



ZONING BOARD OF APPEALS
TOWN HALL • 525 WASHINGTON STREET • WELLESLEY, MA 02482

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ROBERT W. LEVY, VICE CHAIRMAN
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Executive Secretary
Telephone
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WALTER B. ADAMS
DEREK B. REDGATE
RICHARD L. SEEGEL

Date: 3-22-22

ZBA: 2022-35

Petition for:	Residential Fee	Commercial & Municipal Fee
Variance	_____ \$200	_____
Special Permit	_____ \$200	_____ \$500
* Special Permit/Findings	<u>X</u> _____ \$200	_____
Special Permit Renewals	_____ \$150	_____
Signs	_____	_____ \$300
Site Plan Approval without PSI	_____	_____ \$2,000 & Fire Department Consulting Fee
Site Plan Approval with PSI	_____	_____ \$3,500
Appeals	_____ \$200	_____ \$300
Comprehensive Permit	_____	_____ \$750
Publication & Mailing Fees/All Petitions	<u>\$25</u>	\$25
Petitioner assumes all costs for Peer Review		

RECEIVED
TOWN CLERK'S OFFICE
WELLESLEY MA 02482
2022 APR -7 PM 12:00

Property Location: 32 DOVER ROAD

Zoning District: SR10

Property located in a:

Historic District	<input type="checkbox"/>	Yes	<input checked="" type="checkbox"/>	No
Wetlands Protection Area	<input type="checkbox"/>		<input checked="" type="checkbox"/>	
Water Supply Protection District	<input type="checkbox"/>		<input checked="" type="checkbox"/>	

Prior Zoning Decisions: Special Permit/Finding: _____ Variance: _____
Applicable Section(s) of the Zoning Bylaw: _____

Explanation of Request: We would like to remove the existing deteriorating garage and replace it with a slightly larger new garage.

Requested Relief:

<u>15,400</u> Lot Area	_____ Front Yard Depth (Street Setback)
_____ Lot Coverage	<u>X</u> Side Yard Width (Side Line Setback)
_____ Frontage	<u>X</u> Rear Yard Depth (Rear Line Setback)
_____ Front Yard Width	_____ Other

OWNER OF PROPERTY/PETITIONER: EZRA + RICHI BENJAMIN

MAILING ADDRESS: 32 DOVER ROAD WELLESLEY, MA

PHONE: WORK: * 617-763-0889 HOME: _____

SIGNATURE OF OWNER: * Richi Benz

AGENT FOR HOMEOWNER (PLEASE PRINT): BCA, INC. BRIAN CHARLES OLIM

MAILING ADDRESS: 4 Spaulding Road Georgetown, MA 01833

PHONE: WORK: 781.707.1906 HOME: SAME

EMAIL: brian.charles.olim@gmail.com

Physical Characteristics Date: July 1, 2020

FY2021 Tax Rate for Wellesley, MA \$11.75

Print This Page

Assessment Valuation Date: January 1, 2020

Parcel Information:

Location: 32 Dover Rd
 Parcel ID: 138-29- -
 Class: 101 1-Family
 Type: Residential
 Lot Size: 15,427
 Census: 0
 Zoning: SR10-Single Residence
 Survey #: 0

2021 Market Value	
Land	\$818,000
Building	\$589,000
Other	\$11,000
Total	\$1,418,000

Assessment History

Year	Total Value
2021	\$1,418,000
2020	\$1,418,000
2019	\$1,403,000
2018	\$1,207,000
2017	\$1,205,000
2016	\$1,177,000
2015	\$1,118,000
2014	\$1,049,000
2013	\$990,000
2012	\$990,000
2011	\$941,000

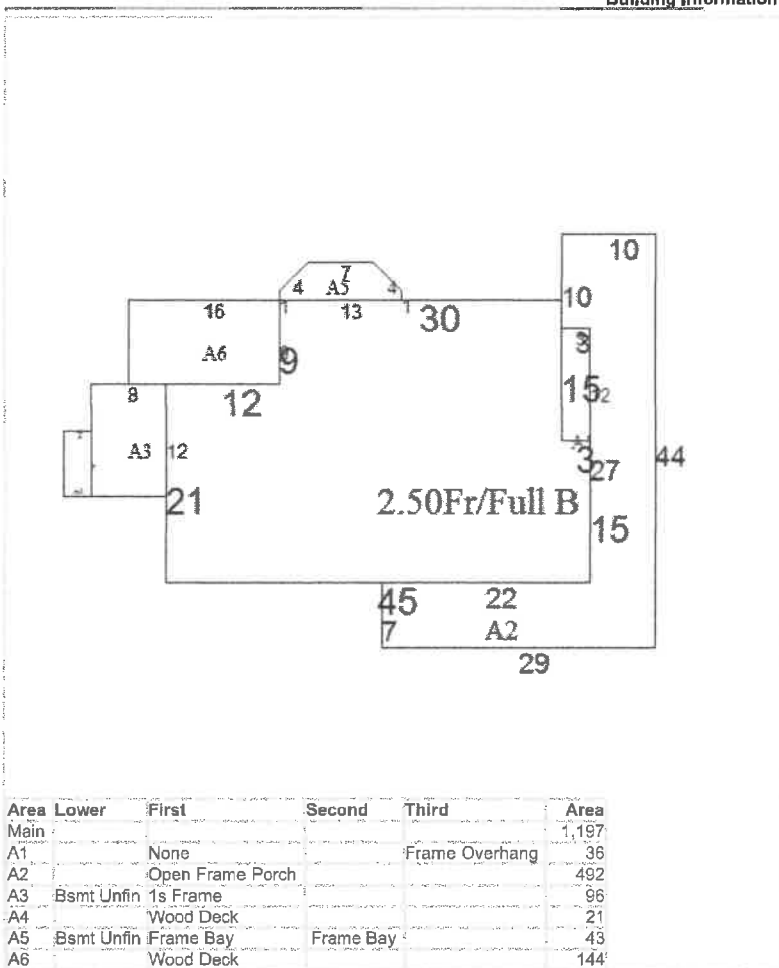
Owner Information

Name: Benjamin, Ezra & Ricki

Address: 32 Dover Road
 Wellesley, MA 02482

Notes: across from Nehodian golf course

Building Information



Frame	Wood	Basement	Full
Style	Old Style	Heating	Central Air
Stories	2.50	Heat Sys	Hot Water
Ext Walls	Frame	Fuel Type	Oil
Rooms	12	Attic	None
Beds	7	Condition	Good
Full Bath	3	Grade	A
Half Bath	1	Traffic	15
Extra Fix	1	Fireplaces	2
Rec Room	none	Year Built	1915
Fin Bsmt	none	Year Remod	1996
Bsmt Gar	none	TLA	3,210
Stacks	0		

Other Improvements

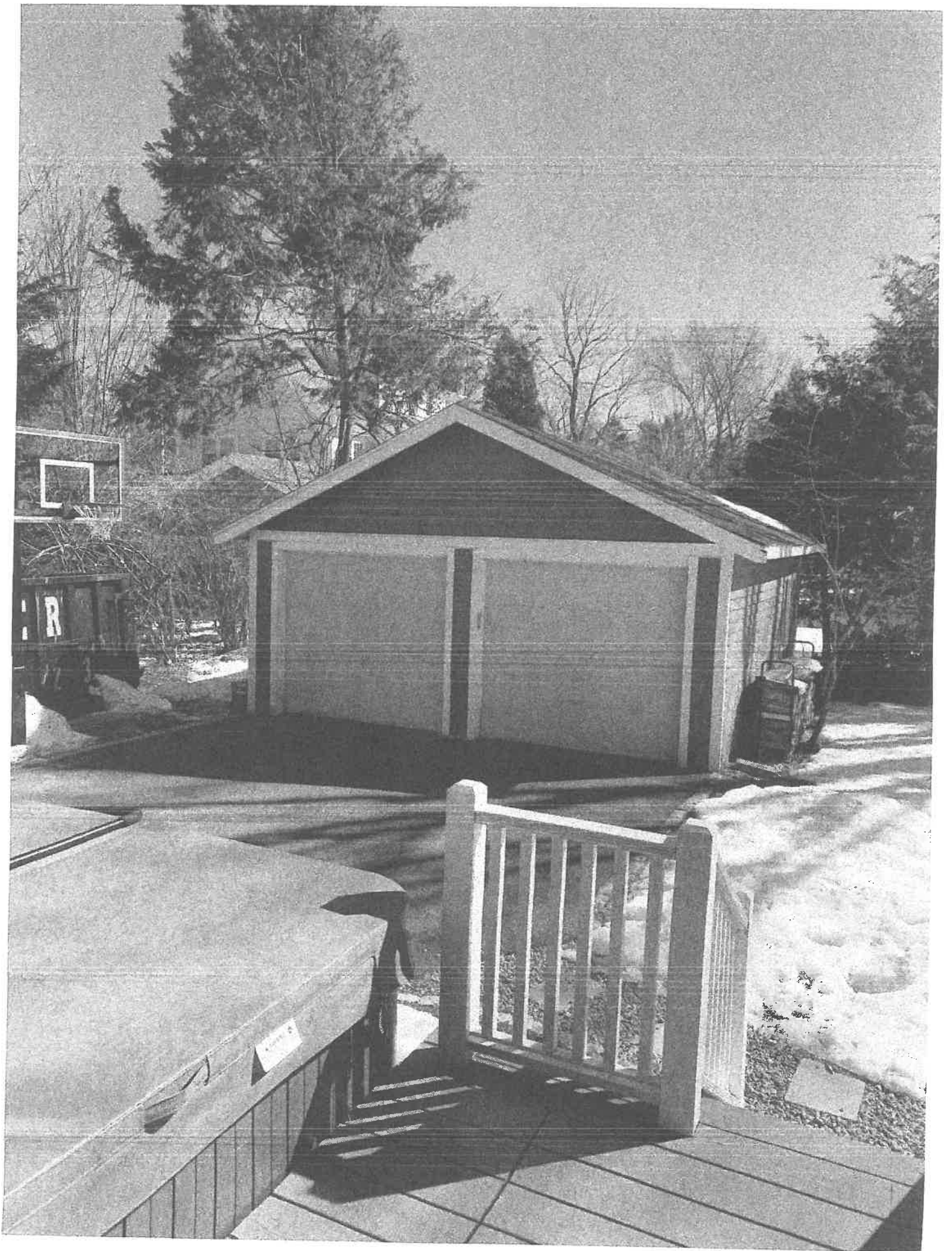
Code	Type	Qty	Year	Length	Width	Grade	Condition	Adj
1	Garage - 1 story frame	1	2001	20	20	C	Average	1

per 17 MLS*priv.yrd,2-car grge;views of Neholden;wraparound prch;tall ceilings;many windows;elegant foyer;frml LR;Fmly Rm & DR both w/ tiled fireplaces & blt-
 ins;newer granit Ktchn;Mudrm;hlf Bth;Mstr Suite-sitting rm;3rd flr=3 bdrms,plyrm,full bth*

Notes:

Land Description

Topography	Utilities	Street	Paved	Landlocked	No	View	Golf Course-Neholden
Level	Public Gas	Road	Public	Sidewalk	Yes	Landscaping	
				Gas	Yes		



ESTABLISHED 1916

EMB

EVERETT M. BROOKS CO.

SURVEYORS & ENGINEERS

49 LEXINGTON STREET
WEST NEWTON, MA 02465

(617) 527-8750

info@everettbrooks.com

ZONING DISTRICT: SR10

DEED REFERENCE:
BOOK 35639 PAGE 296

EXISTING
STRUCTURES: 2402 S.F.
LOT COVERAGE: 15.6%

PROPOSED
STRUCTURES: 2504 S.F.
LOT COVERAGE: 16.2%

PLAN OF LAND IN WELLESLEY, MA

32 DOVER ROAD
PROPOSED ADDITIONS

SCALE: 1 IN. = 20 FT.

DATE: JANUARY 21, 2022

DRAWN: LNS

CHECK: BB

REVISIONS:

PROJECT NO. 26310

DOVER ROAD

BELAIR ROAD

A=15.95'
R=10.00'

S31°23'12"E 114.76'

S60°00'00"W 114.76'

EXISTING DRIVEWAY

#32

PORCH

DECK

SPA

PROPOSED
DRIVEWAY
EXTENSION

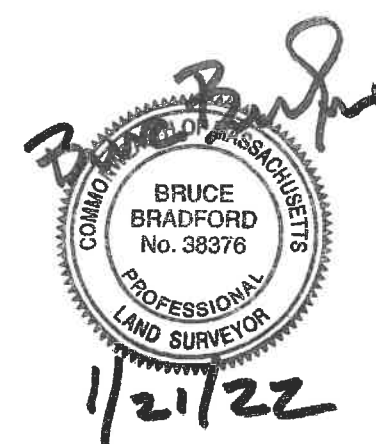
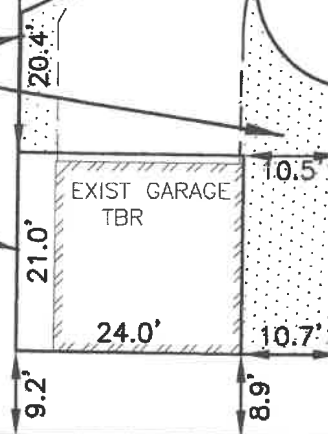
PROPOSED
GARAGE
24'x21'

EXIST GARAGE
TBR

15,420 S.F.±

N60°00'53"E 121.98'

N30°00'00"W 125.00'



Project Owners

Mr. Ezra and Mrs. Ricki Benjamin
32 Dover Road
Wellesley, MA 024812

Architectural Designer

Brian Charles Alim, Inc.
Architectural Design Services
Email: briancharlesalim@gmail.com
Website: briancharlesalim.com
Phone: 781.727.1906

Structural Engineer

Alexander Dorfman, P.E.
18 St. Cloud Ave.
Needham, MA 02492

Civil Engineer

Everett Brooks Co.
Bruce Bradford PLS
49 Lexington Street
West Newton, MA 02465
Website: www.everettbrook.com
Phone: 617.527.8750



1 NEW GARAGE FRONT ELEVATION
SCALE: 3/8" = 1'-0"



2 NEW GARAGE LEFT SIDE ELEVATION
SCALE: 3/8" = 1'-0"

Project Drawing List

- A-1 - EXT./NEW BLDG. ELEV'S.
- A-2 - EXT./NEW BLDG. ELEV'S.
- A-3 - NEW GARAGE PLAN & FDN. DET.
- A-4 - GROSS SQ./FT. CLAC'S
- A-5 - TYPICAL NEW BLDG. SECTION

Project Requirements

1. The Contractor(s) shall comply with all applicable codes, ordinances, regulations, and instructions of authorities having jurisdiction, including, but not limited to, the town of Wellesley.
2. The Contractor and Subcontractors shall not "scale" drawings in order to obtain dimensions. Any questions regarding dimensions shall be referred to the Architect who shall provide the information.
3. The Contractor shall obtain all permits and construction approvals, and pay all fees relating to the construction of the project.
4. The Contractor shall be responsible for notification to the town of Wellesley in conjunction with any required inspections performed by the town.
5. Plumbing and electrical subcontractors shall be licensed within the Commonwealth of Massachusetts and shall meet the requirements of the Wellesley.

**32 DOVER ROAD
BUILDING PERMIT SET**

Dated: 1.6.22

LEGEND

- NEW WALLS
- EXISTING WALLS TO REMAIN AS REQUIRED



Architectural Design
www.briancharlesalim.com
781.727.1906

BRIAN CHARLES ALIM, INC.
NEW HOMES, ADD/RENOV. & SPECULATIVE PROPERTIES

**32 DOVER ROAD
Wellesley, MA**

Mr. Ezra and Ricki Benjamin
32 Dover Street, Wellesley, MA

File No.: Building Permit Set

Scale: AS NOTED

Drawn By: B.C.A.

Issue Date: 1.6.22

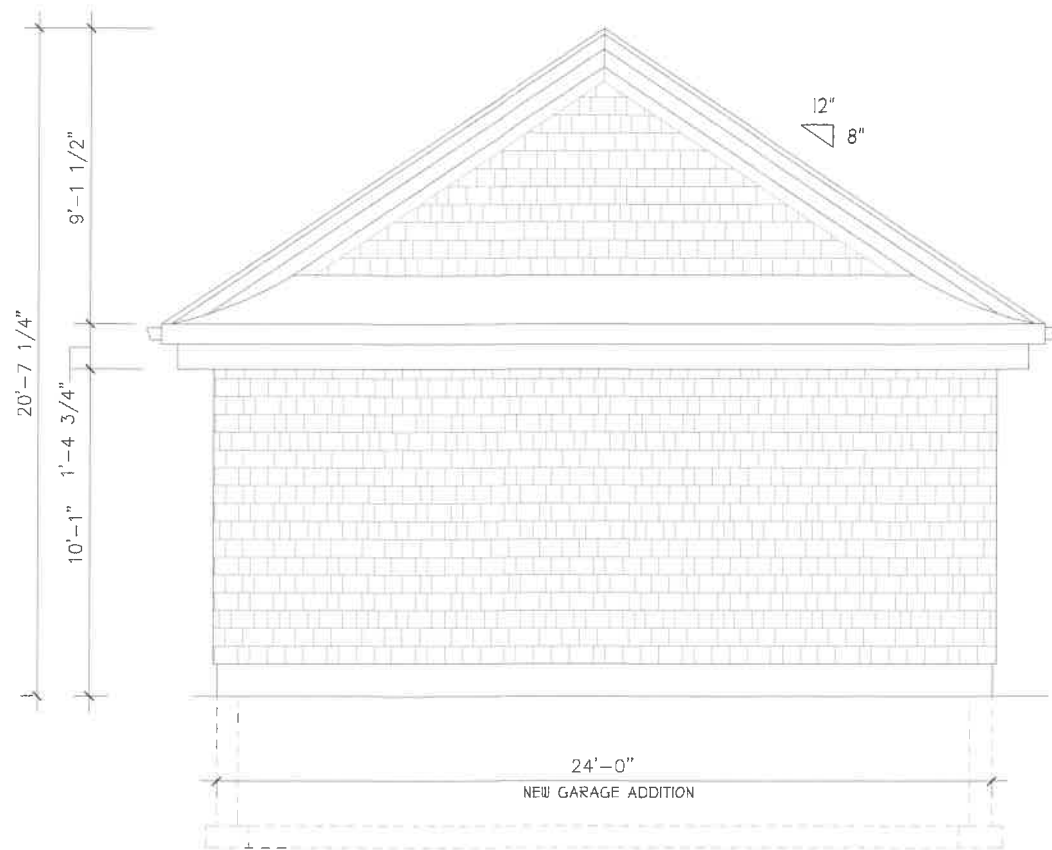
Revision:

Drawing Title:

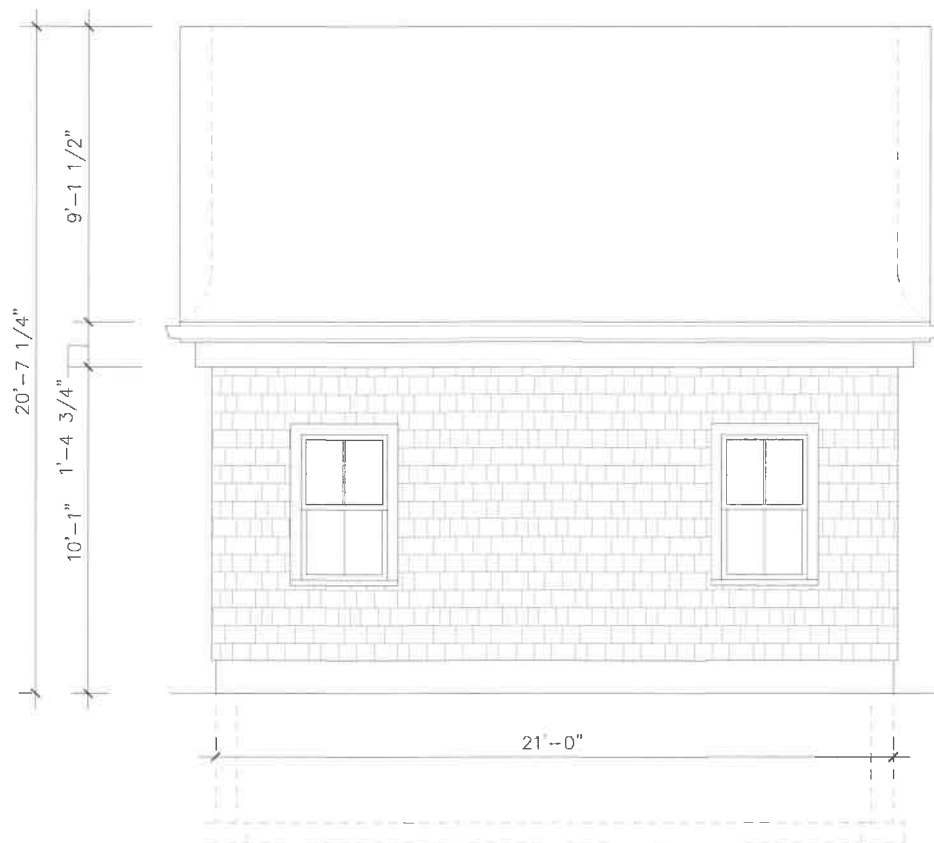
NEW BUILDING
ELEVATIONS

A-1

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3 NEW GARAGE REAR ELEVATION
SCALE: 3/8" = 1'-0"



4 NEW GARAGE RIGHT SIDE ELEVATION
SCALE: 3/8" = 1'-0"

32 DOVER ROAD
BUILDING PERMIT SET

Dated: 1.6.22

LEGEND

-  NEW WALLS
-  EXISTING WALLS TO REMAIN AS REQUIRED



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Drawn By: B.C.A.

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Revision:

Drawing Title:

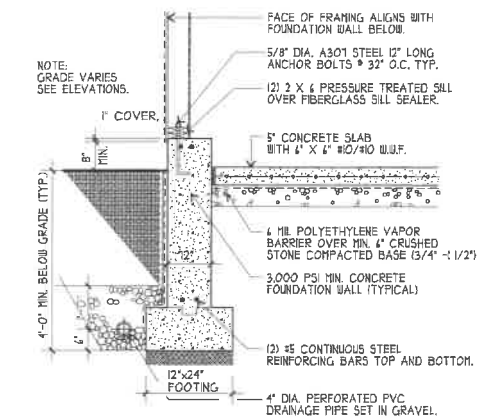
NEW BUILDING
ELEVATIONS

A-2

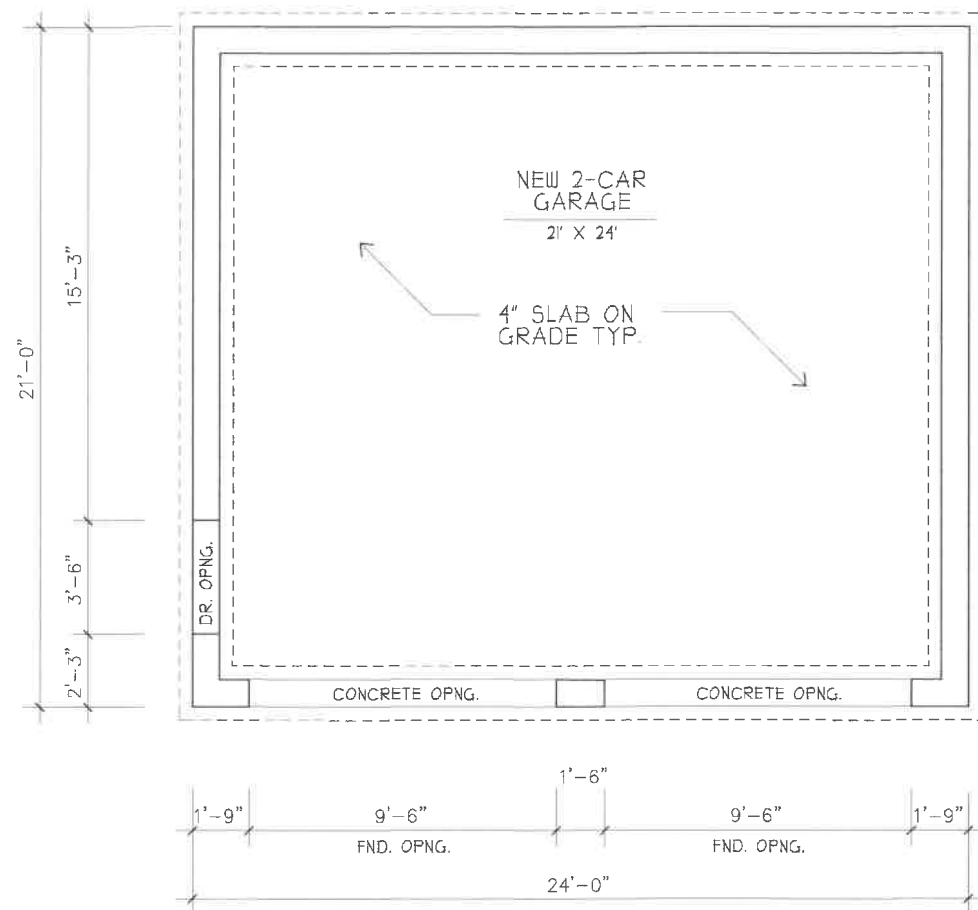
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Foundation Notes

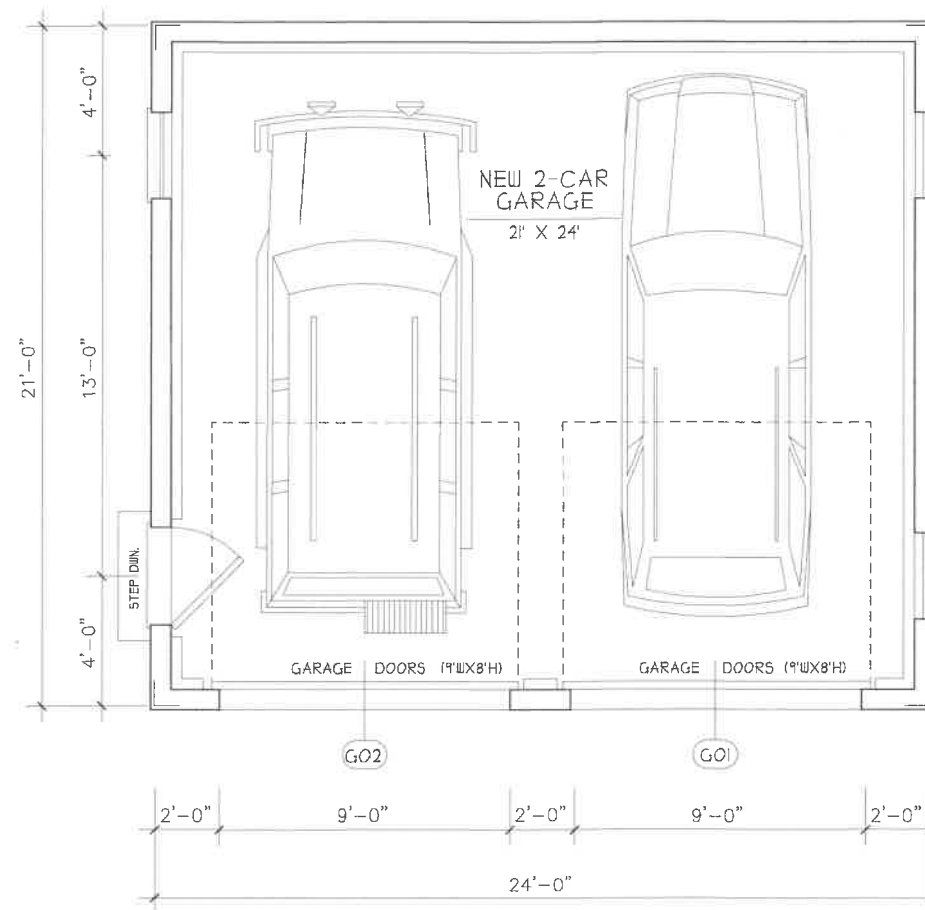
- All concrete to be 3,500 PSI at 28 days.
- All Footings to 4'-0" below finished grade minimum on good undisturbed bearing soil (to be checked by structural engineer.)
- Exterior of walls to have asphalt dampproofing below grade and mortar parging on metal lath above grade.
- All footings to have exterior 4" diameter foundation drain set in clean crushed gravel with filter fabric on top. Finished basements to have 4" diameter interior drains set in 4" clean gravel and draining to a sump.
- All crawl spaces to be vented per code.



A FOUNDATION DETAIL - GARAGE SLAB
SCALE: 1/2" = 1'-0"



2 NEW GARAGE FOUNDATION PLAN
SCALE: 3/8" = 1'-0"



1 NEW GARAGE FLOOR PLAN
SCALE: 3/8" = 1'-0"

**32 DOVER ROAD
BUILDING PERMIT SET**

Dated: 1.6.22

LEGEND

- NEW WALLS
- EXISTING WALLS TO REMAIN AS REQUIRED

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**32 DOVER ROAD
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Mr. Ezra and Ricki Benjamin
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File No.:	Building Permit Set
Scale:	AS NOTED
Drawn By:	B.C.A.
Issue Date:	1.6.22
Revision:	
Drawing Title:	

**NEW GARAGE
PLAN & FDN. DET.** **A-3**

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32 DOVER ROAD
WELLESLEY, MA

TOTAL EXT./NEW GSF CALC'S.
SR-10 - THRESHOLD 3,600 SQ/FT.

TOTAL EXISTING HOUSE GSF - 3,210 SQ/FT.
EXT. ATTIC - (NOT IN CALC.)
EXISTING GARAGE - (400 SQ./FT.) (20' X 20')

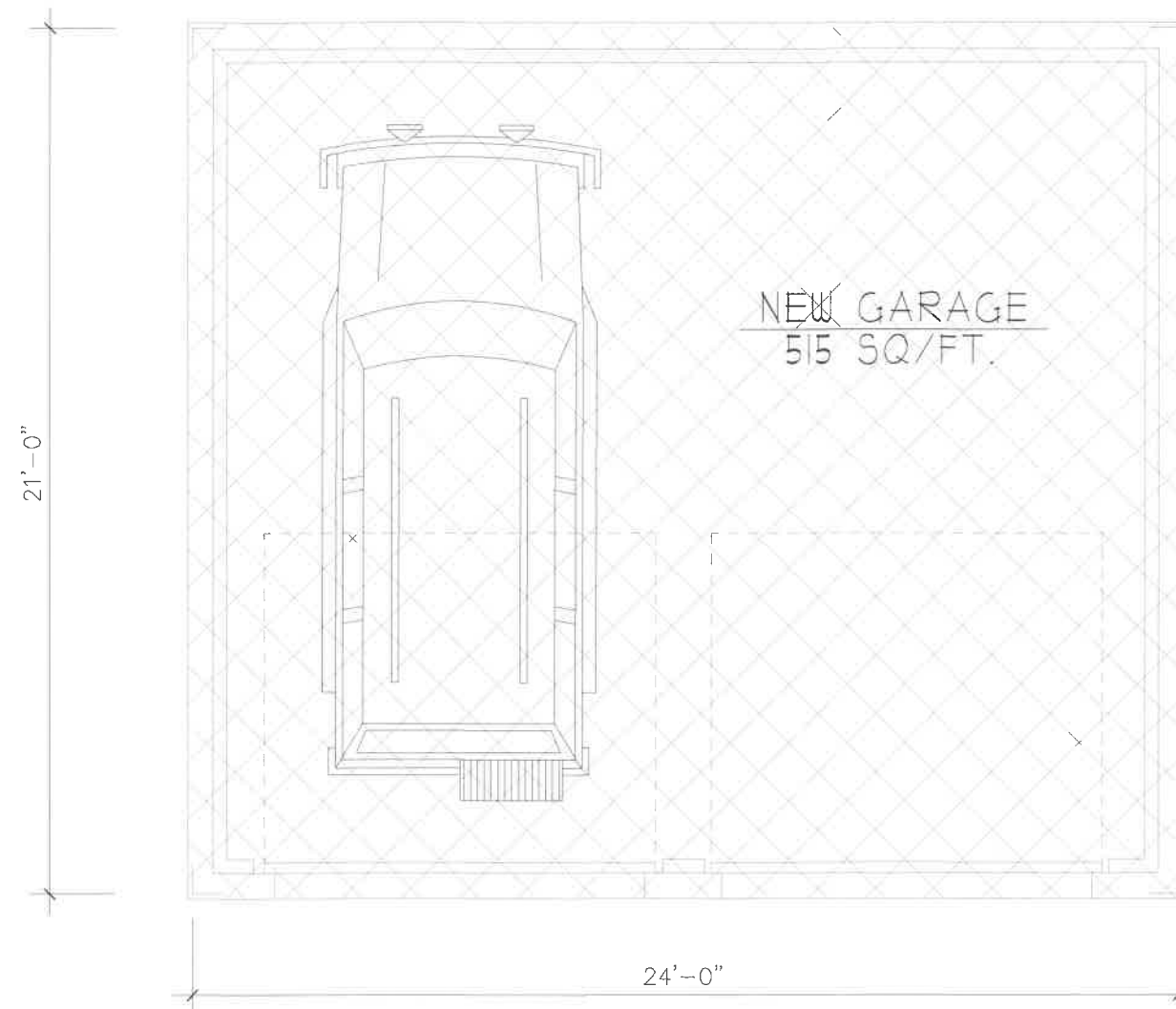
EXISTING TOTAL - 3,610 SQ/FT.

TOTAL NEW GSF - WITH GARAGE ADD.
NEW GARAGE - 515 SQ/FT. (21' X 24')

TOTAL HOUSE TLAG EXT./NEW = 3,125 SQ/FT.
*LHR REVIEW REQUIRED - + 125 SQ/FT. OVERAGE

LOT SIZE: 15,421 SQ/FT.

YEAR BUILT - 1915 (REMODEL 1996)





1 NEW GARAGE GSF PLAN SCALE: 3/8" = 1'-0"

32 DOVER ROAD
BUILDING PERMIT SET

Dated: 1.6.22

LEGEND

-  NEW WALLS
-  EXISTING WALLS TO REMAIN AS REQUIRED



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Scale: AS NOTED

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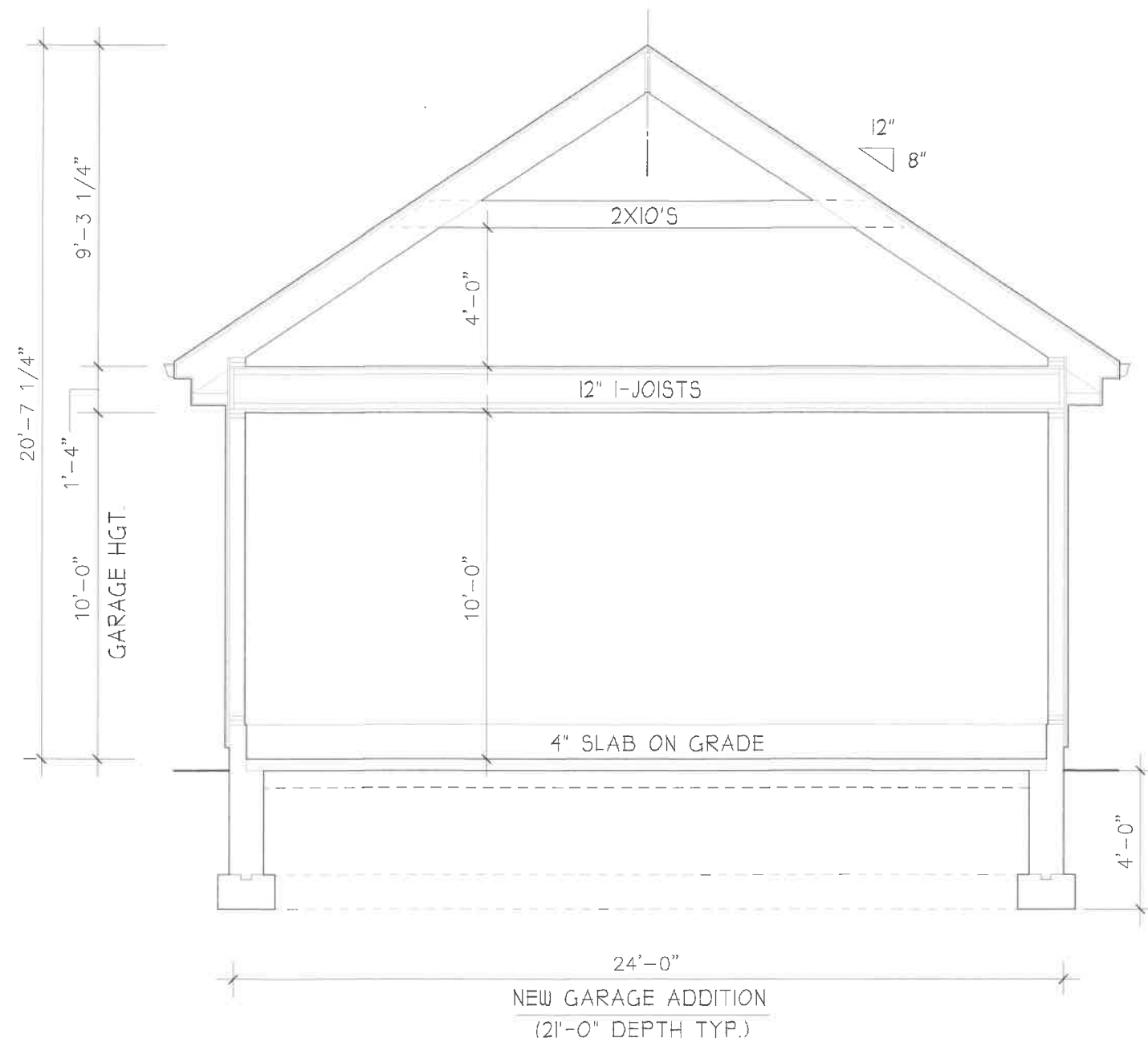
Issue Date: 1.6.22

Revision:

Drawing Title:

GROSS SQ/FT.
CALCULATIONS

A-4



A NEW BUILDING SECTION TYPICAL
 SCALE: 1/2" = 1'-0"

**32 DOVER ROAD
 BUILDING PERMIT SET**
 Dated: 1.6.22

LEGEND
 [Solid Line] NEW WALLS
 [Dashed Line] EXISTING WALLS TO REMAIN AS REQUIRED

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 NEW HOMES, ADD/RENOV. | SPECULATIVE PROPERTIES

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 Wellesley, MA**
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 32 Dover Street, Wellesley, MA

File No.: Building Permit Set
 Scale: AS NOTED
 Drawn By: B.C.A.
 Issue Date: 1.6.22
 Revision:

Drawing Title:
TYP. BUILDING SECTION

A-5

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