



ZONING BOARD OF APPEALS
TOWN HALL • 525 WASHINGTON STREET • WELLESLEY, MA 02482-5992

J. RANDOLPH BECKER, CHAIRMAN
RICHARD L. SEEGL
DAVID G. SHEFFIELD

LENORE R. MAHONEY
Executive Secretary
Telephone
(781) 431-1019 Ext. 2208

ROBERT W. LEVY, VICE CHAIRMAN
WALTER B. ADAMS
DEREK B. REDGATE

Date: 8/6/2020 ZBA: 2020-44

Petition for:	Residential Fee	Commercial & Municipal Fee
Variance	_____ \$200	_____
Special Permit	_____ \$200	_____ \$500
Special Permit/Findings	<input checked="" type="checkbox"/> \$200	_____
Special Permit Renewals	_____ \$150	_____
Signs	_____	_____ \$300
Site Plan Approval without PSI	_____	_____ \$2,000 & Fire Department Consulting Fee
Site Plan Approval with PSI	_____	_____ \$3,500
Appeals	_____ \$200	_____ \$300
Comprehensive Permit	_____	_____ \$2,000
Publication & Mailing Fees/All Petitions	\$25	\$25
Petitioner assumes all costs for Peer Review		

Property Location: 53 GARDEN ROAD Zoning District: SRD 20

Property located in a: Historic District Yes No
Wetlands Protection Area
Water Supply Protection District

Prior Zoning Decisions: Special Permit/Finding: Previous Application Approved Variance: NO HISTORY
Applicable Section(s) of the Zoning Bylaw: Section 17 + Section 25

Explanation of Request: PHASE 1 Remodel second floor of existing non-conforming garage structure. Structural re-enforcements + raising the roof line to match roof line of main house. NO additional living space added. PHASE 2: Construct a basement, 1st floor and 2nd floor addition to the back of main house which will comply with current building code.

Requested Relief:
 Lot Area Front Yard Depth (Street Setback)
 Lot Coverage Side Yard Width (Side Line Setback)
 Frontage Rear Yard Depth (Rear Line Setback)
 Front Yard Width Other _____

OWNER OF PROPERTY/PETITIONER: Lauren + Ryan HUARD

MAILING ADDRESS: 53 GARDEN ROAD

PHONE: WORK: 508-397-7969 HOME: 781-235-4707

SIGNATURE OF OWNER: Lauren B. Huard

AGENT FOR HOMEOWNER (PLEASE PRINT): AARON SOCRAT

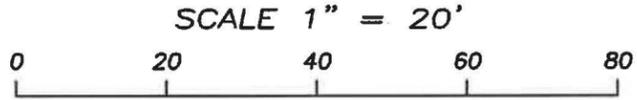
MAILING ADDRESS: 36 East Street - DOUGLAS, MA. 01516

PHONE: WORK: 508-864-2878 HOME: _____

EMAIL: LAUREN @ seaportshutter.com / RYAN HUARD @ hitmail.com

PLOT PLAN
53 GARDEN ROAD
WELLESLEY, MASSACHUSETTS

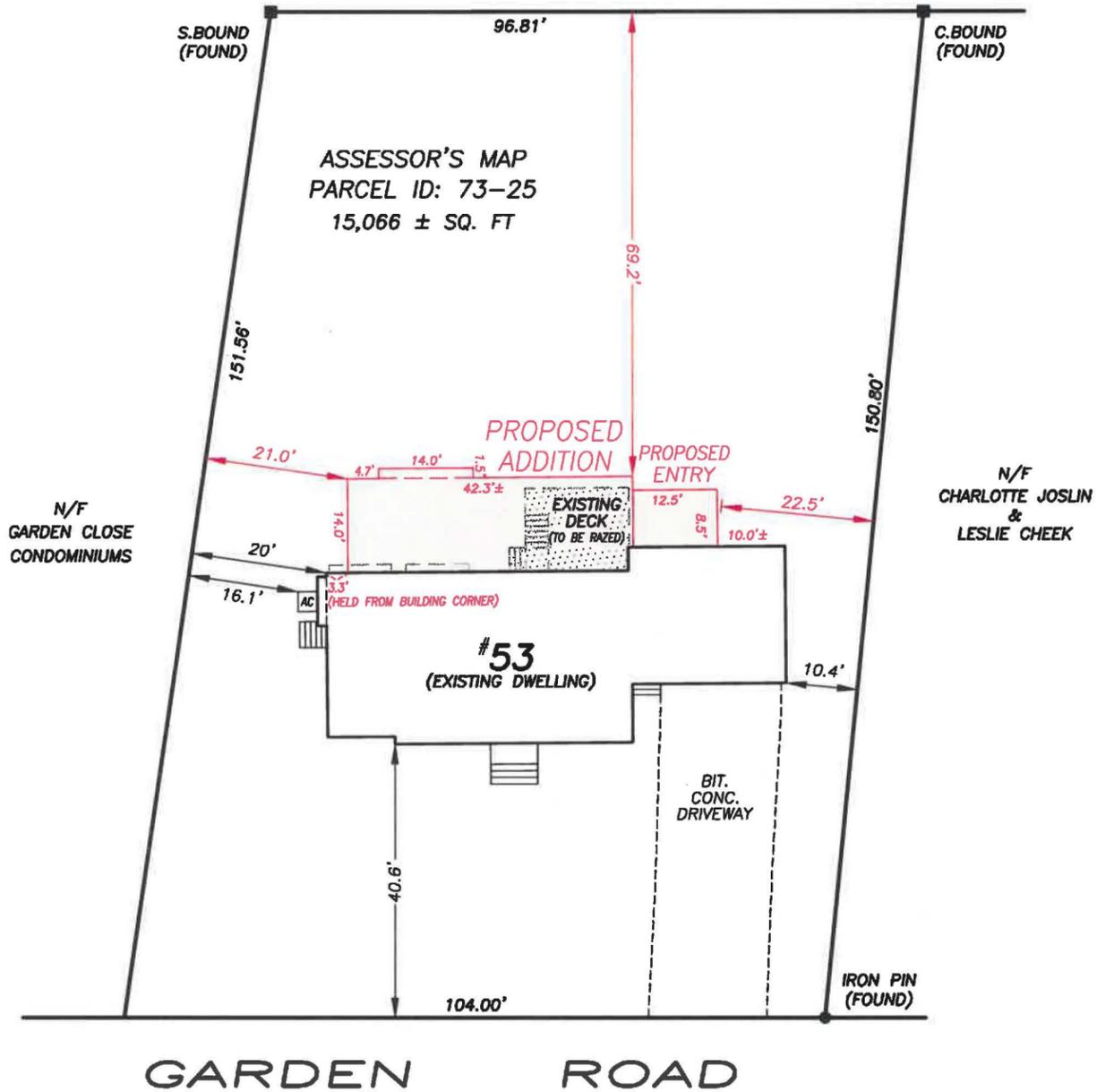
1 INCH = 20 FEET APRIL 28, 2020
SNELLING & HAMEL ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS & ENGINEERS
10 LEWIS STREET P.O. BOX 102
LINCOLN, MASSACHUSETTS 01773
(781) 259-0071



PLAN IN BOOK 2012 PAGE 30

OWNERS OF RECORD:
RYAN HUARD
&
LAUREN HUARD
BK.30903 PG.301

N/F
GARDEN CLOSE
CONDOMINIUMS



NOTES:

- ZONING DISTRICT: SINGLE RESIDENCE 20
- EXISTING LOT COVERAGE = 1,991± SF OR 13.2%
- PROPOSED LOT COVERAGE = 2,338± SF OR 15.5%

I HEREBY STATE THAT THE LOCATION OF THE FEATURES SHOWN HEREON IS THE RESULT OF A FIELD SURVEY PERFORMED AS OF SEPTEMBER 24, 2014, WITH THE USE OF A TOPCON TOTAL STATION. A FIELD REVIEW WAS CONDUCTED IN APRIL 2020.

John R. Hamel

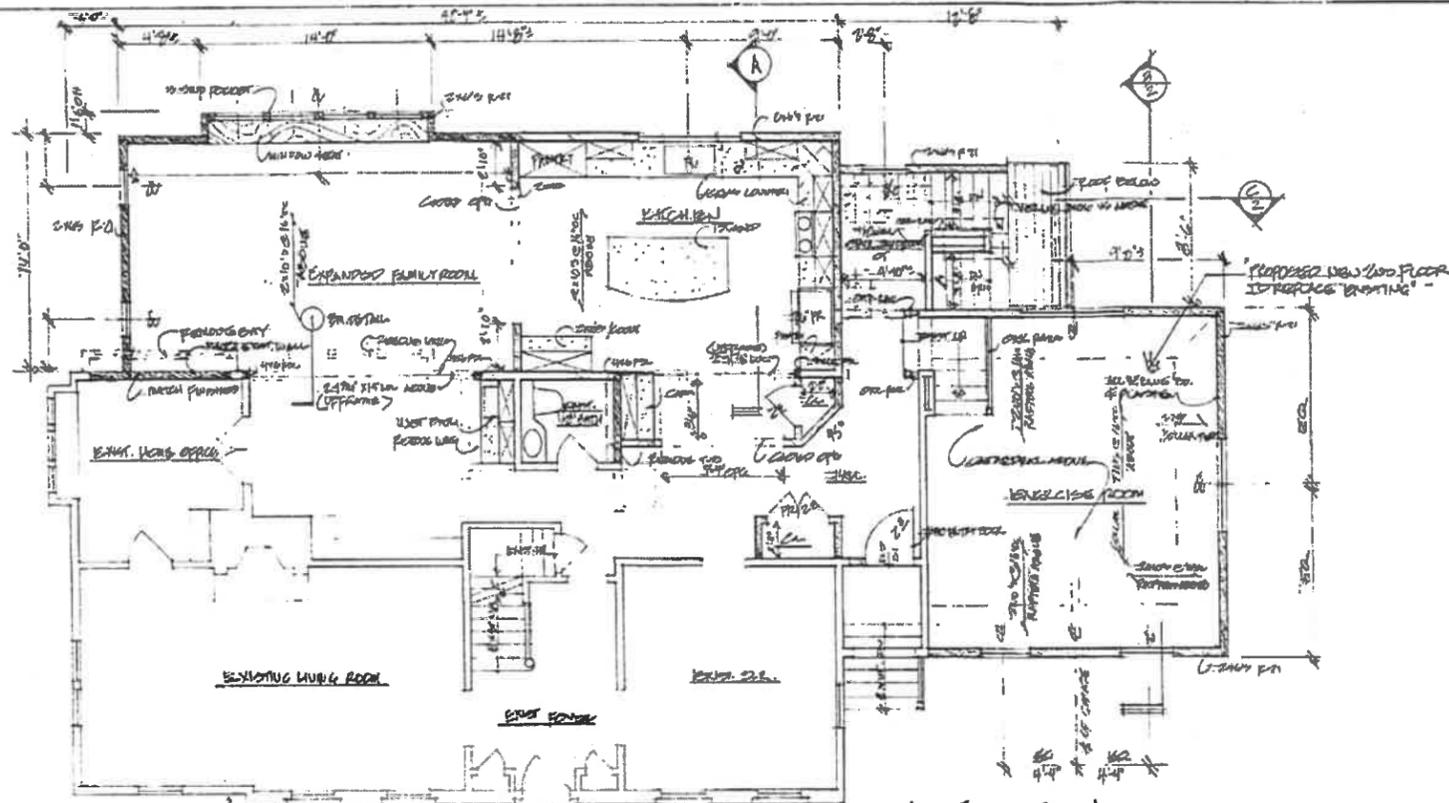
JOHN R. HAMEL
PROFESSIONAL
LAND SURVEYOR



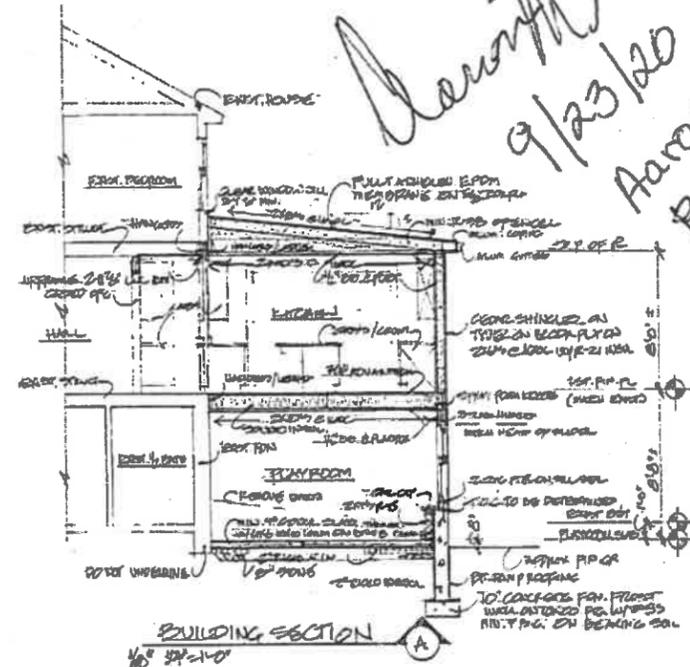
APRIL 28, 2020

DATE:

15685.DWG
APRIL 28, 2020



1st FLOOR PLAN
1/8" = 1'-0"



BUILDING SECTION A
1/8" = 1'-0"



FRONT ELEVATION
1/8" = 1'-0"



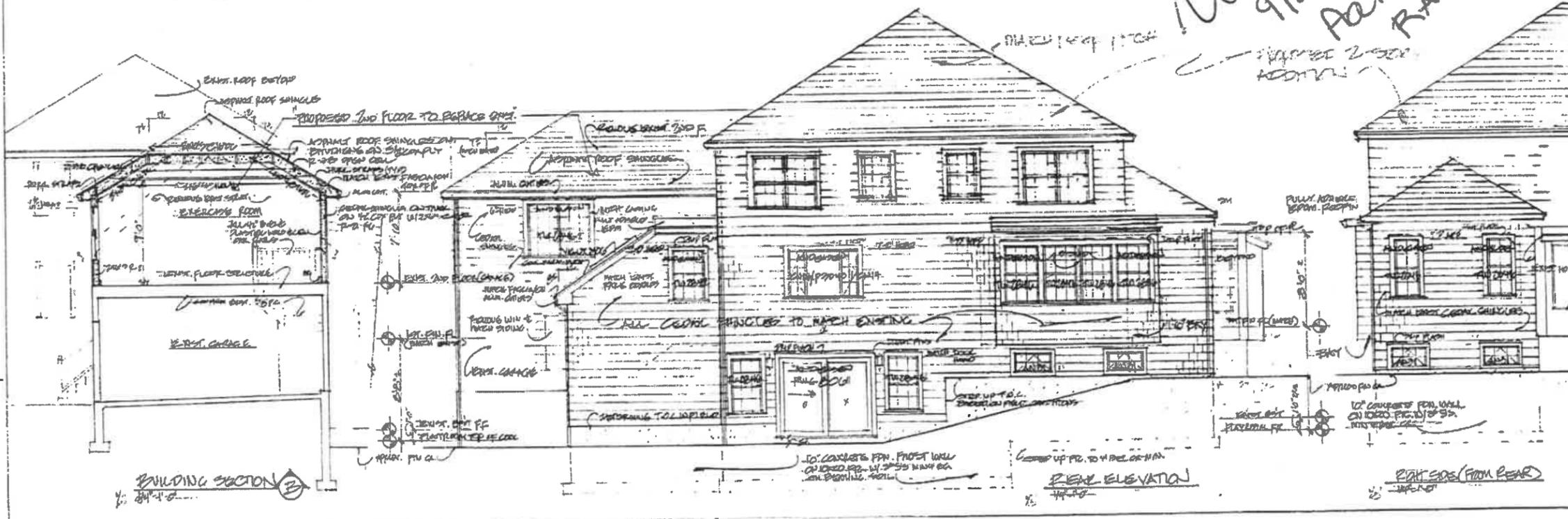
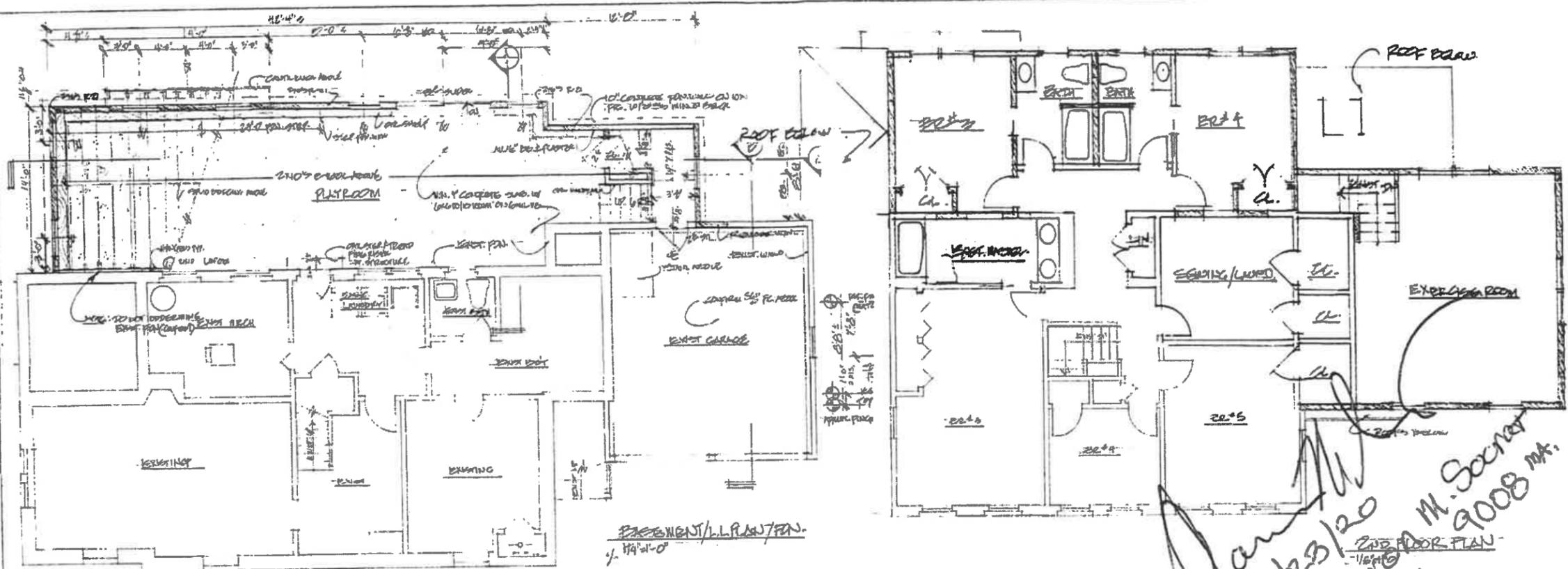
RIGHT SIDE ELEVATION
1/8" = 1'-0"

David [Signature]
9/23/20
Aaron M. Scalet
RA 9008 MA

GENERAL CONDITIONS
All building material, construction methods and building details shall conform with applicable provisions of the Building Code of the Commonwealth of Massachusetts, Plumbing and Electrical codes as well as the zoning Ordinance of the Massachusetts.
The Contractor is responsible for verifying all dimensions and coordinating with the other trades to ensure a complete and accurate set of conditions in these drawings. Any variations which require modification shall be brought to the Architect's attention. The Contractor shall verify the accuracy of all data and conditions used in the preparation of these drawings and shall be responsible for any errors or omissions.
The Contractor shall be solely responsible for obtaining, submitting, testing, maintaining and passing approved test results to the Authority having jurisdiction. The Contractor shall be responsible for the construction quality, methods, techniques, or procedures used in the construction of the building or structure and shall be responsible for the safety of the Contractor or Owner to carry out and maintain the work in accordance with the drawings.

Proposed Additions & Alterations:
The Hurd Residence
53 Garden Road, Wellesley, Massachusetts

DATE: 24 APRIL 2020
1



Proposed Additions & Alterations:
 The Honor Residence
 53 Garden Road, Wellesley, Massachusetts









