

TOWN OF WELLESLEY



MASSACHUSETTS

ZONING BOARD OF APPEALS

TOWN HALL • 525 WASHINGTON STREET • WELLESLEY, MA 02482-5992

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RICHARD L. SEEGEL
DAVID G. SHEFFIELD

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Executive Secretary
Telephone
(781) 431-1019 Ext. 2208

ROBERT W. LEVY, VICE CHAIRMAN
WALTER B. ADAMS
DEREK B. REDGATE

Date: _____

ZBA: 2020-52

| Petition for: | Residential Fee | Commercial & Municipal Fee |
|--|---|--|
| Variance | _____ \$200 | _____ |
| Special Permit | <input checked="" type="checkbox"/> \$200 | _____ \$500 |
| Special Permit/Findings | _____ \$200 | _____ |
| Special Permit Renewals | _____ \$150 | _____ |
| Signs | _____ | _____ \$300 |
| Site Plan Approval without PSI | _____ | _____ \$2,000 & Fire Department Consulting Fee |
| Site Plan Approval with PSI | _____ | _____ \$3,500 |
| Appeals | _____ \$200 | _____ \$300 |
| Comprehensive Permit | _____ | _____ \$2,000 |
| Publication & Mailing Fees/All Petitions | \$25 | \$25 |
| Petitioner assumes all costs for Peer Review | | |

Property Location: 30 Laurel Ave.

Zoning District: SZ-10

Property located in a:

| | | | | |
|----------------------------------|--------------------------|-----|-------------------------------------|----|
| Historic District | <input type="checkbox"/> | Yes | <input checked="" type="checkbox"/> | No |
| Wetlands Protection Area | <input type="checkbox"/> | | <input checked="" type="checkbox"/> | |
| Water Supply Protection District | <input type="checkbox"/> | | <input checked="" type="checkbox"/> | |

Prior Zoning Decisions: Special Permit/Findings Variance: _____

Applicable Section(s) of the Zoning Bylaw: _____

Explanation of Request: We propose an addition to an existing nonconforming building on a nonconforming lot.

Requested Relief:

| | | | |
|-------------------------------------|------------------|-------------------------------------|-------------------------------------|
| <input type="checkbox"/> | Lot Area | <input type="checkbox"/> | Front Yard Depth (Street Setback) |
| <input checked="" type="checkbox"/> | Lot Coverage | <input checked="" type="checkbox"/> | Side Yard Width (Side Line Setback) |
| <input type="checkbox"/> | Frontage | <input type="checkbox"/> | Rear Yard Depth (Rear Line Setback) |
| <input type="checkbox"/> | Front Yard Width | <input type="checkbox"/> | Other _____ |

OWNER OF PROPERTY/PETITIONER: Jonathan Lowe and Rachel Hulstein-Lowe

MAILING ADDRESS: 30 Laurel Ave, Wellesley, MA 02481

PHONE: WORK: 617 230 2784 HOME: 781 366 7123

SIGNATURE OF OWNER: Jonathan W. Lowe Rachel Hulstein-Lowe

AGENT FOR HOMEOWNER (PLEASE PRINT): _____

MAILING ADDRESS: _____

PHONE: WORK: _____ HOME: _____

EMAIL: _____



On Jul 23, 2020, at 12:36 PM, Mahoney, Lenore <lmahoney@wellesleyma.gov> wrote:

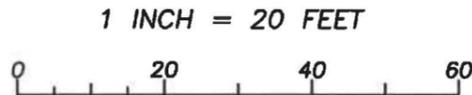
Hi Rachel – I just reviewed your application and plans. There were no photographs submitted. On the application form, you checked off lot area for requested relief. Your lot area at 17,529 square feet in a district in which the minimum lot size is 10,000 square feet is conforming for size. Your frontage is not conforming at 56.9 feet where 60 feet is required. I can fix the application, with your permission. The portion of the proposed retaining wall that is within 10 feet of the property line will be subject to Section 22D of the Zoning Bylaw – if it is four feet or more, it will require a special permit. The Board can't grant relief for any portion of the wall that is not on your property.

Lenore

From: Rachel Hulstein-Lowe [<mailto:rachelhlowe@icloud.com>]

Sent: Wednesday, July 22, 2020 2:16 PM

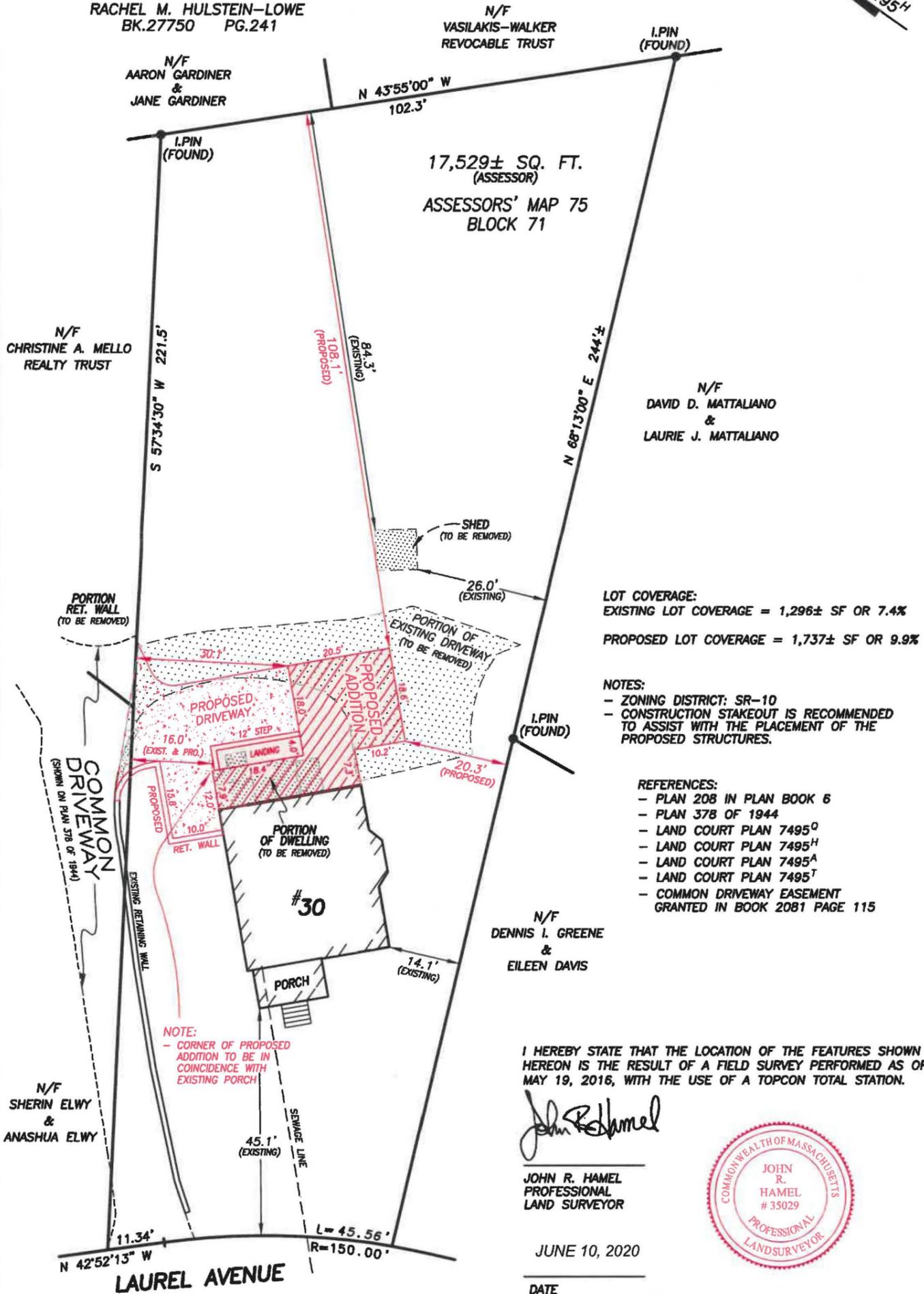
SITE PLAN
 30 LAUREL AVENUE
 WELLESLEY, MASSACHUSETTS
 1 INCH = 20 FEET JUNE 10, 2020
 SNELLING & HAMEL ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS & ENGINEERS
 10 LEWIS STREET P.O. BOX 102
 LINCOLN, MASSACHUSETTS 01773



15995.DWG
 JUNE 10, 2020

OWNERS OF RECORD:
 JONATHAN W. LOWE
 &
 RACHEL M. HULSTEIN-LOWE
 BK.27750 PG.241

LAND COURT PLAN 7495^H



I HEREBY STATE THAT THE LOCATION OF THE FEATURES SHOWN HEREON IS THE RESULT OF A FIELD SURVEY PERFORMED AS OF MAY 19, 2016, WITH THE USE OF A TOPCON TOTAL STATION.

John R. Hamel

JOHN R. HAMEL
 PROFESSIONAL
 LAND SURVEYOR



JUNE 10, 2020

DATE

HULSTEIN - LOWE RESIDENCE

30 LAUREL AVENUE
WELLESLEY, MA 02481

DAVID WHITNEY

ARCHITECT

49 LINDEN STREET
ARLINGTON, MA 02476
781 643 0759

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E1.1 First Floor Electric Plan
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REVISED SET
5.13.20

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ARCHITECT

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HULSTEIN - LOWE RESIDENCE
30 LAUREL AVENUE
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GENERAL NOTES

1. VERIFY CONDITIONS: CONTRACTOR TO CONFIRM EXISTING CONDITIONS AND NOTIFY ARCHITECT IF ANY CONDITIONS DO NOT AGREE WITH DRAWINGS. DO NOT SCALE OFF DRAWINGS. CONTACT ARCHITECT FOR CLARIFICATION IF REQUIRED.
2. UTILITIES: CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL UTILITIES AT GRADE, ABOVE GRADE, AND UNDERGROUND, INCLUDING UTILITY PIPES AND STRUCTURES. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UTILITIES WITH UTILITY COMPANIES PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR THE COST INCURRED BY AND REPLACEMENT OF ANY DAMAGE TO UTILITIES ON THE SITE. THE CONTRACTOR SHALL CONTACT MASSACHUSETTS "DIG SAFE" AT 1-800-322-4844 TO FIELD LOCATE ALL UTILITIES PRIOR TO STARTING WORK.
3. PROTECT BUILDING: PROTECT EXISTING FINISHES TO REMAIN DURING WORK. PATCH & REPAIR & REFINISH AS REQUIRED.
4. SALVAGE & DISPOSAL: CONFIRM ALL ITEMS TO BE REMOVED PRIOR TO DISPOSAL. STOCKPILE AND STORE ALL ITEMS TO BE SALVAGED IN LOCATIONS APPROVED BY THE OWNER AND ARCHITECT. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF ANY STOCKPILED MATERIALS THAT ARE DAMAGED DURING CONSTRUCTION.
5. PROTECT SITE: PROTECT ALL EXISTING TREES & SHRUBS ON THE SITE DURING CONSTRUCTION. DO NOT DRIVE OR STOCKPILE MATERIALS WITHIN THE DRIP LINE OF EXISTING TREES.
6. REPAIR SITE: GRADE AND SEED SITE UPON COMPLETION. RESTORE ALL DISTURBED AREAS.
7. CODES: ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS REGARDING BUT NOT LIMITED TO BUILDING, USE OF MATERIALS, DISPOSAL OF MATERIALS, AND SAFETY APPLY TO ALL ASPECTS OF THIS PROJECT. CONTRACTOR TO CARRY PERMITS IN BASE BID.
8. PERMIT: CARRY PERMIT IN BASE BID.
9. HVAC: DESIGN/BUILD. PROVIDE HIGH EFFICIENCY GAS FIRED HYRDO AIR HEAT & AC. PROVIDE 4 ZONES, ONE PER FLOOR. PROVIDE 7 DAY PROGRAMMABLE THERMOSTATS. LAYOUT DRAWING SUBMITTAL REQUIRED FOR REVIEW BY ARCHITECT PRIOR TO INSTALLATION. PROVIDE POURED CONCRETE PAD FOR AC EQUIPMENT ON SITE. LOCATE WITH ARCHITECT AND OWNER IN FIELD. CONCEAL AC LINES WITHIN WALLS; DON'T LEAVE EXPOSED ON EXTERIOR OF HOUSE.

STRUCTURAL NOTES

GENERAL

ALL STRUCTURAL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE MASSACHUSETTS BUILDING CODE.

FOUNDATION

1. PROVIDE MINIMUM 4'-0" FROST COVER FOR FOOTINGS.
2. ALLOWABLE SOIL BEARING ASSUMED TO BE 2,000 PSF. THIS IS TO BE CONFIRMED BY A GEOTECHNICAL ENGINEER PRIOR TO POURING FOOTINGS.

CONCRETE

1. CONCRETE 28 DAYS COMPRESSIVE STRENGTH TO BE 3,000 PSI MINIMUM.
2. CONCRETE STEEL REINFORCING TO BE ASTM A615 GRADE 60. WELDED WIRE MESH TO BE ASTM A185 WITH ULTIMATE TENSILE STRENGTH OF 70,000 PSI.
3. OVERLAP STEEL BARS BY 2'-0" MINIMUM WHEN SPLICING. RETURN BARS BY 1'-0" MINIMUM AROUND CORNERS.
4. PROVIDE 3" COVER FOR REINFORCING FROM THE BOTTOM OF FOOTINGS AND 1 1/2" COVER FOR REINFORCING FROM THE FACE OF WALLS.

WOOD CONSTRUCTION

1. TIMBER TO BE SPF NO. 2 OR BETTER.
2. PROVIDE SIMPSON JOIST HANGERS WHERE JOISTS ARE SUPPORTED BY BEAMS.
3. UNLESS OTHERWISE NOTED, PROVIDE SIMPSON CONNECTORS AT COLUMN/BEAM AND BEAM/BEAM CONNECTIONS. DETAILS TO BE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
4. MAXIMUM MOISTURE CONTENT TO BE 19%.

LEGEND

| | |
|---|-----------------------------------|
|  | EXISTING WALL TO REMAIN |
|  | EXISTING WALL TO BE REMOVED |
|  | NEW WALL |
|  | EXISTING DOOR TO REMAIN |
|  | EXISTING DOOR TO BE REMOVED |
|  | NEW DOOR |
|  | DOOR MARK - SEE DOOR SCHEDULE |
|  | WINDOW MARK - SEE WINDOW SCHEDULE |
|  | WALL ASSEMBLY - SEE DETAILS |

TITLE:

Notes & Legends

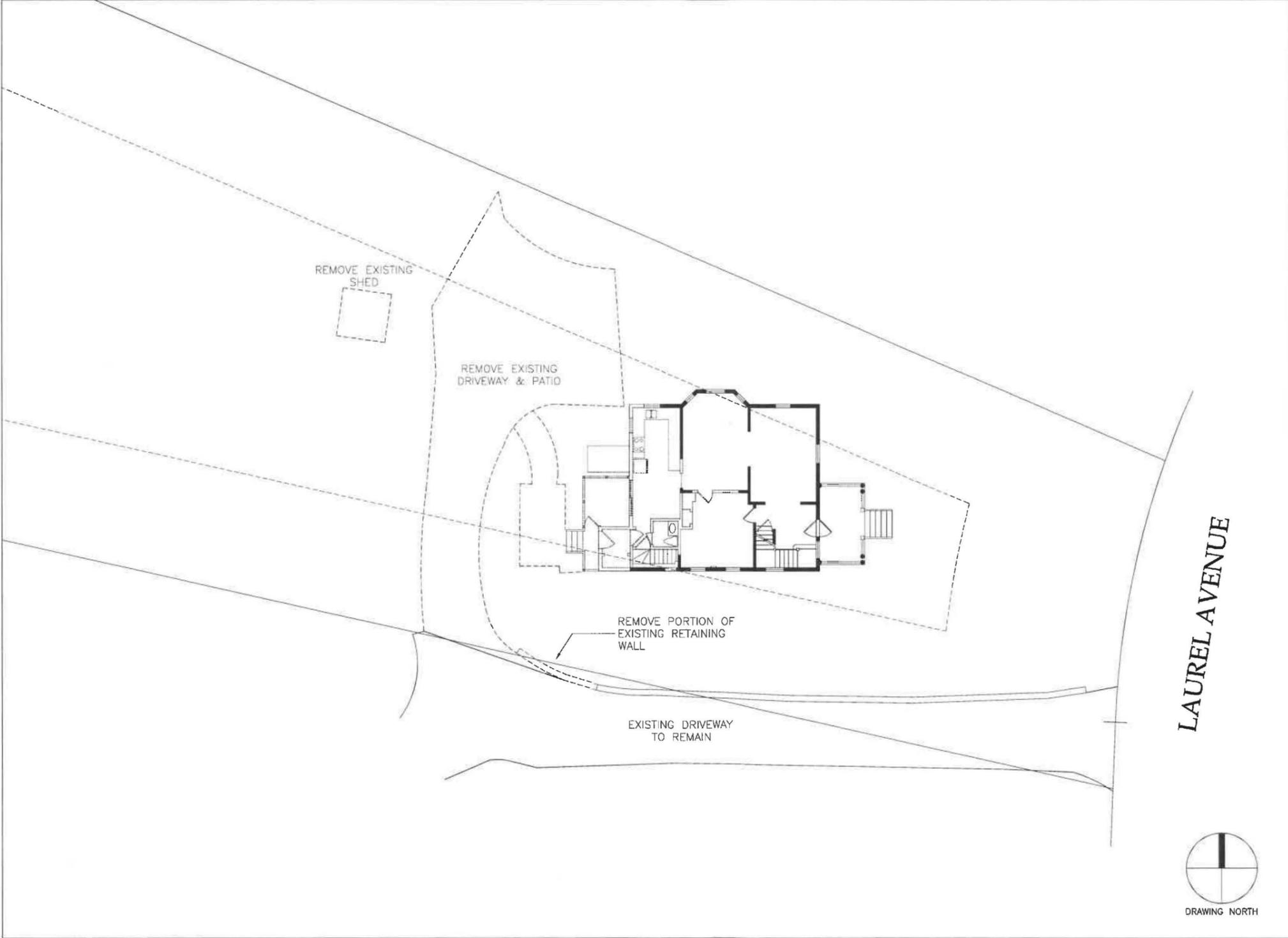
SCALE: AS NOTED DATE: 5.13.20

DRAWN BY: DWW FILE: PLANS

SHEET

X0.1

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ARCHITECT

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ARLINGTON, MA 02476
781 643 0759

HULSTEIN - LOWE RESIDENCE
30 LAUREL AVENUE
WELLESLEY, MA 02481

TITLE:
Site Demolition Plan

SCALE: DATE:
1/16" = 1'-0" 5.13.20

DRAWN BY: FILE:
DWW PLANS

SHEET

D0.1

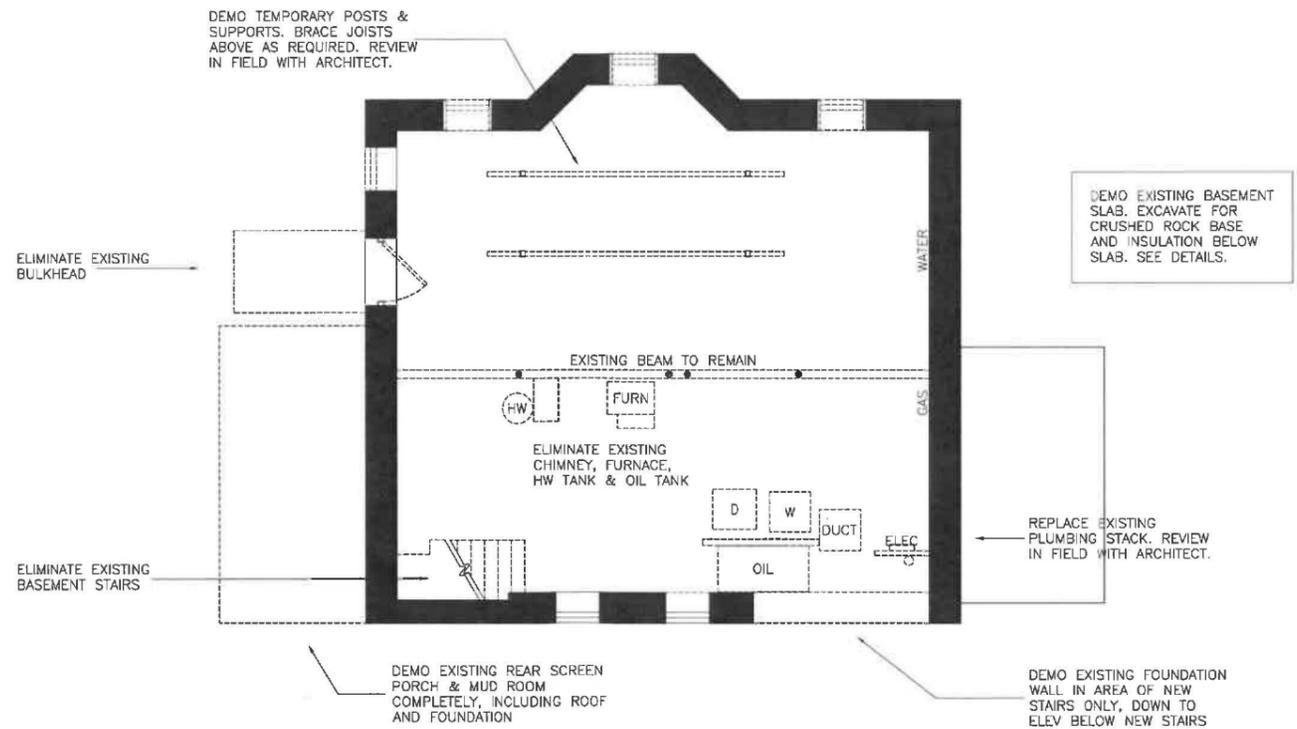
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TITLE:

**Basement
Demolition Plan**

SCALE: 1/8" = 1'-0"
DATE: 5.13.20

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FILE: PLANS

SHEET

D1.0

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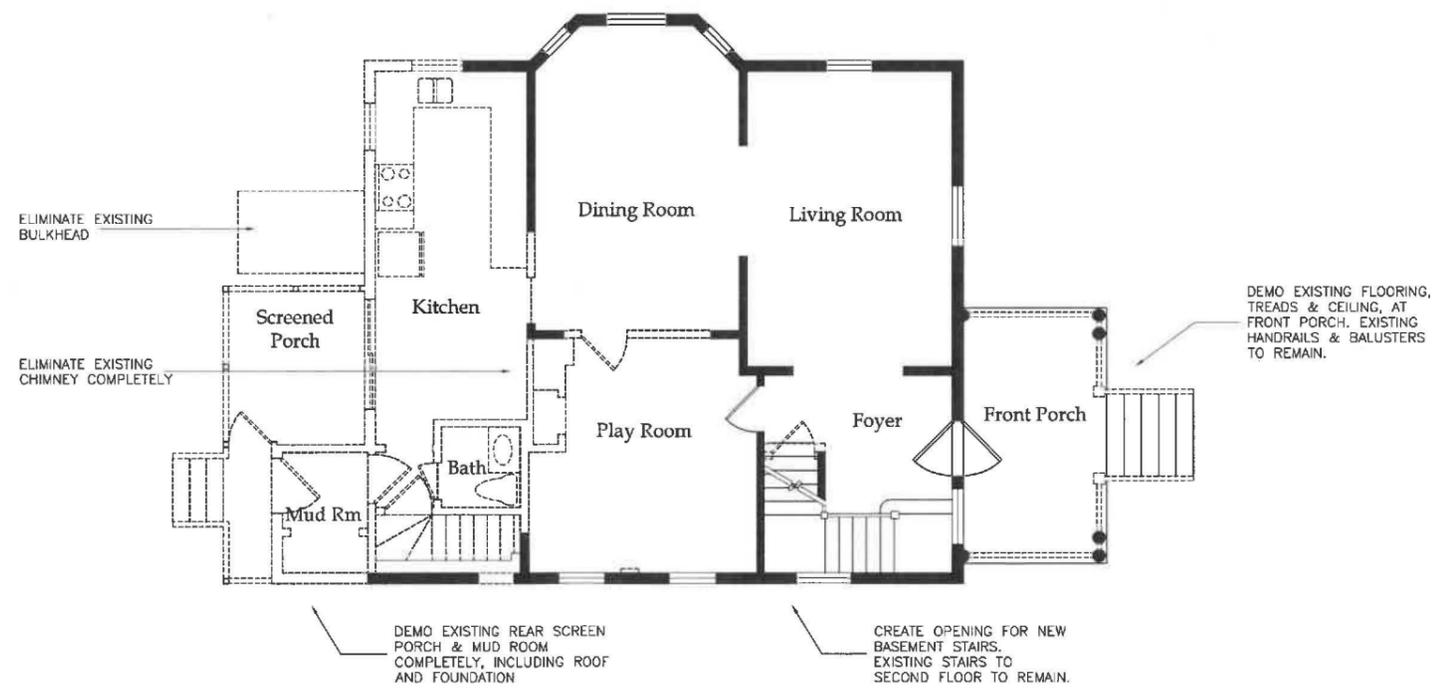
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STRIP EXTERIOR SIDING & ROOF COMPLETELY, DOWN TO EXISTING SHEATHING. STRIP EAVES, SOFFITS & CASINGS TOO.

STOCKPILE DEMO'D DOORS, HARDWARE & LIGHT FIXTURES FOR POSSIBLE REUSE.



TITLE:
**First Floor
Demolition Plan**

SCALE: DATE:
1/8" = 1'-0" 5.13.20

DRAWN BY: FILE:
DWW PLANS



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D1.1

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TITLE:

**Second Floor
Demolition Plan**

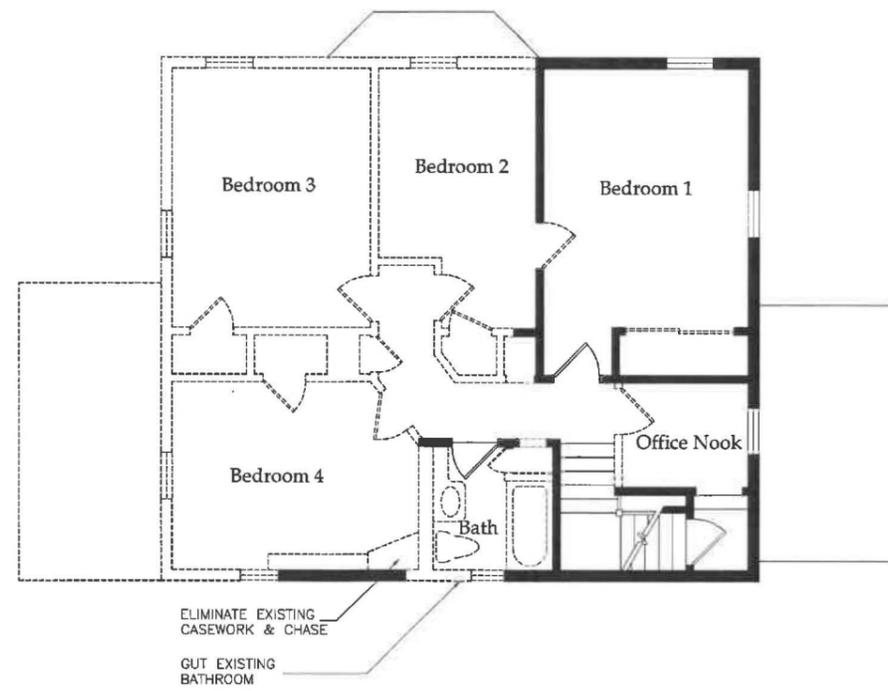
SCALE: DATE:
1/8" = 1'-0" 5.13.20

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DWW PLANS

SHEET

D1.2

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STRIP EXTERIOR SIDING & ROOF COMPLETELY, DOWN TO EXISTING SHEATHING. STRIP EAVES, SOFFITS & CASINGS TOO.

STOCKPILE DEMO'D DOORS, HARDWARE & LIGHT FIXTURES FOR POSSIBLE REUSE.

STRIP EXISTING WALLPAPER & REPAIR PLASTER BELOW AS REQUIRED. SEE FINISH SCHEDULE.



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TITLE:

**Third Floor
Demolition Plan**

SCALE: DATE:
1/8" = 1'-0" 5.13.20

DRAWN BY: FILE:
DWW PLANS

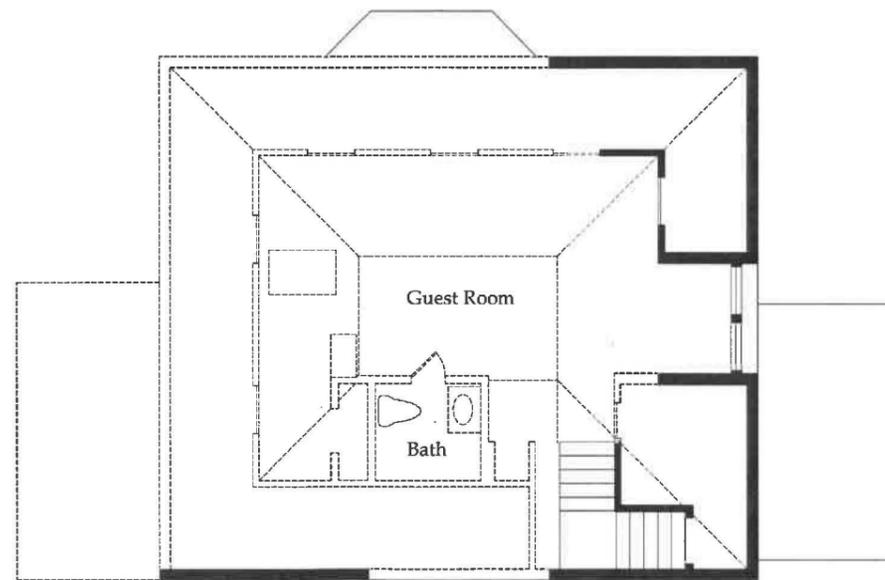
SHEET

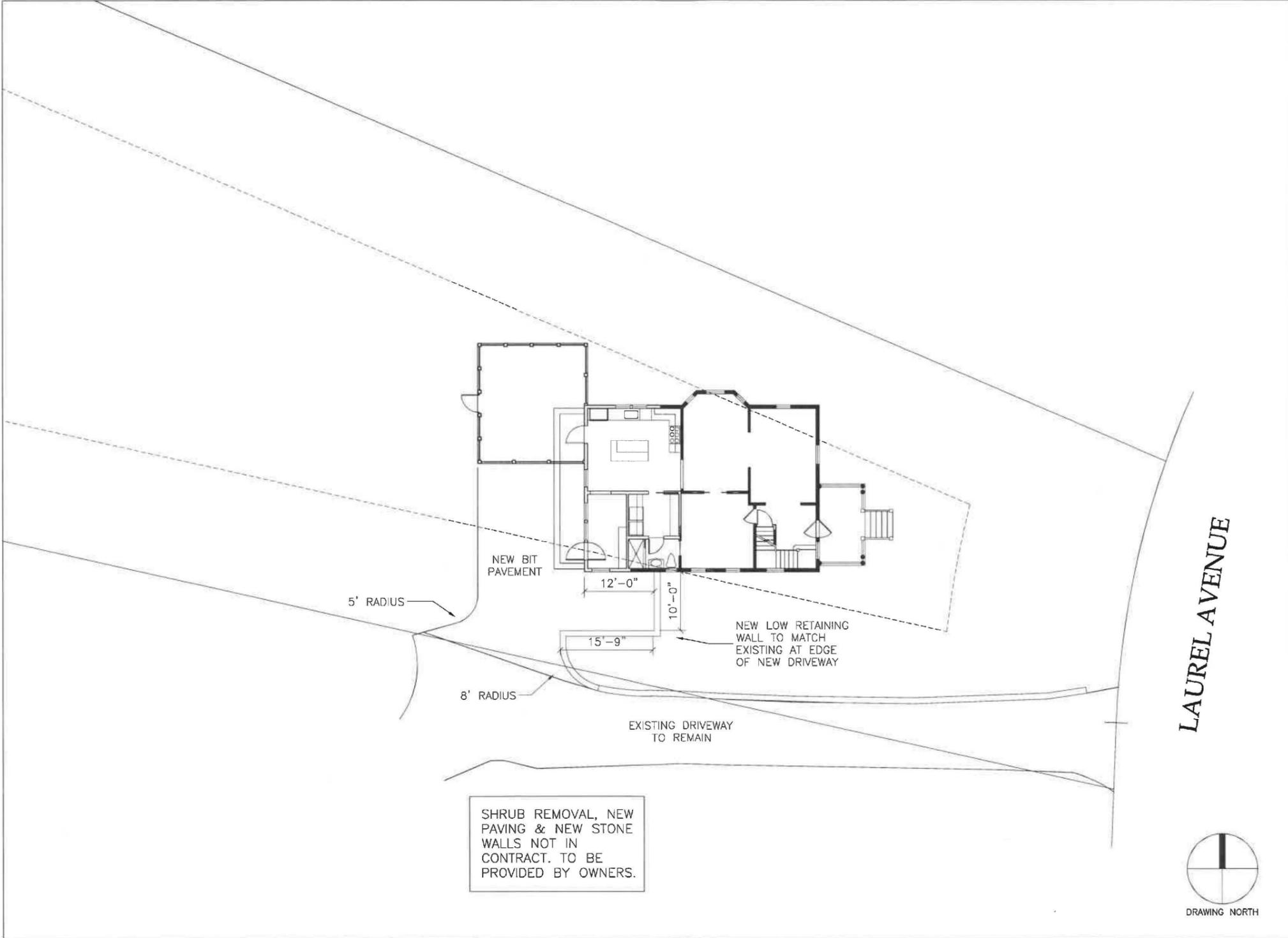
D1.3

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STRIP EXTERIOR SIDING &
ROOF COMPLETELY, DOWN
TO EXISTING SHEATHING.
STRIP EAVES, SOFFITS &
CASINGS TOO.

STOCKPILE DEMO'D
DOORS, HARDWARE &
LIGHT FIXTURES FOR
POSSIBLE REUSE.





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TITLE:

Site Plan

SCALE: 1" = 20'
DATE: 5.13.20

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FILE: PLANS

SHEET

A0.1

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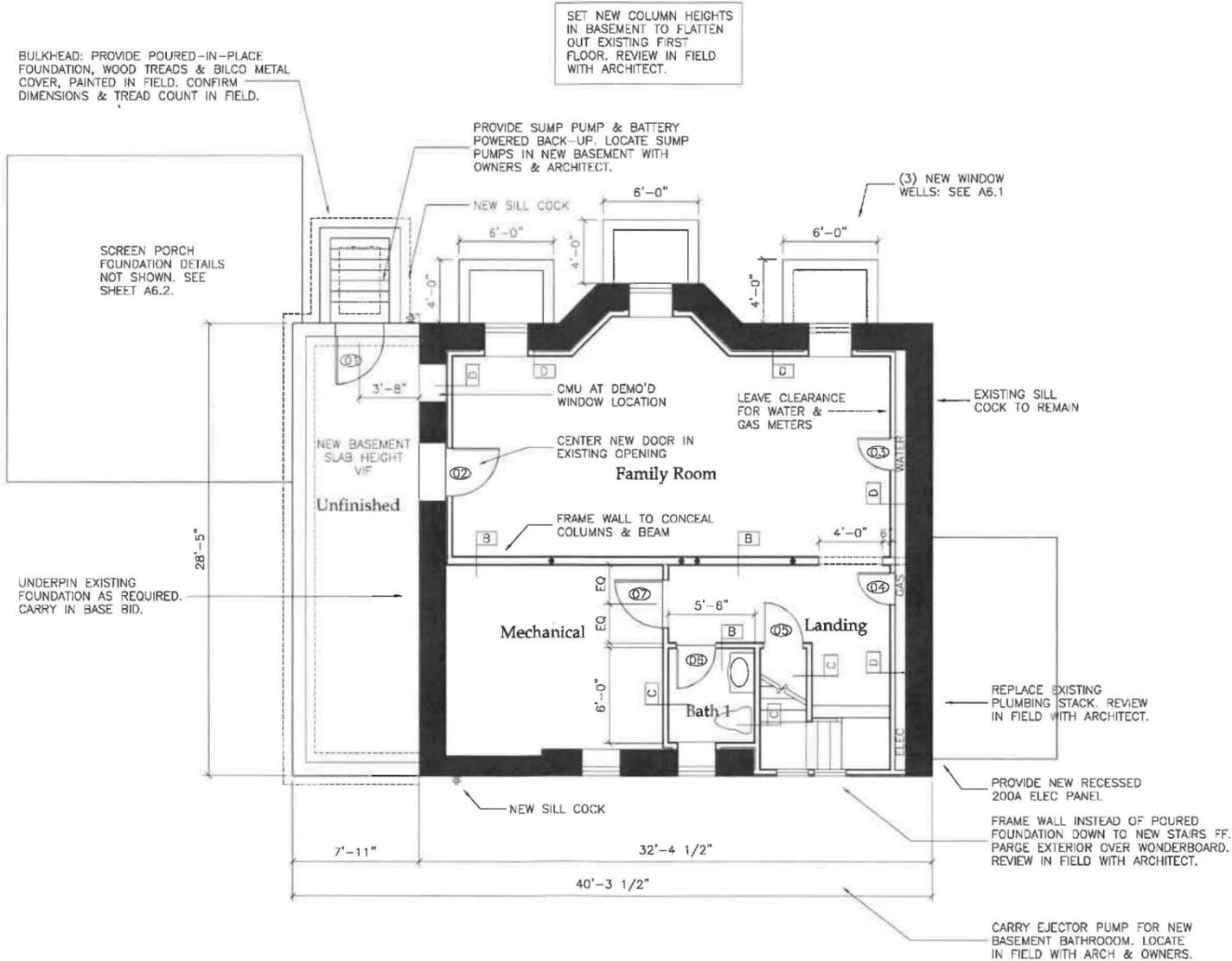
ALL DIMENSIONS TO FRAMING
UNLESS OTHERWISE NOTED

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SEE FOUNDATION
DETAILS ON
SHEET A6.1



TITLE:

Basement Plan

SCALE: 1/8" = 1'-0"
DATE: 5.13.20

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FILE: PLANS

SHEET

A1.0

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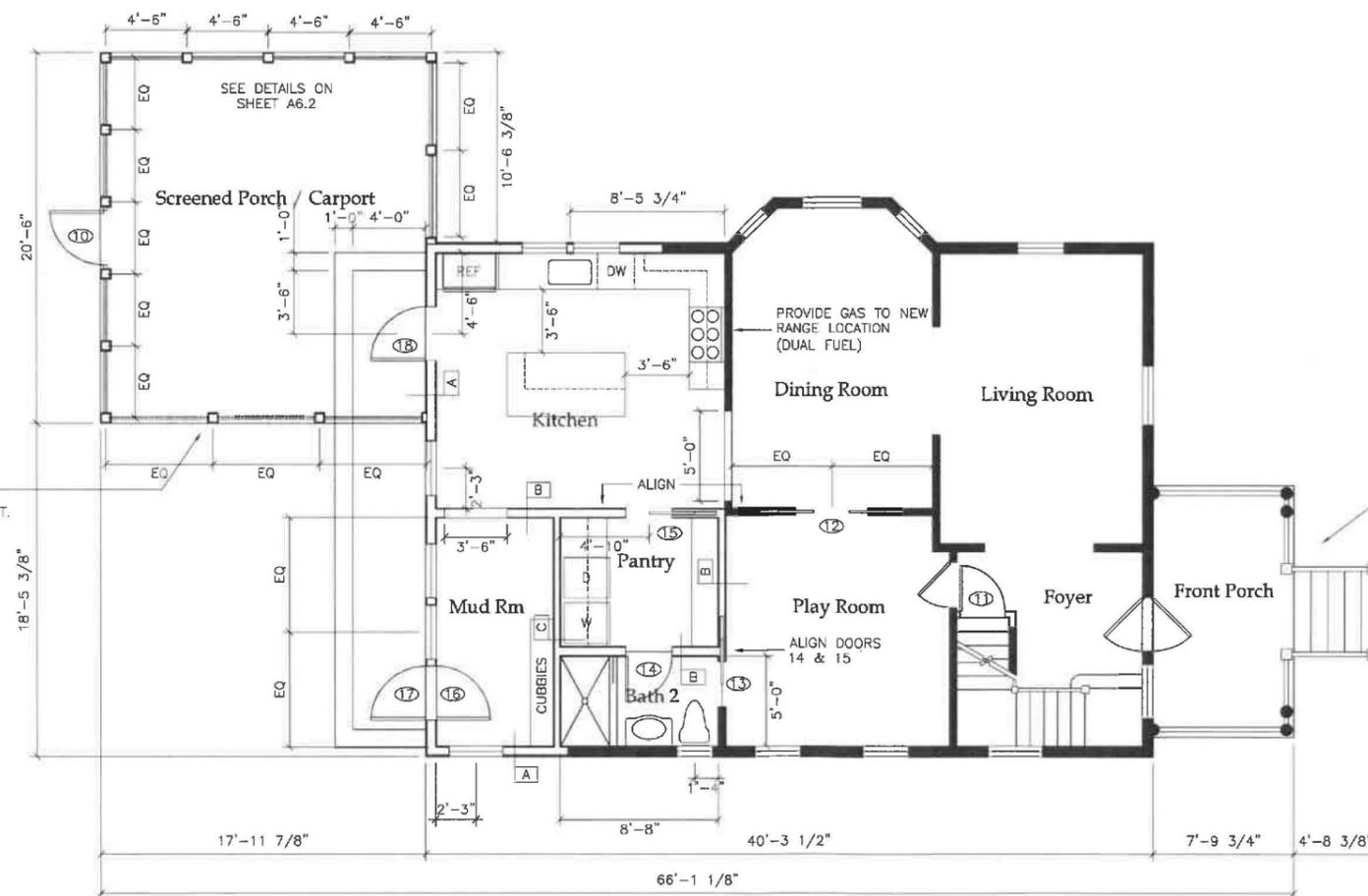
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THIS POST ONLY TO BE
REMOVABLE. NO FOOTING OR
SIMPSON POST BASE BELOW.
REVIEW IN FIELD WITH ARCHITECT.



FRONT PORCH: PROVIDE
NEW FLOORING &
TREADS. SEE DETAILS.
PROVIDE NEW PAINTED
FIR BEADBOARD CEILING.
EXISTING HANDRAILS &
BALUSTERS TO REMAIN.

TITLE:

First Floor Plan

SCALE: DATE:
1/8" = 1'-0" 5.13.20

DRAWN BY: FILE:
DWW PLANS

SHEET

A1.1



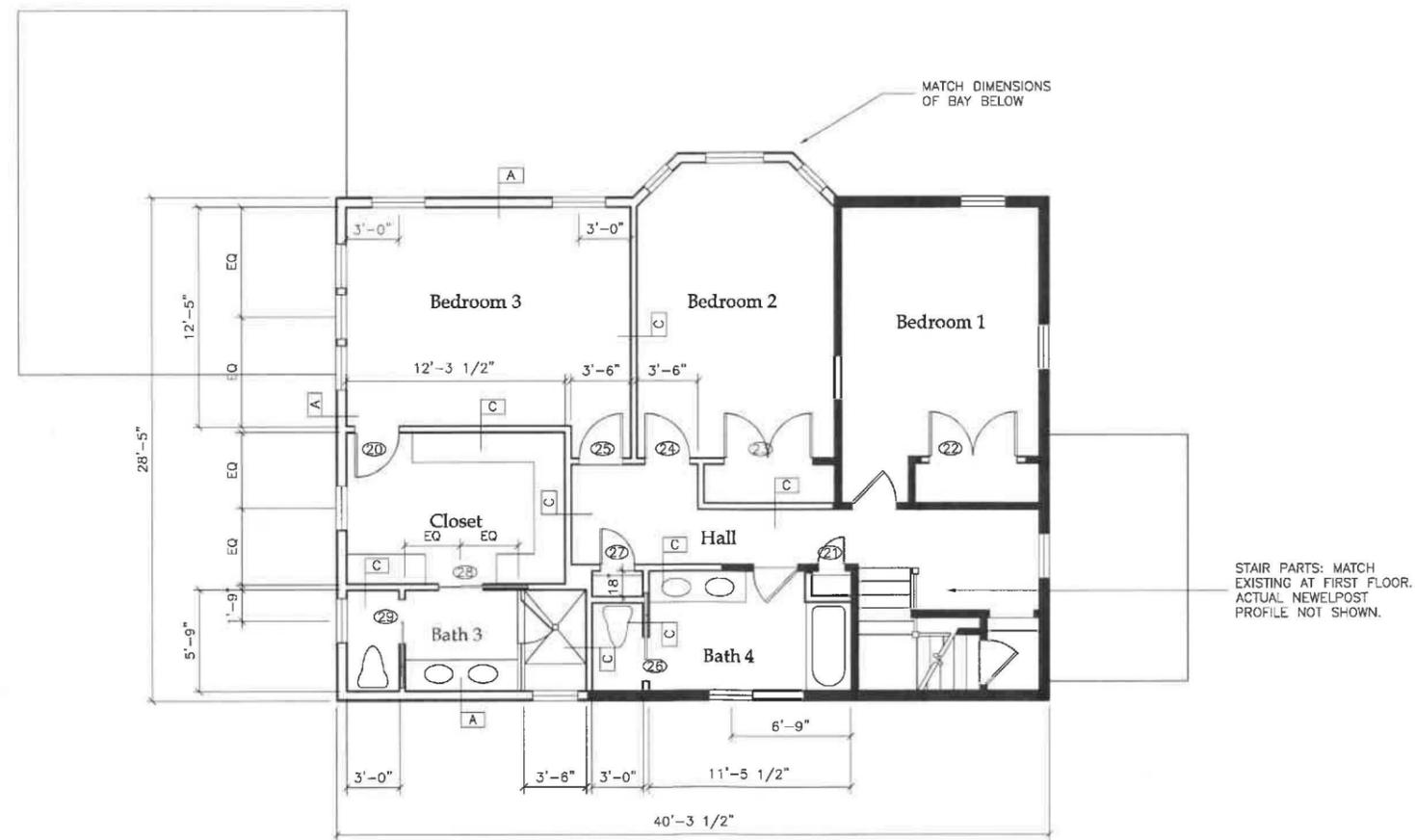
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TITLE:

Second Floor Plan

SCALE: DATE:
1/8" = 1'-0" 5.13.20

DRAWN BY: FILE:
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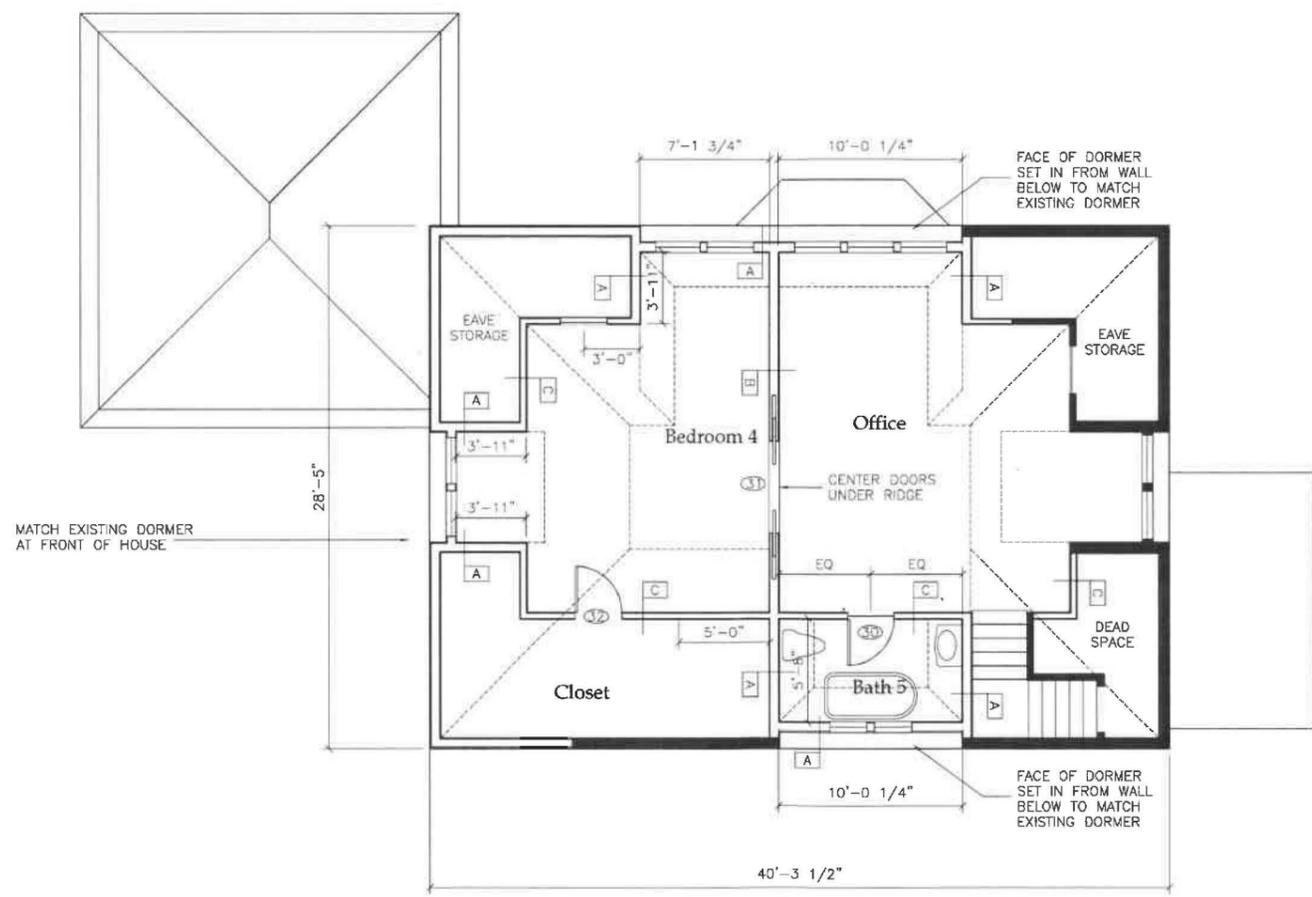
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A1.2

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TITLE:

Third Floor Plan

SCALE: 1/8" = 1'-0"
DATE: 5.13.20

DRAWN BY: DWW
FILE: PLANS

SHEET

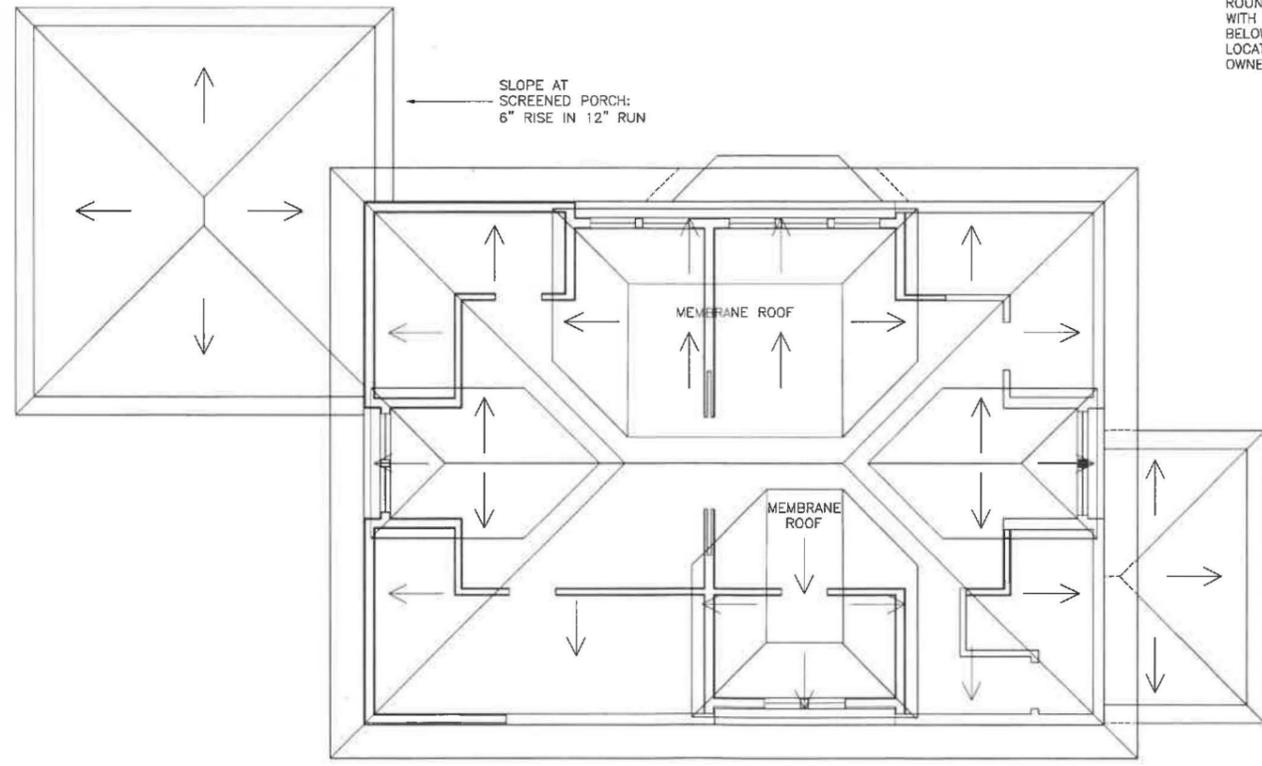
A1.3

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Roof Notes

1. ROOF: ARCH GRADE ASPHALT SHINGLES BY GAF, CERTAINTEED, OR APPROVED EQUAL. COLOR TO BE SPECIFIED.
2. UNDERLAYMENT: PROVIDE GRACE ICE & WATER SHIELD UNDER ASPHALT SHINGLES OVER ENTIRE ROOFS, NOT JUST EAVES & VALLEYS.
3. VENTS: NO RIDGE VENTS, NO EAVE VENTS. COLLECT PLUMBING VENTS IN ATTIC TO MINIMIZE ROOF PENETRATIONS. LOCATE IN FIELD WITH ARCHITECT.
4. K STYLE ALUMINUM GUTTERS AND ROUND DOWNSPOUTS. REVIEW IN FIELD WITH ARCHITECT. RUN DOWNSPOUTS BELOW GRADE TO A NEW DRYWELL LOCATED IN FIELD WITH ARCHITECT & OWNERS.



SLOPE ON ADDITION'S ROOF AND NEW DORMERS TO MATCH SLOPE OF EXISTING ROOF AND EXISTING DORMERS.

DAVID WHITNEY
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TITLE:

Roof Plan

SCALE: 1/8" = 1'-0"
DATE: 5.13.20

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FILE: PLANS

SHEET

A1.4

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SEE ROOF PLAN FOR
GUTTERS AND DOWNSPOUTS.
NOT SHOWN IN ELEVATION.

FINISH OUTER EDGES
OF TRIM TO MATCH
TRIM, NOT SIDING.
FILL NAIL HOLES IN
SIDING & TRIM.

SEE WINDOW SCHEDULE
FOR INSTALLATION HEIGHTS

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TITLE:
South Elevation

SCALE: DATE:
1/8" = 1'-0" 5.13.20

DRAWN BY: FILE:
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SHEET

A2.1

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SEE ROOF PLAN FOR
GUTTERS AND DOWNSPOUTS.
NOT SHOWN IN ELEVATION.

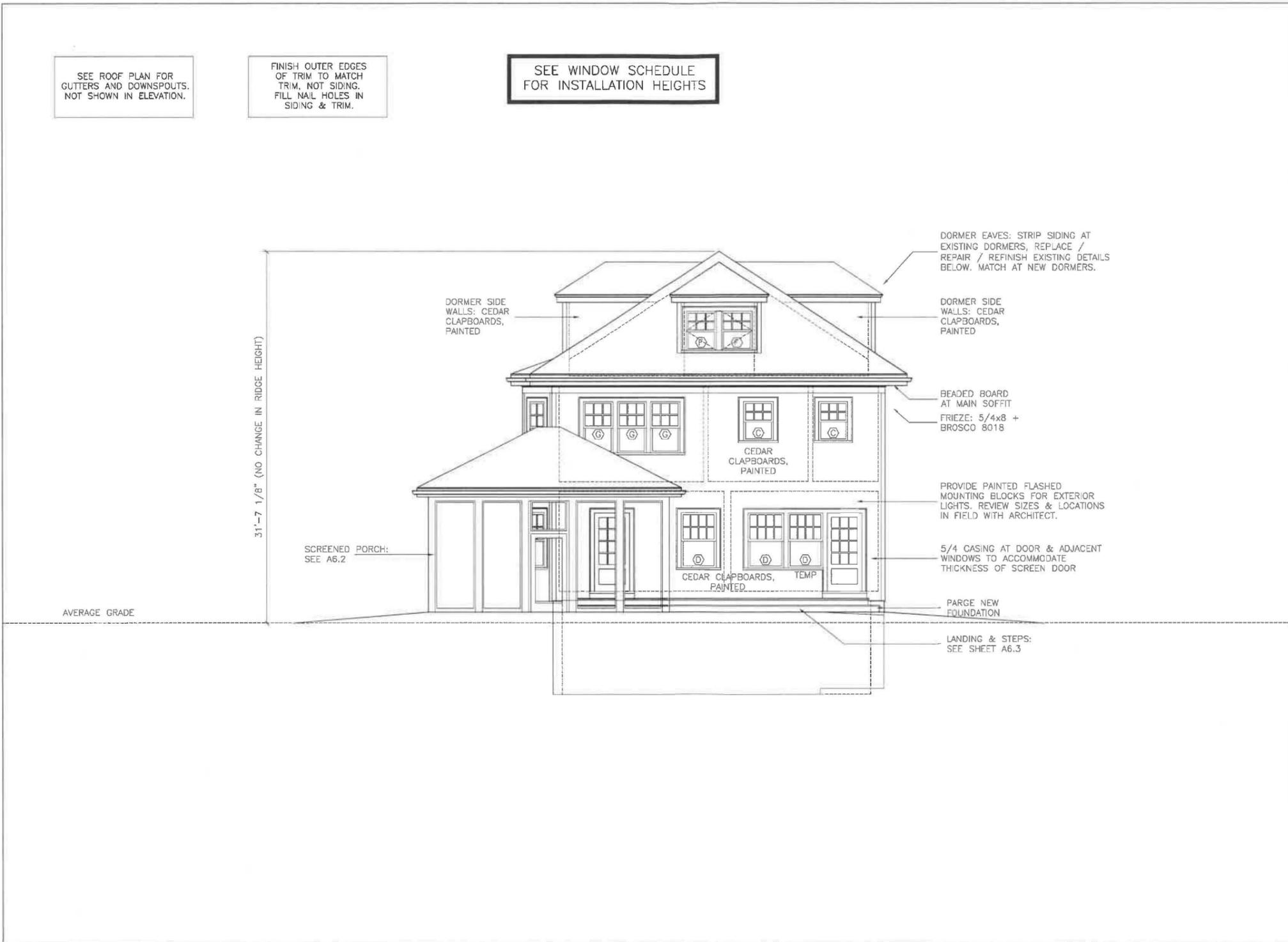
FINISH OUTER EDGES
OF TRIM TO MATCH
TRIM, NOT SIDING.
FILL NAIL HOLES IN
SIDING & TRIM.

SEE WINDOW SCHEDULE
FOR INSTALLATION HEIGHTS

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TITLE:

West Elevation

SCALE: DATE:
1/8" = 1'-0" 5.13.20

DRAWN BY: FILE:
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SHEET

A2.2

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SEE ROOF PLAN FOR
GUTTERS AND DOWNSPOUTS.
NOT SHOWN IN ELEVATION.

FINISH OUTER EDGES
OF TRIM TO MATCH
TRIM, NOT SIDING.
FILL NAIL HOLES IN
SIDING & TRIM.

SEE WINDOW SCHEDULE
FOR INSTALLATION HEIGHTS

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TITLE:

East Elevation

SCALE: DATE:
1/8" = 1'-0" 5.13.20

DRAWN BY: FILE:
DWW PLANS

SHEET

A2.4

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