNOLD ROAD
 WELLESLEY, MA

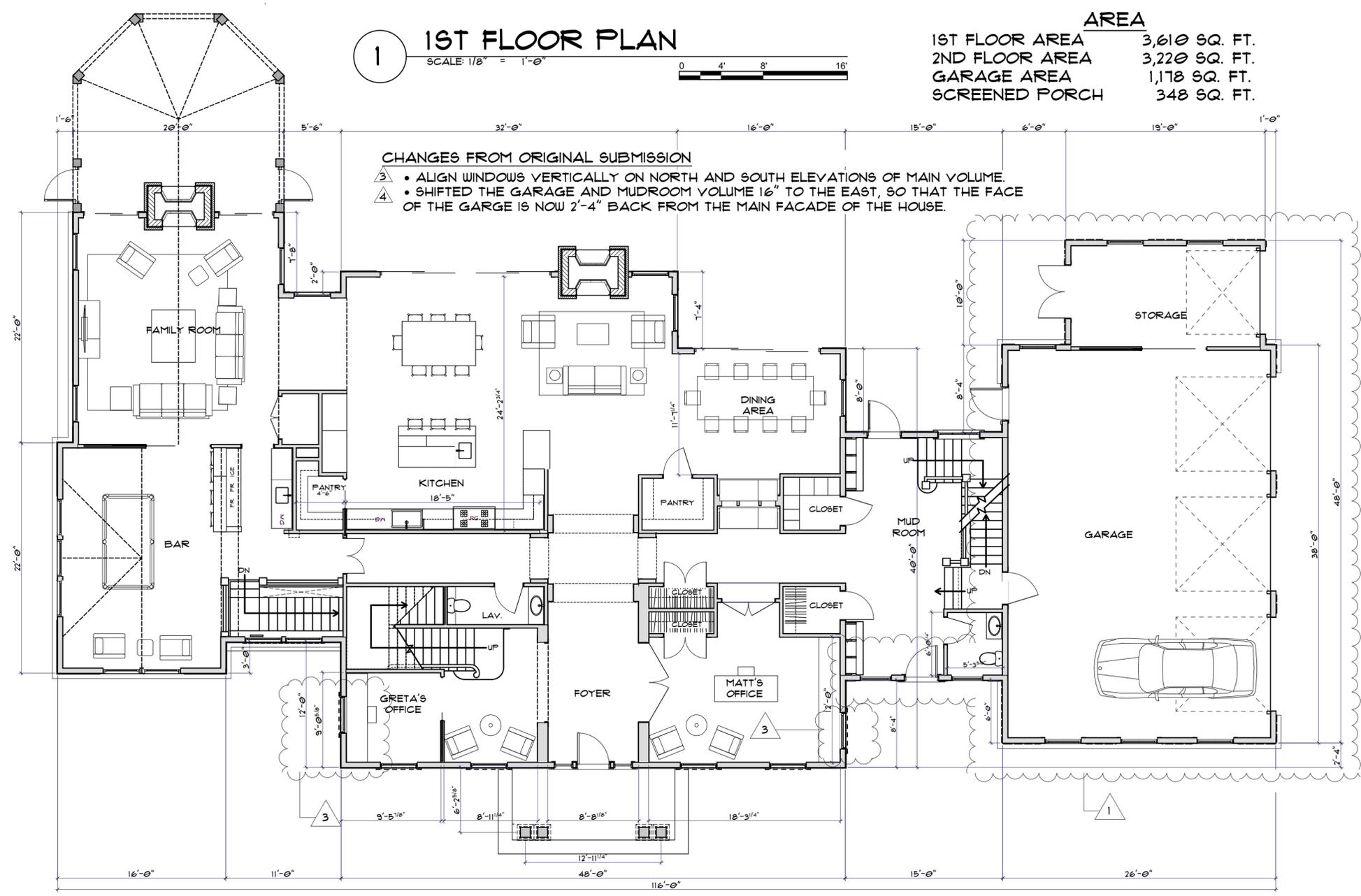
DRAWN BY:
 DATE: 5.11.2020

DESCRIPTION:

Proposed Foundation
 Plan

DWG. #

A1.0



1 1ST FLOOR PLAN

SCALE: 1/8" = 1'-0" 0 4' 8' 16'

| AREA | |
|----------------|---------------|
| 1ST FLOOR AREA | 3,610 SQ. FT. |
| 2ND FLOOR AREA | 3,220 SQ. FT. |
| GARAGE AREA | 1,178 SQ. FT. |
| SCREENED PORCH | 348 SQ. FT. |

- CHANGES FROM ORIGINAL SUBMISSION**
- 3 • ALIGN WINDOWS VERTICALLY ON NORTH AND SOUTH ELEVATIONS OF MAIN VOLUME.
 - 4 • SHIFTED THE GARAGE AND MUDROOM VOLUME 16" TO THE EAST, SO THAT THE FACE OF THE GARGE IS NOW 2'-4" BACK FROM THE MAIN FACADE OF THE HOUSE.

FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0" 0 4' 8' 16'

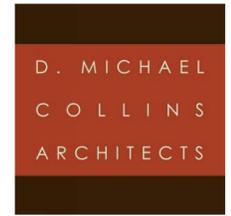
3,610 S.F.

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REVISIONS:

ISSUE DATES:



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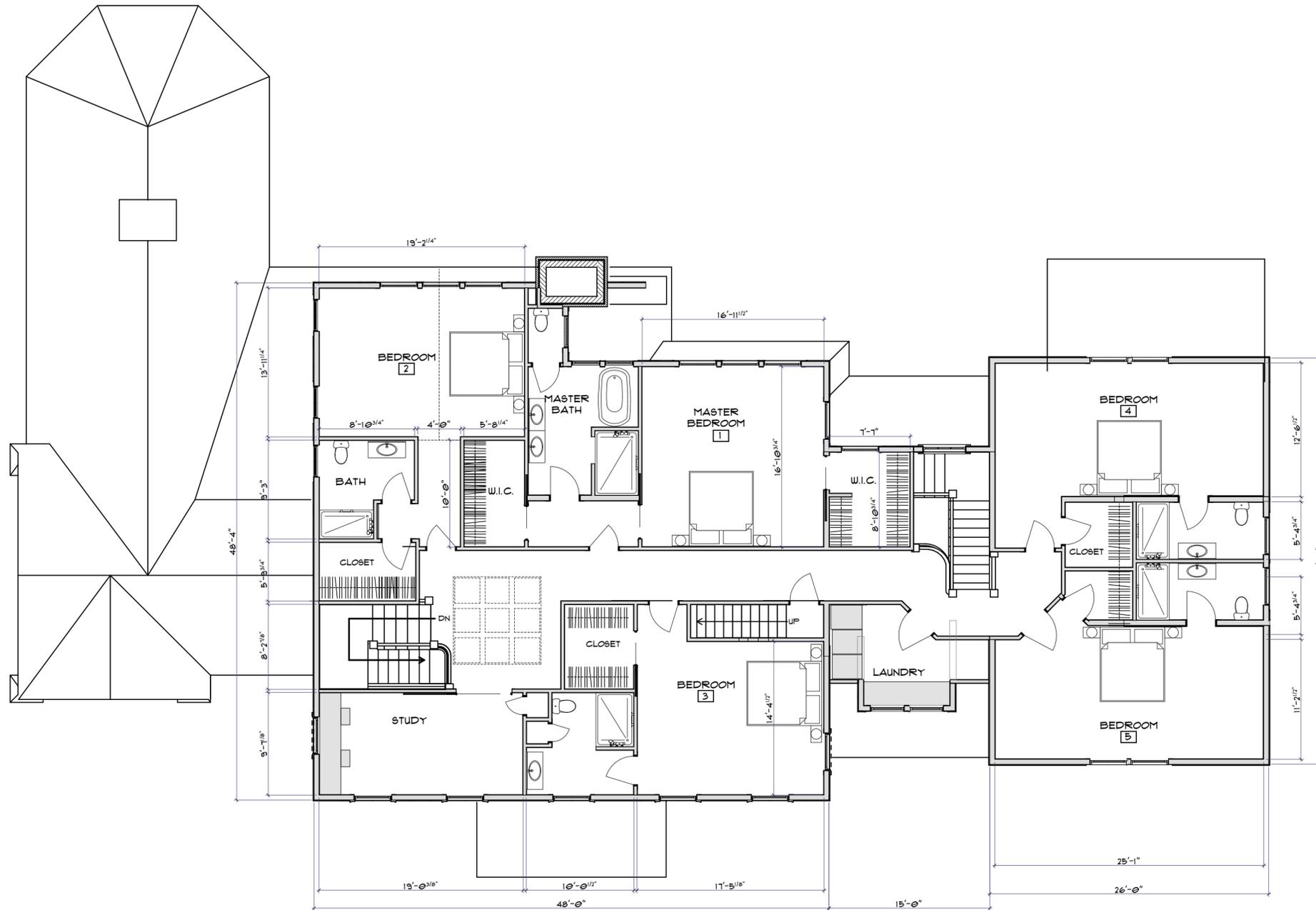
FRUHAN RESIDENCE
81 ARNOLD ROAD
WELLESLEY, MA

DRAWN BY:
DATE: 7.28.2020

DESCRIPTION:
Proposed First Floor Plan

DWG. #
A1.1

REVISED PAGE



SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

3,220 S.F.

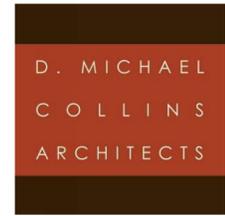


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FRUHAN RESIDENCE

81 ARNOLD ROAD
 WELLESLEY, MA

DRAWN BY:
 DATE: 7.28.2020

DESCRIPTION:

Proposed Second Floor Plan

DWG. #

REVISED PAGE

A1.2



FRONT ELEVATION

SCALE: 1/8" = 1'-0"

CHANGES FROM ORIGINAL SUBMISSION

BASED ON COMMENTS FROM DESIGN REVIEW BOARD

- ① • REDUCED THE OVERHANG ON THE MAIN BODY OF THE HOUSE FROM 14" TO 10"
- INCREASED THE HEIGHT OF THE FRIEZE BOARD ABOVE THE SECOND FLOOR WINDOWS FROM 6" TO 9"

BASED ON COMMENTS FROM HISTORICAL COMMISSION

- ② • INCREASED THE WIDTH OF SHUTTER BY 3" SO THAT THEY FULLY COVER WINDOW WHEN SHUT.
- ③ • ALIGN WINDOWS VERTICALLY ON NORTH AND SOUTH ELEVATIONS OF MAIN VOLUME.
- ④ • SHIFTED THE GARAGE AND MUDROOM VOLUME 16" TO THE EAST, SO THAT THE FACE OF THE GARGE IS NOW 2'-4" BACK FROM THE MAIN FACADE OF THE HOUSE.



REAR ELEVATION

SCALE: 1/8" = 1'-0"

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REVISIONS:

ISSUE DATES:

D. MICHAEL
 COLLINS
 ARCHITECTS

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 DMCARCH.COM P+F 508.651.7099

FRUHAN
 RESIDENCE

81 ARNOLD ROAD
 WELLESLEY, MA

DRAWN BY:
 DATE: 7.28.2020

DESCRIPTION:

Proposed Front & Rear
 Elevations

DWG. #

REVISED
 PAGE

A2.1

CHANGES FROM ORIGINAL SUBMISSION

BASED ON COMMENTS FROM DESIGN REVIEW BOARD

- REDUCED THE OVERHANG ON THE MAIN BODY OF THE HOUSE FROM 14" TO 10"
- INCREASED THE HEIGHT OF THE FRIEZE BOARD ABOVE THE SECOND FLOOR WINDOWS FROM 6" TO 9"

BASED ON COMMENTS FROM HISTORICAL COMMISSION

- INCREASED THE WIDTH OF SHUTTER BY 3" SO THAT THEY FULLY COVER WINDOW WHEN SHUT.
- ALIGN WINDOWS VERTICALLY ON NORTH AND SOUTH ELEVATIONS OF MAIN VOLUME.
- SHIFTED THE GARAGE AND MUDROOM VOLUME 16" TO THE EAST, SO THAT THE FACE OF THE GARAGE IS NOW 2'-4" BACK FROM THE MAIN FACADE OF THE HOUSE.



SIDE ELEVATION
SCALE: 1/8" = 1'-0"

CHANGES FROM ORIGINAL SUBMISSION

BASED ON COMMENTS FROM DESIGN REVIEW BOARD

- REDUCED THE OVERHANG ON THE MAIN BODY OF THE HOUSE FROM 14" TO 10"
- INCREASED THE HEIGHT OF THE FRIEZE BOARD ABOVE THE SECOND FLOOR WINDOWS FROM 6" TO 9"

BASED ON COMMENTS FROM HISTORICAL COMMISSION

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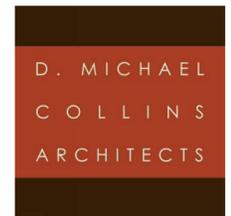
SIDE ELEVATION
SCALE: 1/8" = 1'-0"

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REVISIONS:

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FRUHAN RESIDENCE

81 ARNOLD ROAD
WELLESLEY, MA

DRAWN BY:
DATE: 7.28.2020

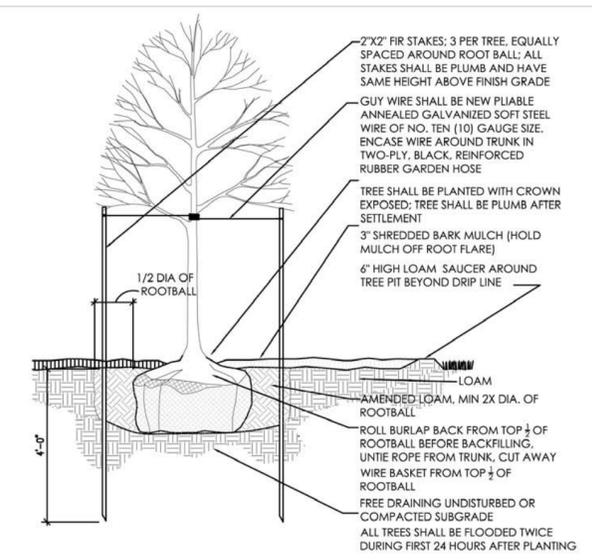
DESCRIPTION:

Proposed Side Elevations

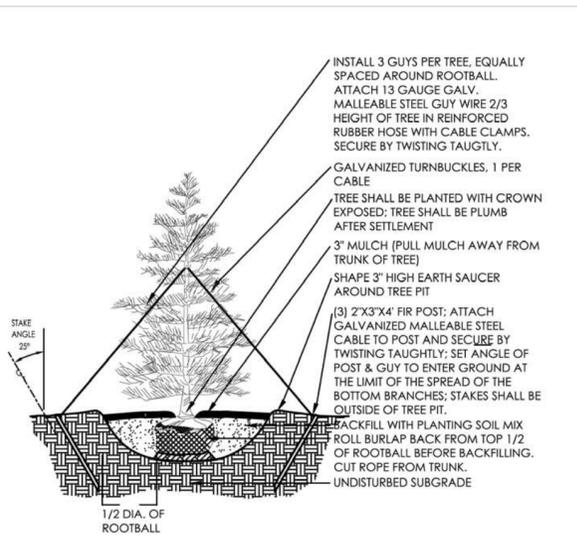
DWG. #

A2.2

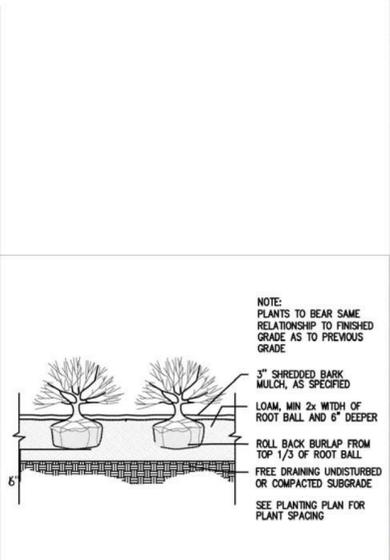
REVISED PAGE



Deciduous Tree Planting Detail



Evergreen Tree Planting Detail



Shrub Planting Detail

| Qty. | Scientific Name | Common Name | Size | Notes |
|-------------------|-----------------------------------|--------------------------|-------------|----------------|
| Trees | | | | |
| 3 | Abies concolor | White Fir | 10-12' ht. | |
| 1 | Acer rubrum | Red Maple | 4" cal. | |
| 1 | Cercis canadensis | Redbud | 2-2.5" cal. | |
| 3 | Cornus x 'Rutban' | Dogwood | 2-2.5" cal. | Rutgers hybrid |
| 5 | Ilex opaca 'Miss Helen' | American Holly | 7-8' ht. | |
| 5 | Picea abies | Norway Spruce | 12-14' ht. | |
| 12 | Thuja 'Green Giant' | Arborvitae | 10-12' ht. | |
| Shrubs | | | | |
| 21 | Azalea 'Delaware Valley White' | Azalea | 5 gal. | |
| 13 | Buxus 'Green Mountain' | Green Mountain Boxwood | 2.5-3' ht. | |
| 3 | Buxus 'Green Tower' | Green Tower Boxwood | 3-3.5' ht. | |
| 6 | Cornus sericea 'Kelsey' | Dwarf Red-Twig Dogwood | 5 gal. | |
| 9 | Fothergilla gardenii 'Mt Airy' | Dwarf Fothergilla | 5 gal. | |
| 26 | Hydrangea macrophylla 'Blue Wave' | Lacecap Hydrangea | 5 gal. | |
| 15 | Hydrangea paniculata 'ILVOBO' | Bobo Hydrangea | 7 gal. | |
| 20 | Hydrangea paniculata 'Quickfire' | Panicle Hydrangea | 7 gal. | |
| 3 | Ilex x meserveae 'Blue Princess' | Holly | 4.5-5' ht. | |
| 3 | Ilex verticillata 'Sparkleberry' | Sparkleberry Winterberry | 7 gal. | female |
| 29 | Rhododendron 'Cunningham's White' | Rhododendron | 3-3.5' ht. | white flower |
| 14 | Taxus x 'Hicks' | Hicks Upright Yew | 5-5.5' ht. | |
| 26 | Viburnum x burkwoodii 'Mohawk' | Viburnum | 4-4.5' ht. | |
| 8 | Weigela florida 'Minuet' | Minuet Weigela | 5 gal. | dwarf |
| Perennials | | | | |
| 18 | Astilbe 'Bridal Veil' | Astilbe | 1 gal | |
| 9 | Hosta 'Guacamole' | Hosta | 1 gal | |
| 10 | Iris siberica 'Caesar's Brother' | Siberian Iris | 1 gal | |
| 15 | Nepeta x fassenii 'Walkers Low' | Catmint | 1 gal | dwarf |
| 57 | Vinca minor | Vinca | 1 gal | |



| Fruhan Residence Light Schedule | | | | |
|---------------------------------|------|--------------------------|-------|-----------------------|
| Symbol | Qty. | Type | Watts | Manufacturer/model |
| | 12 | Path light (low voltage) | 20w | Hinkley 1518BZ-LED |
| | 13 | Wall light (low voltage) | 1.4w | Kichler 15746 6-LED |
| | 15 | Sconce | 17w | Progress P6085-3130K9 |

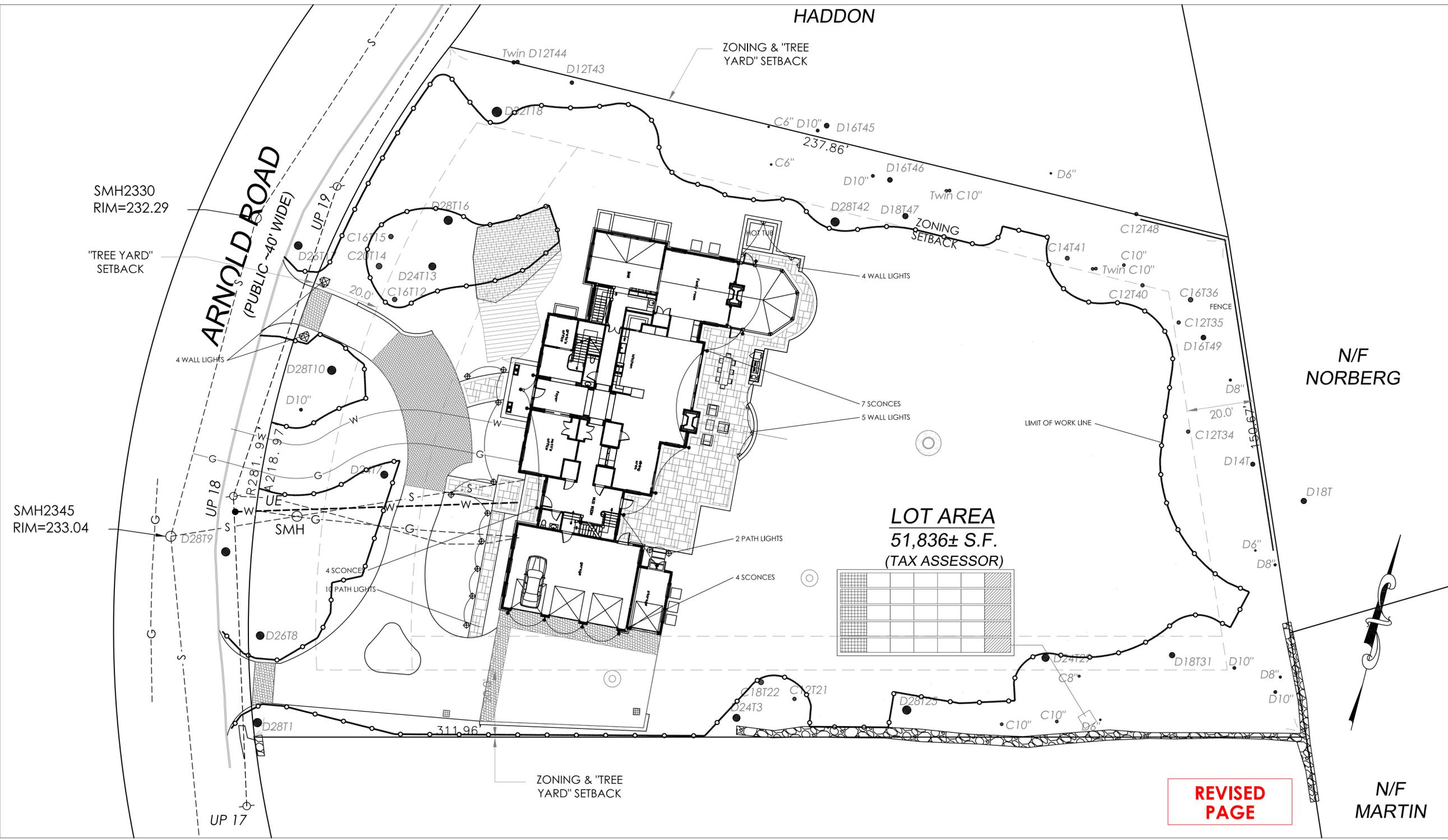
L-4.1

KD Turner Design
landscape architecture
27 High St.
Newburyport, MA 01950
ph) 781.632.6004

FRUHAN RESIDENCE
81 Arnold Rd.
Wellesley, MA

Landscape Lighting Plan
Scale: 1"=20'-0"

| Issued: | |
|---------|--------------------|
| 1 | 4-6-20 For review |
| 2 | 4-8-20 For review |
| 3 | 4-14-20 For review |
| 4 | 4-29-20 For review |
| 5 | 6-25-20 For review |
| 6 | 7-20-20 For review |



REVISED PAGE

S-SCONCE



Project: Fruhan Residence
 Fixture Type: Exterior Wall Sconce
 Location:
 Contact:

Medium Wall Lantern

Wall mounted • Wet location listed PROGRESS LED

Description:

LED wall lantern with etched white linen glass. Includes dark sky shield for full cut-off illumination or remove for a traditional lighting effect. 120V AC replaceable LED module, 1,211 lumens 71.2 lumens/watt per module (source). 3000K color temperature and 90+ CRI.

Specifications:

- Black (-31) (powder coat paint)
- Aluminum Construction
- Etched White Linen glass cylindrical diffuser
- LED Module is replaceable (part # 93053641)
- Etched white linen glass.
- Includes removable dark sky shield for full cut-off illumination.
- Powder coated finish.
- 1,211 lumens 71.2 lumens/watt per module (source)
- 3000K color temperature, 90+ CRI
- Dimmable to 10% brightness (See Dimming Notes)
- Back plate covers a standard 4" octagonal recessed outlet box
- Mounting strap for outlet box included
- 6" of wire supplied
- ENERGY STAR® qualified
- Meets California Title 24 high efficacy requirements for outdoor use only

Performance:

| | |
|------------------------|---|
| Number of Modules | 1 |
| Input Power | 17w |
| Input Voltage | 120 V |
| Input Frequency | 60 Hz |
| Lumens/LPW (Source) | 1211/71.2 (LM-82) |
| Lumens/LPW (Delivered) | 234/14.1 (LM-79) |
| CCT | 3000 K |
| CRI | 90 CRI |
| Life (hours) | 60,000 (L70/TM-21) |
| FCC | Meets FCC Title 47, Part 15 Class B |
| Min. Start Temp | -30 °C |
| Max. Operating Temp | 30 °C |
| Warranty | 5 year warranty |
| Labels | cCSAus Wet location listed ENERGY STAR® qualified Meets California Title 24 high efficacy requirements for outdoor use only |

P6085-3130K9

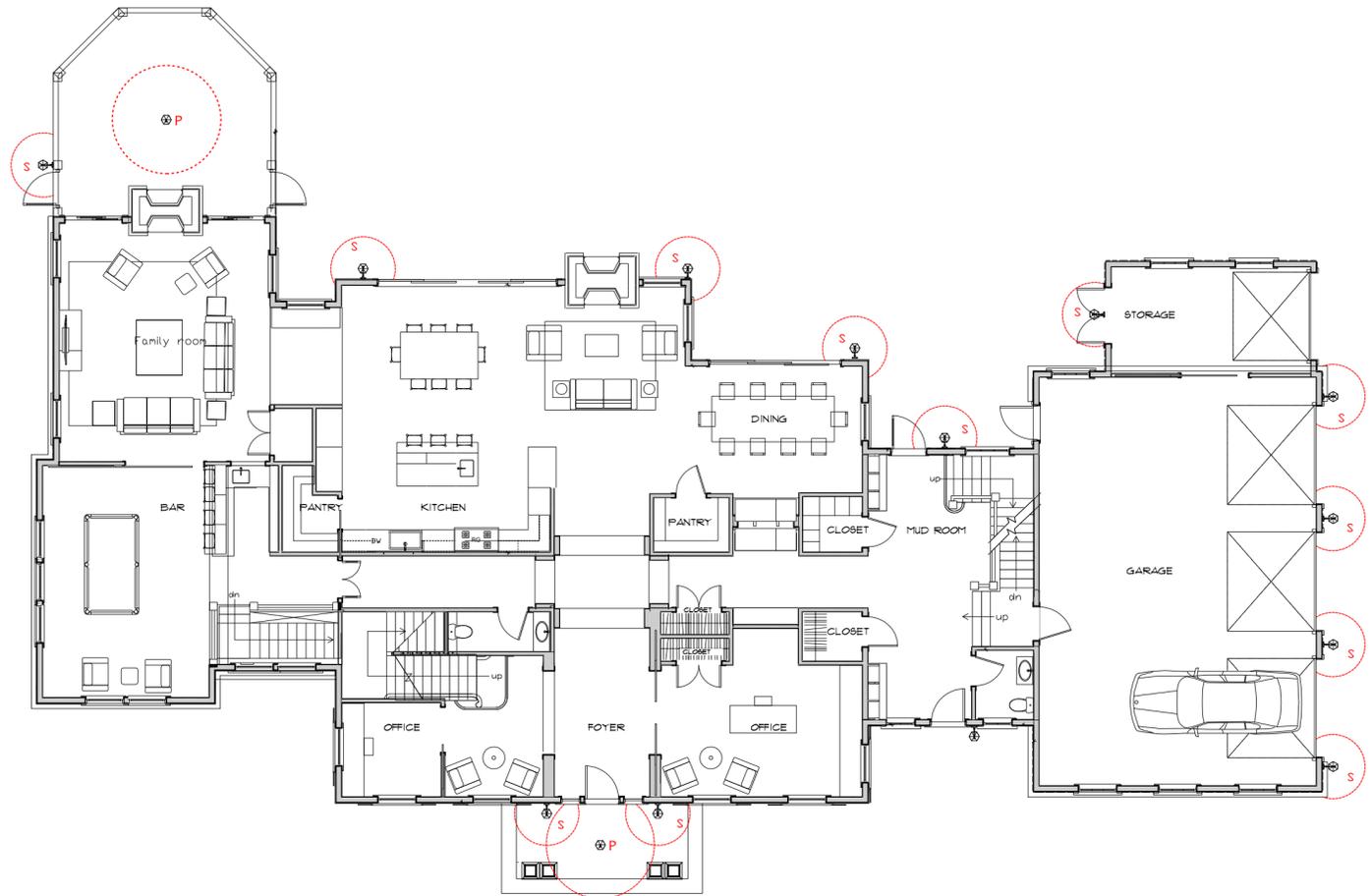
Images:



Dimensions:

Width: 9"
 Depth: 10-1/2"
 Height: 12-1/2"
 H/CTR: 3-1/8"

Glass
 Width: 5-5/16"
 Height: 7-3/8"



P- PENDANT



DATE: _____ TYPE: _____
 NAME: _____
 PROJECT: _____

Incandescent

P6524-31

Wish

Hanging lantern with etched white linen glass. Includes dark sky shield for full cut-off illumination or remove for a traditional lighting effect.

- Etched white linen glass.
- Includes removable dark sky shield for full cut-off illumination.
- Powder coated finish.

Category: Outdoor

Finish: Black (powder coat paint)

Construction: Aluminum Construction

Glass/Shade: Etched White Linen glass cylindrical diffuser



Diameter: 9"
 Height: 12-1/2"
 Overall Ht. W/Chain: 87-1/2"

Glass
 Width: 6"
 Height: 7-3/8"

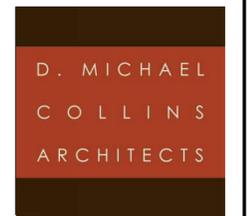
| MOUNTING | ELECTRICAL | LAMPING | ADDITIONAL INFORMATION |
|---|--------------------------|---------------------------|-----------------------------|
| Ceiling chain mounted | Pre-wired | Quantity: | UL-CUL Damp location listed |
| Mounting strap for outlet box included | 15 feet of wire supplied | One 100w max. Medium Base | 1 year warranty |
| Six feet of 9 gauge chain supplied | 120 V | E26 base porcelain socket | |
| Canopy covers a standard 4" octagonal recessed outlet box | | | |
| 5" W., 1" ht., 5" depth | | | |

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REVISIONS:

ISSUE DATES:



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 DMCARCH.COM P+F 508.651.7099

FRUHAN RESIDENCE

81 ARNOLD ROAD
 WELLESLEY, MA

DRAWN BY:
 DATE: 5.11.2019

DESCRIPTION:
 EXTERIOR HOUSE LIGHTING

DWG. #

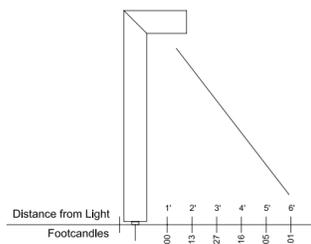
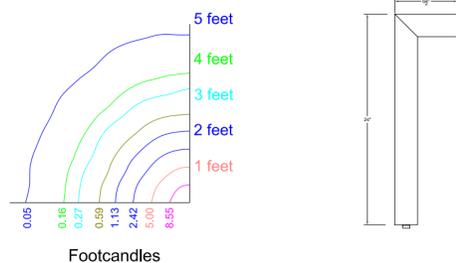
L 1.0

PATH LIGHTING



1518BZ
Path Lighting

Width: 6.5"
Height: 22"
Weight: 4 lbs.
Material: Aluminum
Glass: Etched Glass Lens
Bulb: One 20w T3 Bi-pin (Included)
Voltage: 12v
Leadwire: 36"
Certification: c-UL-us Wet
UPC: 640665151800
Notes: Etched Acrylic Lens



SCONCE



LED Fixture w Bracket



9-LED FIXTURE

FEATURES

- Aluminum, Brass, & Copper Plated Housings w/ Multiple Finish Options
- Stainless Steel Mount Brackets
- Stainless Steel Mounting Screws
- 9-15V AC/DC Operating Range w/ Integrated, Constant Voltage Driver
- 10-Year / 40,000 Hour Warranty on LED Driver & All Other Electrical Components
- Available in 3, 6, & 9 LED Configurations
- Casts a Low, Even Spread of Energy Efficient LED Light
- 2950K (-150 / +175) High CRI
- 70" of Useable #18-2, SPT-1W Leads. Cable Connector Supplied. WHT Finished Fixtures Have Coordinating White Leads
- 5-Year Warranty on Aluminum LED Housings & Exterior Finishes

| 3 LED | 6 LED | 9 LED |
|---|---|---|
| Mounting Height: 0" 1" 2" 3" 4" | Mounting Height: 0" 1" 2" 3" 4" | Mounting Height: 0" 1" 2" 3" 4" |
| Horizontal Dist: 36.00 4.5 1.60 0.82 0.50 | Horizontal Dist: 55.00 13.00 2.00 1.02 0.61 | Horizontal Dist: 79.40 21.90 2.91 1.42 0.92 |
| Vertical Dist: 8.71 4.40 1.08 0.64 0.43 | Vertical Dist: 16.70 8.28 3.90 0.91 0.56 | Vertical Dist: 24.00 12.16 5.00 1.42 0.94 |
| Horizontal Dist: 4.00 2.38 1.45 0.52 0.32 | Horizontal Dist: 7.50 4.40 2.60 1.06 0.54 | Horizontal Dist: 11.64 7.32 4.48 2.87 1.10 |

ORDERING INFORMATION

EXAMPLE: 1574SAZT (Product # & Finish)

| PRODUCT | WATTAGE/STYLE | FINISHES | OPTIONAL |
|---------------------|--|--|----------|
| 3-LED Fixture 15745 | .75 Watts / 1.3 Voltage Amps | AZT - Architectural Textured Bronze (Shown Above) BBR - Bronzed Brass | |
| 6-LED Fixture 15746 | 1.4 Watts / 2.4 Voltage Amps | CO - Copper (Will Naturally Patina Over Time) GRY - Gray | |
| 9-LED Fixture 15756 | 2.2 Watts / 3.7 Voltage Amps (Shown Above) Please Note: Not For Use With Electronic Transformers | SD - Sand WHT - Textured White | |

NOTES

**Definition of 40,000 hours: Voluntarily following the accepted industry standard of L70, Kichler rates the entire lighting fixture system at 40,000 hours; with engineered electronics that will last at least 40,000 hours, superior optical engineering, and finally utilizing a design that operates at the optimal temperature thresholds for the LED chips. The end result is a complete light fixture that does not require replacement parts and will provide 70% or more of its original light output for at least 40,000 hours. It has been proven that the human eye can hardly detect any difference in light output when light output is at 70% or above of its original output.



For Warranty Information, please visit www.landscape-lighting.com

We reserve the right to revise the design or components of any product due to parts availability or change in UL standards, without assuming any obligation or liability to modify any products previously manufactured, and without notice.

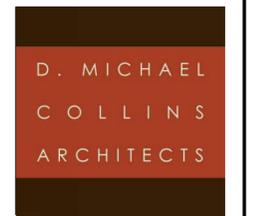
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DRAWN BY:
DATE: 5.11.2019

DESCRIPTION:
LANDSCAPE LIGHTING

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