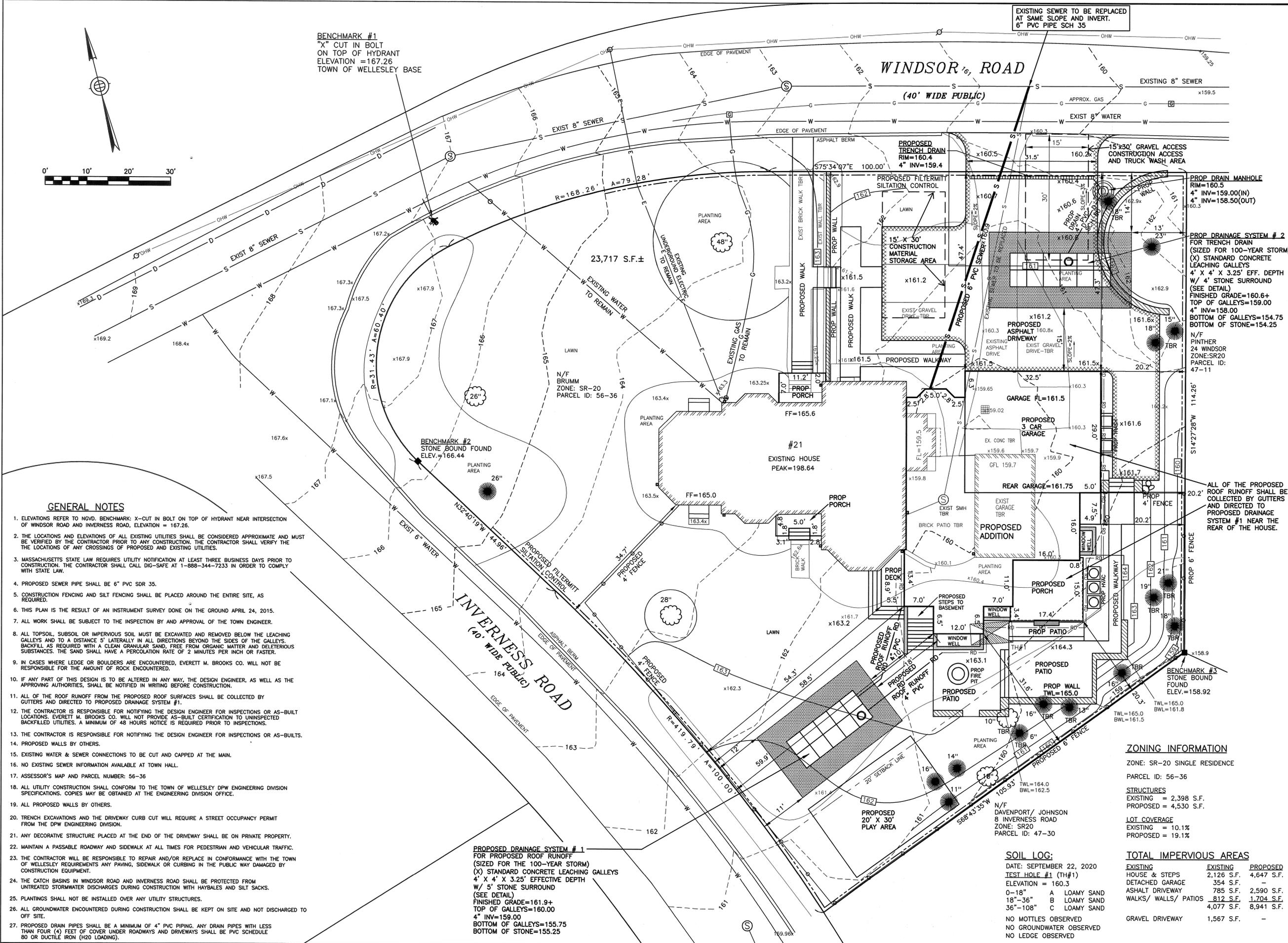


LEGEND

	UTILITY POLE
	WATER GATE
	HYDRANT
	GAS GATE
	SEWER MANHOLE
	DRAIN MANHOLE
	TELEPHONE MANHOLE
	ELECTRIC MANHOLE
	MANHOLE
	CATCH BASIN
	EVERGREEN TREE
	DECIDUOUS TREE
	LIGHT POLE
	COVER
	71.4 X SPOT ELEVATION
	-71- EXISTING CONTOUR
	-71- PROPOSED CONTOUR
	D DRAIN LINE
	RD ROOF DRAIN LINE
	W WATER LINE
	S SEWER LINE
	G GAS LINE
	X FENCE
	RETAINING WALL
	STONEWALL
	LEDGE
	TREE/SHRUB LINE
	T SIGN
	TBR TO BE REMOVED
	TBA TO BE ABANDONED
	FL FLOOR
	TWL TOP OF WALL
	DS DOWNSPOUT
	TH#1 DEEP TEST HOLE
	PT#1 PERCOLATION TEST



BENCHMARK #1
 "X" CUT IN BOLT
 ON TOP OF HYDRANT
 ELEVATION = 167.26
 TOWN OF WELLESLEY BASE

EXISTING SEWER TO BE REPLACED
 AT SAME SLOPE AND INVERT.
 6" PVC PIPE SCH 35

GENERAL NOTES

- ELEVATIONS REFER TO NGVD. BENCHMARK: X-CUT IN BOLT ON TOP OF HYDRANT NEAR INTERSECTION OF WINDSOR ROAD AND INVERNESS ROAD, ELEVATION = 167.26.
- THE LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES SHALL BE CONSIDERED APPROXIMATE AND MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ANY CROSSINGS OF PROPOSED AND EXISTING UTILITIES.
- MASSACHUSETTS STATE LAW REQUIRES UTILITY NOTIFICATION AT LEAST THREE BUSINESS DAYS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CALL DIG-SAFE AT 1-888-344-7233 IN ORDER TO COMPLY WITH STATE LAW.
- PROPOSED SEWER PIPE SHALL BE 6" PVC SDR 35.
- CONSTRUCTION FENCING AND SILT FENCING SHALL BE PLACED AROUND THE ENTIRE SITE, AS REQUIRED.
- THIS PLAN IS THE RESULT OF AN INSTRUMENT SURVEY DONE ON THE GROUND APRIL 24, 2015.
- ALL WORK SHALL BE SUBJECT TO THE INSPECTION BY AND APPROVAL OF THE TOWN ENGINEER.
- ALL TOPSOIL, SUBSOIL OR IMPERVIOUS SOIL MUST BE EXCAVATED AND REMOVED BELOW THE LEACHING GALLEYS AND TO A DISTANCE 5' Laterally IN ALL DIRECTIONS BEYOND THE SIDES OF THE GALLEYS. BACKFILL AS REQUIRED WITH A CLEAN GRANULAR SAND, FREE FROM ORGANIC MATTER AND DELETERIOUS SUBSTANCES. THE SAND SHALL HAVE A PERCOLATION RATE OF 2 MINUTES PER INCH OR FASTER.
- IN CASES WHERE LEDGE OR BOULDERS ARE ENCOUNTERED, EVERETT M. BROOKS CO. WILL NOT BE RESPONSIBLE FOR THE AMOUNT OF ROCK ENCOUNTERED.
- IF ANY PART OF THIS DESIGN IS TO BE ALTERED IN ANY WAY, THE DESIGN ENGINEER, AS WELL AS THE APPROVING AUTHORITIES, SHALL BE NOTIFIED IN WRITING BEFORE CONSTRUCTION.
- ALL OF THE ROOF RUNOFF FROM THE PROPOSED ROOF SURFACES SHALL BE COLLECTED BY GUTTERS AND DIRECTED TO PROPOSED DRAINAGE SYSTEM #1.
- THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE DESIGN ENGINEER FOR INSPECTIONS OR AS-BUILT LOCATIONS. EVERETT M. BROOKS CO. WILL NOT PROVIDE AS-BUILT CERTIFICATION TO UNINSPECTED BACKFILLED UTILITIES. A MINIMUM OF 48 HOURS NOTICE IS REQUIRED PRIOR TO INSPECTIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE DESIGN ENGINEER FOR INSPECTIONS OR AS-BUILTS.
- PROPOSED WALLS BY OTHERS.
- EXISTING WATER & SEWER CONNECTIONS TO BE CUT AND CAPPED AT THE MAIN.
- NO EXISTING SEWER INFORMATION AVAILABLE AT TOWN HALL.
- ASSESSOR'S MAP AND PARCEL NUMBER: 56-36
- ALL UTILITY CONSTRUCTION SHALL CONFORM TO THE TOWN OF WELLESLEY DPW ENGINEERING DIVISION SPECIFICATIONS. COPIES MAY BE OBTAINED AT THE ENGINEERING DIVISION OFFICE.
- ALL PROPOSED WALLS BY OTHERS.
- TRENCH EXCAVATIONS AND THE DRIVEWAY CURB CUT WILL REQUIRE A STREET OCCUPANCY PERMIT FROM THE DPW ENGINEERING DIVISION.
- ANY DECORATIVE STRUCTURE PLACED AT THE END OF THE DRIVEWAY SHALL BE ON PRIVATE PROPERTY.
- MAINTAIN A PASSABLE ROADWAY AND SIDEWALK AT ALL TIMES FOR PEDESTRIAN AND VEHICULAR TRAFFIC.
- THE CONTRACTOR WILL BE RESPONSIBLE TO REPAIR AND/OR REPLACE IN CONFORMANCE WITH THE TOWN OF WELLESLEY REQUIREMENTS ANY PAVING, SIDEWALK OR CURBING IN THE PUBLIC WAY DAMAGED BY CONSTRUCTION EQUIPMENT.
- THE CATCH BASINS IN WINDSOR ROAD AND INVERNESS ROAD SHALL BE PROTECTED FROM UNTREATED STORMWATER DISCHARGES DURING CONSTRUCTION WITH HAYBALES AND SILT SACKS.
- PLANTINGS SHALL NOT BE INSTALLED OVER ANY UTILITY STRUCTURES.
- ALL GROUNDWATER ENCOUNTERED DURING CONSTRUCTION SHALL BE KEPT ON SITE AND NOT DISCHARGED TO OFF SITE.
- PROPOSED DRAIN PIPES SHALL BE A MINIMUM OF 4" PVC PIPING. ANY DRAIN PIPES WITH LESS THAN FOUR (4) FEET OF COVER UNDER ROADWAYS AND DRIVEWAYS SHALL BE PVC SCHEDULE 80 OR DUCTILE IRON (H2O LOADING).

PROPOSED DRAINAGE SYSTEM # 1
 FOR PROPOSED ROOF RUNOFF
 (SIZED FOR THE 100-YEAR STORM)
 (X) STANDARD CONCRETE LEACHING GALLEYS
 4' X 4' X 3.25' EFFECTIVE DEPTH
 W/ 5' STONE SURROUND
 (SEE DETAIL)
 FINISHED GRADE=161.9+
 TOP OF GALLEYS=160.00
 4" INV=159.00
 BOTTOM OF GALLEYS=155.75
 BOTTOM OF STONE=155.25

SOIL LOG:
 DATE: SEPTEMBER 22, 2020
 TEST HOLE #1 (TH#1)
 ELEVATION = 160.3
 0'-18" A LOAMY SAND
 18"-36" B LOAMY SAND
 36"-108" C LOAMY SAND
 NO MOTTLES OBSERVED
 NO GROUNDWATER OBSERVED
 NO LEDGE OBSERVED

ZONING INFORMATION
 ZONE: SR-20 SINGLE RESIDENCE
 PARCEL ID: 56-36
STRUCTURES
 EXISTING = 2,398 S.F.
 PROPOSED = 4,530 S.F.
LOT COVERAGE
 EXISTING = 10.1%
 PROPOSED = 19.1%

TOTAL IMPERVIOUS AREAS

EXISTING	EXISTING	PROPOSED
HOUSE & STEPS	2,126 S.F.	4,647 S.F.
DETACHED GARAGE	354 S.F.	-
ASPHALT DRIVEWAY	785 S.F.	2,590 S.F.
WALKS/ WALLS/ PATIOS	812 S.F.	1,704 S.F.
GRAVEL DRIVEWAY	1,567 S.F.	-



SITE PLAN OF LAND IN WELLESLEY, MA

21 WINDSOR ROAD
 SCALE: 1 IN. = 10 FT.
 DATE: SEPTEMBER 28, 2020
 DRAWN: GAR/ES
 CHECK: BB & MSK
 REVISIONS:
 PROJECT NO. 26049 SHEET 1 OF 2