



ZONING BOARD OF APPEALS
TOWN HALL • 525 WASHINGTON STREET • WELLESLEY, MA 02482

J. RANDOLPH BECKER, CHAIRMAN
ROBERT W. LEVY, VICE CHAIRMAN
DAVID G. SHEFFIELD

LENORE R. MAHONEY
Executive Secretary
Telephone
(781) 431-1019 Ext. 2208

WALTER B. ADAMS
DEREK B. REDGATE
RICHARD L. SEEDEL

Date: 4-26-22

ZBA: 2022-42

Petition for:	Residential Fee	Commercial & Municipal Fee
Variance	<input checked="" type="checkbox"/> \$200	
Special Permit	_____ \$200	_____ \$500
Special Permit/Findings	_____ \$200	_____
Special Permit Renewals	_____ \$150	_____
Signs	_____	_____ \$300
Site Plan Approval without PSI	_____	_____ \$2,000 & Fire Department Consulting Fee
Site Plan Approval with PSI	_____	_____ \$3,500
Appeals	_____ \$200	_____ \$300
Comprehensive Permit	_____	_____ \$750
Publication & Mailing Fees/All Petitions	<input checked="" type="checkbox"/> \$25	\$25
Petitioner assumes all costs for Peer Review		

2022 MAY -3 PM 2:23
TOWN CLERK'S OFFICE
WELLESLEY MA 02482

Property Location: 83 Fairbanks Ave Zoning District: 10

Property located in a: Historic District Yes No
Wetlands Protection Area
Water Supply Protection District

Prior Zoning Decisions: Special Permit/Finding: 2015-11 granted Variance: _____
Applicable Section(s) of the Zoning Bylaw: _____

Explanation of Request: We would like to extend side landing to the back of the house and add an 11' x 12' deck. There will be a small roof over doorway.

Requested Relief:
Lot Area _____ Front Yard Depth (Street Setback) _____
Lot Coverage Side Yard Width (Side Line Setback) _____
Frontage _____ Rear Yard Depth (Rear Line Setback) _____
Front Yard Width _____ Other _____

OWNER OF PROPERTY/PETITIONER: Yu Zhu

MAILING ADDRESS: 83 Fairbanks Ave Wellesley MA 02481

PHONE: WORK: 781-708-1560 HOME: _____

SIGNATURE OF OWNER:

AGENT FOR HOMEOWNER (PLEASE PRINT): Daniel J. O'Connor

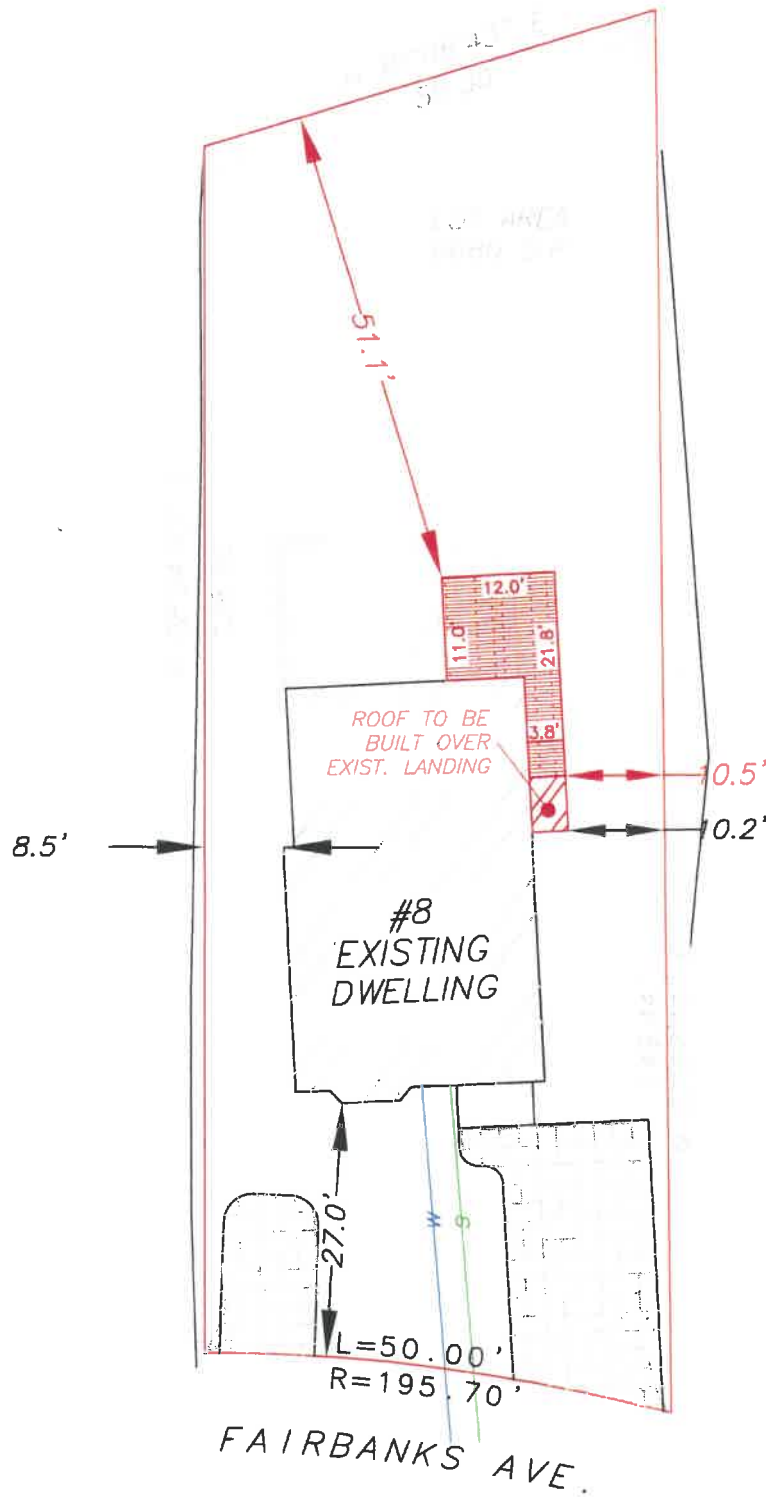
MAILING ADDRESS: 49 OAKLAND ST Wellesley 02481

PHONE: WORK: 617-733 3060 HOME: _____

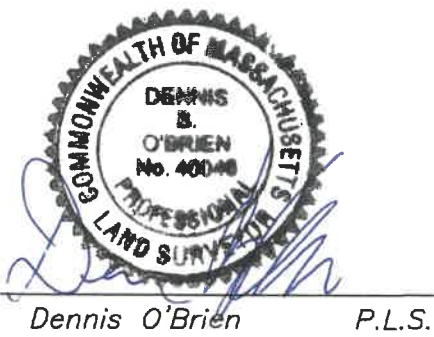
EMAIL: DOCCON11@verizon.net

NOTES:
 ALL OFFSETS & DIMENSIONS
 ARE TO THE SIDING UNLESS
 OTHERWISE NOTED.
 ALL ELEVATIONS ARE ON
 XX DATUM.

ZONED - SRC
 MINIMUM AREA = 10,000 SQ FT
 MINIMUM UPLAND AREA = 7,500 SQ FT
 MINIMUM FRONTAGE = 75'
 FRONT SETBACK = 30'
 SIDE SETBACK = 10'
 REAR SETBACK = 35'



EXISTING LOT COVERAGE 17.4% (1,165 S.F.)
 NEW LOT COVERAGE 17.8% (1,188 S.F.)



D. O'BRIEN
 LAND SURVEYING
 480 WEST CENTRAL ST.
 FRANKLIN, MA 02038 508-541-0048

PLAN SHOWING PROPOSED DECK
 8 FAIRBANKS AVE
 WELLESLEY, MA NORFOLK COUNTY

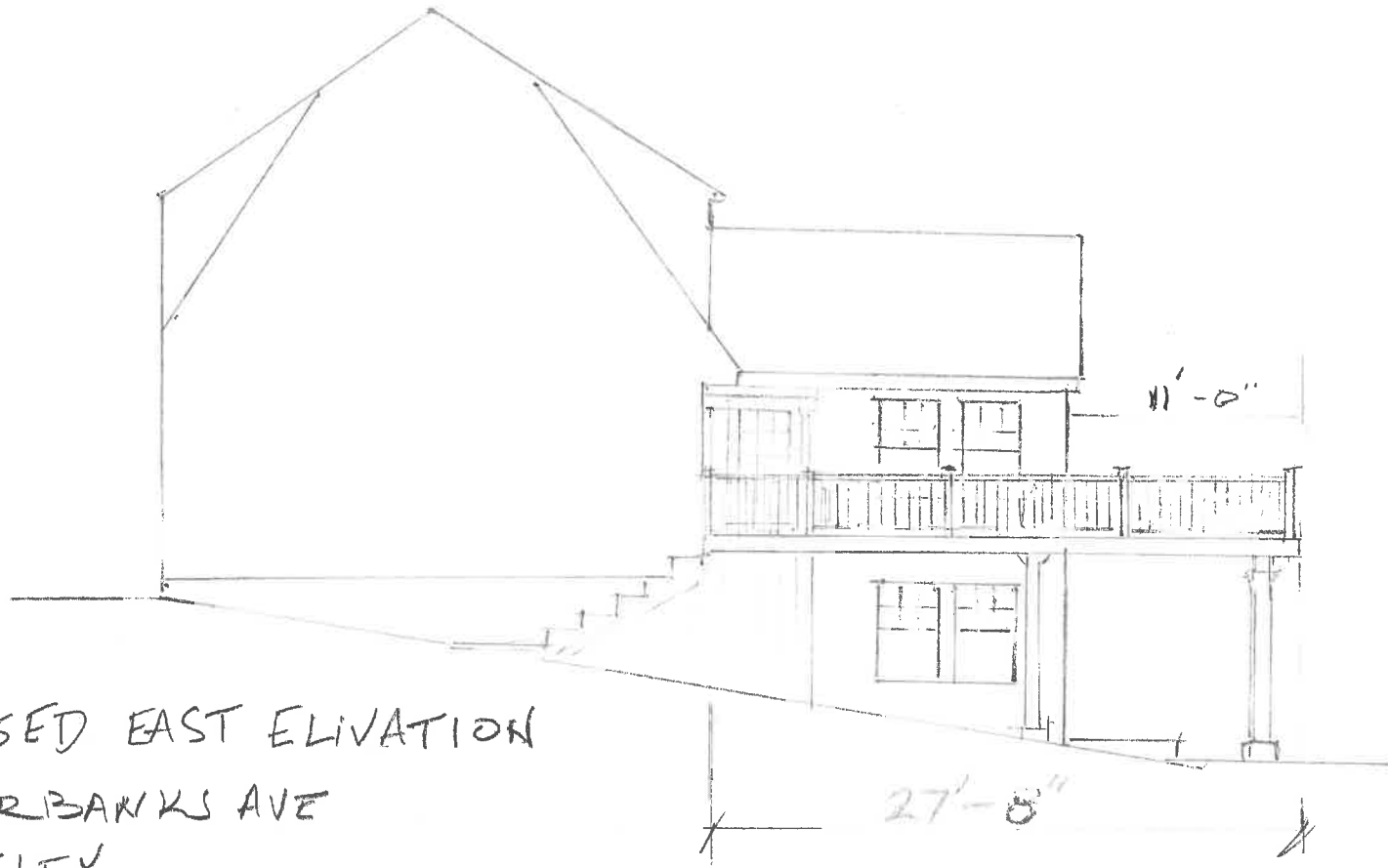
SCALE: 1"=20'	DATE: 4/1/2022	REVISED: 5/16/2022	DRAWN BY: M.F.W.	CHECKED BY: D.O.
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DAN O'CONNOR
49 OAKLAND ST.
WELLESLEY, MA
617-733-3060
4-19-22



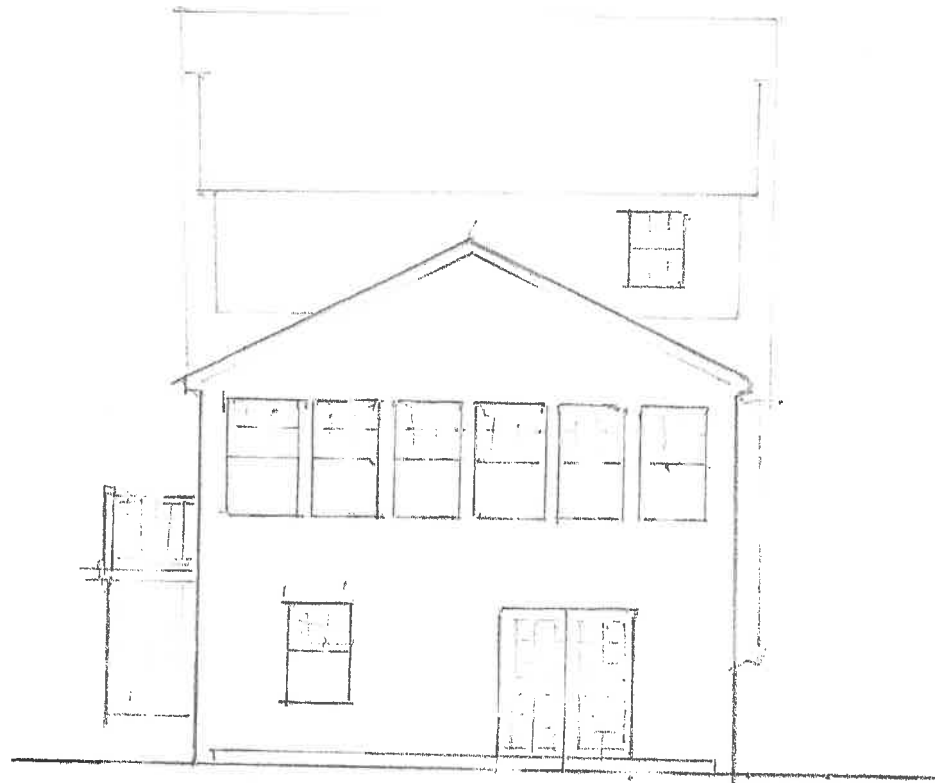
EXISTING EAST ELEVATION
8 FAIRBANKS AVE
WELLESLEY

DAN O'CONNOR
49 OAKLAND ST.
WELLESLEY, MA
617-733-3060
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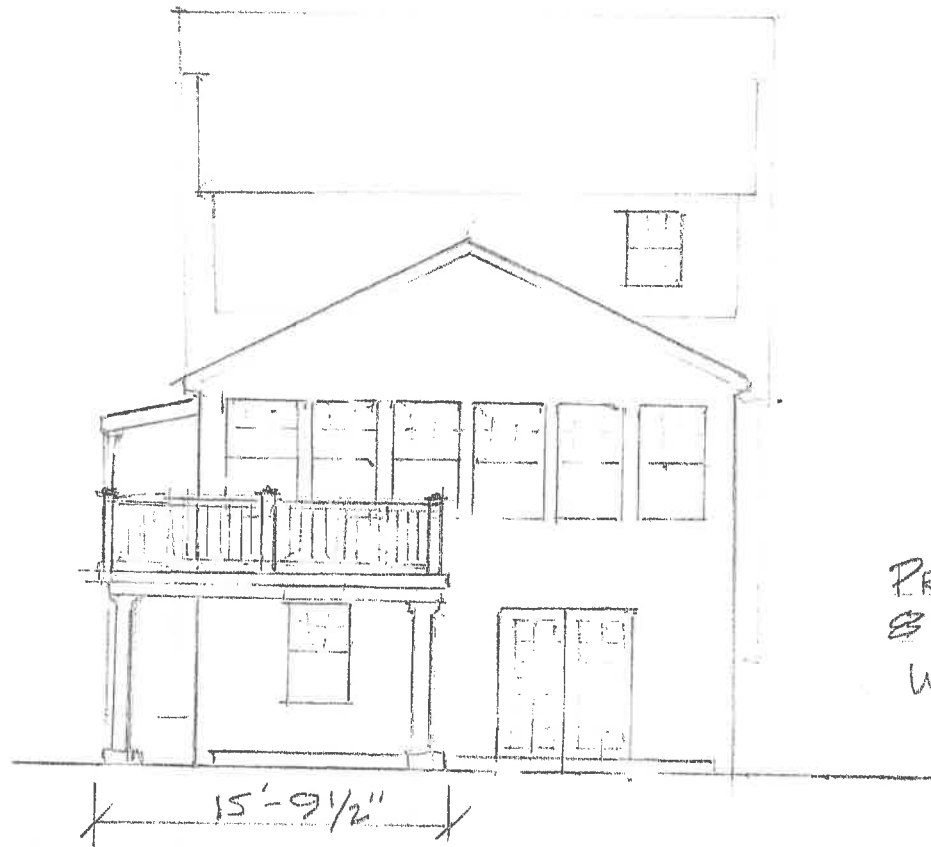
PROPOSED EAST ELEVATION
& FAIRBANKS AVE
WELLESLEY

DAN O'CONNOR
49 OAKLAND ST
WELLESLEY, MA.
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- EXISTING NORTH ELEVATION
8 FAIRBANKS AVE
WELLESLEY

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WELLESLEY, MA.
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4-19-22



PROPOSED NORTH ELEVATION
8 FAIRBANKS AVE
WELLESLEY.

