

TOWN OF WELLESLEY



MASSACHUSETTS

ZONING BOARD OF APPEALS
TOWN HALL • 525 WASHINGTON STREET • WELLESLEY, MA 02482

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ZBA 2022-14
Petition of 460 Weston Road LLC
460 Weston Road

Pursuant to due notice, the Special Permit Granting Authority held a Public Hearing on Thursday, February 3, 2022, at 7:30 p.m. in the Juliani Meeting Room, 525 Washington Street, Wellesley, on the petition of 460 Weston Road LLC requesting a Special Permit/Finding pursuant to the provisions of Section 14E, Section 17 and Section 25 of the Zoning Bylaw that demolition of an existing nonconforming structure and construction of a new single family home that will meet setback requirements on a nonconforming lot with less than required frontage and front yard width, at 460 Weston Road, in a 10,000 square foot Single Residence District and a Water Supply Protection District, shall not be substantially more detrimental to the neighborhood than the existing nonconforming structure.

On January 4, 2022, the Petitioner filed a request for a hearing before this Authority, and thereafter, due notice of the hearing was given by mailing and publication.

Present at the public hearing were David Himmelberger, Esq., Keith Miller, Architect, David Allen and Michael Rabb, 460 Weston Road, LLC, the Petitioner.

Mr. Himmelberger said that the request is for a special permit to raze and reconstruct a single family dwelling on an existing nonconforming lot. He said that the lot is oversized at 20,652 square feet in a 10,000 square foot district, and is a rear lot with less than required frontage on Weston Road. He said that the proposed house will be otherwise fully compliant with all zoning and dimensional setbacks. He said that there is a deeded easement over the existing 18 foot wide driveway.

Mr. Miller said that the intent of the project is to remove a nonconforming cape style structure, shed and detached garage and create a new modern style home on the existing, well screened lot, while retaining all mature growth trees and staying well clear of the wetlands buffer. He said that the proposed structure will be located approximately 200 feet from the street and 100 feet from the rear property line. He said that the primary public and window spaces will face west to the undeveloped woods and wetlands. He said that mature trees on the north and south will provide additional screening and the driveway will be lined with trees. He said that the plans include an attached single story side facing garage to provide buffering and scale reduction between the proposed house and the existing home at 458 Weston Road. He said that the 30 foot 6 inch high modern style house reduces in size with each subsequent story, stepping down the volume and utilizing horizontal overhangs to provide further breakdown of massing. He said that an earth

tone palette will help to blend the structure with the surroundings. He said that some of the nearby houses on Weston and Mayo Roads are of comparable size and in one case, larger. He said that the design of the house and the distance from the other houses will not be substantially more detrimental to the neighborhood. He said that Mr. Allen and Mr. Rabb spoke with some of the neighbors. A Board member confirmed that this will be a spec house.

Charles Crevo, 458 Weston Road, said that he represents the 458 Weston Road Realty Trust. He said that he supports construction of a new home at 460 Weston Road but has concerns about the proposed house. He said that the height of the ridge of the house at the front at 458 Weston Road is approximately 14 feet and the proposed house will tower over it. He said that the proposed house is not in character with houses in the neighborhood. He asked about plans for water, sewer, gas and electric utilities. He said that his recollection is that the 458 Weston Road Realty Trust is the grantor for the easement. Mr. Himmelberger said that the owner of an easement has the right to install subsurface utilities beneath it. The Chairman said that Board has to consider access for utilities.

Mr. Miller and Mr. Rabb discussed existing utilities. Mr. Rabb said that when they bought the house, they were told that they were mandated to connect to the town sewer system within two years. He said that he discussed work that the town has to do to prepare the connection with the town's Engineering Department.

Board members discussed concerns about the size of the proposed house. Board members asked about taking the top floor off and reducing the number of bedrooms to reduce the size of the house.

The Board voted unanimously to continue the petition to April 7, 2022.

April 7, 2022

Mr. Himmelberger discussed revised plans. He said that the third floor was removed and the proposed home is now 25.5 feet high with a shallow pitched roof that significantly scales down the appearance of volume and massing. He said that TLAG was reduced from 5,880 square feet to 5,314 square feet.

Mr. Himmelberger said that the property is located in a Water Supply Protection District. He said that an infiltration system was designed to take the roof water. He said that the proposed home is outside of the adjacent 100 foot wetlands buffer zone and no trees will be removed.

Mr. Himmelberger discussed the history of the property and the right of way. He said that when the front lot was cut off from the single lot and conveyed out, the owner retained an 18 foot wide right of way along the northern property line. He said that the driveway is currently 9 feet wide but the right of way is 18 feet. He said that the grant specifically included the right to the grantor to lay and maintain water, sewer and gas pipes and erect necessary poles for electric light and telephone services. He said that the rear lot has deeded access out to Weston Road and through this deeded right of way, it has the right to install utilities. He said that is where the utilities are currently located.

Mr. Himmelberger said that the scaled down house will not be substantially more detrimental to the neighborhood. He said that the pre-existing nonconforming setback has been removed. He said that because of its location, it will be hard to see the house.

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The Board discussed concerns about the size of the house in the revised plans. A Board member said that it would be helpful for the Board to see more information about landscaping and lighting to understand how the size of the house will be mitigated.

Mr. Crevo said that he appreciated the design change but the plan is not acceptable. He said that the proposed home will be three and a half times larger than the existing home. He said that other design options could have been reviewed with the neighbors. He said that the plan does not have details for the utility work, bringing in heavy equipment, temporary access, parking for construction vehicles, monitoring and control, intended width of the driveway, water runoff, electrical configuration, and how long the power will be out. He asked that the Board request that a more detailed plan with all of the information for the project be submitted.

The Chairman discussed the role of the Board and the standard of review for approval of a special permit. He said that the Board encourages petitioners to meet with their neighbors.

Julie Pernokas, 456 Weston Road, confirmed that the Board members had been out to see the property. She said that the house that is being torn down is a small cape and is not well screened. She said that she lives directly next to what will be built. She discussed concerns about the size of the proposed house, her view of the house, screening, lighting, privacy, and hardship to the house at the front during construction.

Susan Steneri, 456 Weston Road, said that the existing house is nice and could be renovated. She said that the proposed house will not be camouflaged.

Board members said that more information should be submitted that address details about screening history of Large House Review in the neighborhood, mitigating adverse construction impacts and details about the proposed driveway. The Board encouraged the Petitioner to continue to reach out to the neighbors regarding the proposed plans.

The Board voted unanimously to continue the petition to May 5, 2022.

May 5, 2022

Mr. Himmelberger said that a Landscape Plan, a Construction Management Plan (CMP), confirmation of stormwater mitigation, information about comparably sized homes in the neighborhood, three letters of support from abutters at 9 Mayo Road, 8 and 12 Woodfield Road, and photographs were submitted. He said that the Stormwater Management Plan confirms that through the use of an infiltration system there will be a reduction at every storm level in volume and runoff flow rate. He said that a memorandum includes TLAG data for a number of homes in the neighborhood. He said that photographs taken from the interior of the premises show the extensive screening between his client's property and Mr. Crevo's property. He said that the burning bush that obscures Mr. Crevo's house will remain. He said that the fence will be replaced with a different type of fence at the same height. He said that they provided a plan that shows that the driveway will be graded and slightly pitched to the north. He said that they have a commitment that all lighting will be dark sky compliant.

Mr. Himmelberger reviewed the CMP and addressed questions from Board members regarding access for Mr. Crevo while utility work is underway, putting all of the utilities in the same trench, notice to Mr. Crevo of upcoming work in the right of way, and duration of utility work before having a drivable surface.

Mr. Himmelberger said that the construction schedule describes excavation, foundation and utilities work lasting five weeks. Mr. Allen said that utility work will probably take about a week or two. He said that the town sent a plan and a list of workers who can be used for utilities installation and paving to install the sewerage system that is mandated within two years of purchase of the property.

Mr. Himmelberger and Mr. Allen discussed pavement of the proposed driveway. Mr. Allen said that the plan is to leave the existing fence, extend it over to the property line and bring it back on the corner. He said that the driveway will go where the existing right of way is. He said that what was noted in the plan is that the existing driveway flares out beyond the 18 foot right of way line as you come towards Weston Road at the street,. He said that Mr. Crevo asked that the new driveway not go beyond the 18 foot right of way line. He said that the flare out to the south will be removed, so the new driveway will be smaller at the street. He said that other than that, the new driveway will go where the existing driveway is and at the same width.

Mr. Allen discussed landscaping and screening between 460 and 458 Weston Road. He said that all of the other neighbors that they spoke to will talk in the future about screening that they may or may not want. Mr. Himmelberger submitted a Landscape Screening Plan between 456/458 Weston Road & 460 Weston Road. He said that the arbor vitae and fence will remain. Mr. Allen said that he discussed extending the fence and adding tall arbor vitae in front of the fence with the Crevos. He said that his landscape designer thought that it would be very difficult for the trees to survive there because there is so much shade in that corner. The Chairman said that fencing deteriorates over time and could disappear. Mr. Himmelberger said that existing screening is quite tall.

Mr. Crevo said that he submitted a letter to the Board and to Mr. Allen's partner. He said that he met with Mr. Allen and discussed the fence. He discussed concerns about the capability of the builder who will disrupt his property. He questioned how the utilities and a drainage swale can be put in where the driveway is supposed to direct the water. He said that they will have to cut trees and remove the stone wall. He said that he wants to see a plan that shows the details so there will be no misunderstanding. He said that he has done construction for over 50 years. He said that the details are supposed to be on the drawing so that they can be reviewed by people who are not at the meetings and by the Building Inspector so that if any controversies come up on the site, they will be discussing facts. He said that his meetings with Mr. Allen have not resolved issues so far. He said that the photos that were submitted show the view from 460 Weston Road, not from his view. He said that he is not against building a house in the back but is against the way it is being done. He said that it is not being done by an organization that knows what it is doing and he needs to protect himself.

Mr. Himmelberger discussed discrepancies about the width of the driveway. The Chairman asked if the 18 feet is marked by the stake at the lot line where the stone wall is. He said that it looks like there is a telephone pole and a mailbox in the 18 foot area. He confirmed that there is no intent to remove any trees along the driveway or disturb any area outside of the currently paved area. Mr. Himmelberger said that they will have to disturb outside the paved area to put the utilities in. Mr. Allen said that has been drawn

into the civil plan. He said that the proposed driveway will only change by the street. Mr. Himmelberger said that the Petitioner plans to create a flare on the left side of the driveway, on town property.

The Chairman questioned how the sewer and water utilities can go under the driveway since they have to be separated by 10 feet. Mr. Crevo said that a proper design of the driveway would show stationing, cross sections, and shoulders. He asked about a surety bond. He asked that the utilities and a binder be put in on day one before any equipment goes down there. Mr. Himmelberger said that the work will be done in accordance with Wellesley's standards. The Chairman said that this is a driveway and his concern is how this will be sequenced and how it will be done to cause the least disturbance to Mr. Crevo.

The Chairman discussed the Planning Board recommendation. He said that he would have trouble making a finding that the proposed house would not be substantially more detrimental to the neighborhood unless it can be built with some accommodations and considerations to Mr. Crevo. He said that this will be a spec house that is very large for the district. He said that the Board's obligation is to try to protect the neighbors by minimizing any disturbance to the neighborhood.

The Board discussed conditions in the letter that Mr. Crevo submitted regarding the driveway, the utilities, sequencing and disruption. Mr. Crevo said that the Developer needs to present another plan that shows a realistic approach because the plan that was submitted does not work. The Board discussed having the town's Engineering Department review the project and require that the plan be prepared to the Engineering Department's satisfaction.

Mr. Allen asked about leaving the existing driveway as is and not doing anything right now. He said that the town is mandating that the utilities be put in within two years. He said that the existing driveway has a water problem that has not been dealt with and the proposal was to make an improvement there.

The Chairman said that the plan does not show the edge of pavement. He said that it appears that the water and sewer lines will use most of the 18 feet. A Board member said that the plan does not show existing or proposed grades that are typical for drainage design. He said that the Board does not necessarily get to the level of detail with cross sections or profiles for residential special permits as they would for subdivision or site plan approval. He discussed having a condition that requires that construction level plans be reviewed by the Town Engineer. He said that Engineering will be concerned about the actual connections onto town property.

Julie Pernokas said that they are trying to work on this together. She said that she disagrees with the pictures because they were taken from the wrong angle. She said that she was at the landscape meeting but has not seen a landscape plan. She said that they gave the Developer a list of requests for the driveway, which is the biggest issue. She said that they were asked why they could not park somewhere else for the summer. She said that there is a sense that the Developer is not trying to make this work. She said that this is a unique property in that the front is someone else's yard. She said that the existing driveway is not where the easement is.

Stephanie Giamarino, 456 Weston Road, said that there is no plan on paper, which is what they are asking for.

Mr. Allen said that the driveway was staked by a surveyor who works with a civil engineer. He said that the driveway is 12 feet and the design for the water pipe came from the town's Engineering Department. He said that if there is not enough room to put in a water or sewer pipe, the town is mandating something that is not feasible. He said that they may have to put in a septic system. A Board member said that the town may work with the Developer. He said that there may be ways to not make it ten feet. He said that to satisfy the neighbor, there needs to be a design plan that gets reviewed by the Town Engineer from the road to the property line of the back property. He said that there is no agreement on the location of the existing driveway compared to the proposed driveway and how wide it is.

Mr. Crevo said that his concern is not the paved width of the driveway but how all the utilities will fit in 18 feet, six of which is stone wall and trees. The Chairman said that they have 12 feet to work with under the paved driveway. Mr. Allen said that they can leave the driveway exactly as is.

Mr. Crevo asked what happens if they find that more width is needed and trees have to be cut after the plan is reviewed by the town. The Chairman said that the Tree Bylaw does not require mitigation with the same size tree. He said that mitigation can be paying into a fund. He discussed concerns about cutting down the large mature trees. He said that this is Mr. Crevo's front and side yard and that would be a drastic change to what he has had for the past several years. Mr. Allen asked if the special permit could be conditional on the underground utilities fitting under the driveway as currently constituted and that no trees will be cut down.

Mr. Crevo said that he would prefer that the utilities are put in and the binder is put down before the house is demolished. Mr. Allen said that site work will be done first. He said that the utilities are not in the construction schedule in the CMP. He said that he would rather consult with site contractors about the best time to put the utilities in.

The Board discussed sequencing of the project. The Chairman said that there must be at least 10 days' notice of any excavation work in the driveway area. He said that all work in the driveway should be done to minimize interference with access to 458 Weston Road.

Mr. Himmelberger said that contact information is listed in the CMP in case there are any issues.

Statement of Facts

The subject property is located at 460 Weston Road, in a 10,000 square foot Single Residence District, with a minimum front yard width and frontage of 18 feet where 60 feet is required, and a minimum left side yard setback of 14.1 feet where 20 feet is required.

The Petitioner is requesting a Special Permit/Finding pursuant to the provisions of Section 14E, Section 17 and Section 25 of the Zoning Bylaw that demolition of an existing nonconforming structure and construction of a new single family home that will meet setback requirements on a nonconforming lot with less than required frontage and front yard width, in a Water Supply Protection District, shall not be substantially more detrimental to the neighborhood than the existing nonconforming structure.

Letter to Zoning Board of Appeals, dated 3/31/22, from David J. Himmelberger, Esq., Quitclaim Deed for Right of Way, a TLAG Plan, dated 12/17/21, revised 3/29/22, Civil Plan, dated 12/17/21, revised 3/29/22

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WELLINGTON TOWNSHIP CLERK'S OFFICE
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& 4/29/22, Details, dated 12/17/21, revised 4/29/22 & Erosion Control & Demolition Plan, dated 12/17/21, revised 4/29/22, stamped by Peter J. Nolan, Professional Land Surveyor and Edmond Spruhan, P.E., Existing Floor Plans & attached GIS Map, dated 5/5/21, Floor Plans and Elevation Drawings, dated 12/23/21, revised 3/21/22, prepared by Miller Design LLC, Memorandum re Neighboring Home TLAG Statistics with GIS Map and Property Records attached, Stormwater Report, dated 4/29/22, prepared by Spruhan Engineering, P.C., Construction Management Plan, dated 4/29/22, Landscape Screening Plan Between 456/458 Weston Road & 460 Weston Road, and photographs were submitted.

On February 2, 2022 and March 22, 2022, the Planning Board reviewed the petition and recommended that the special permit be denied.

Decision

This Authority has made a careful study of the materials submitted and the information presented at the hearing.

The Board found that the Design and Operation Standards in Part F are adequately satisfied and not otherwise prohibited in Part D.1, of Section 14E of the Zoning Bylaw for Water Supply Protection Districts.

It is the opinion of this Authority that demolition of an existing nonconforming structure and construction of a new single family home that will meet setback requirements on a nonconforming lot with less than required frontage and front yard width will not result in the intensification of an existing nonconformity, will not result in additional nonconformities, and will not be substantially more detrimental to the neighborhood than the existing nonconforming structure.

Therefore, a Special Permit is granted, as voted unanimously by this Authority at the Public Hearing, for demolition of an existing nonconforming structure and construction of a new single family home that will meet setback requirements, subject to the following conditions:

1. An engineered plan shall be prepared locating the proposed utilities which shall not exceed the current edge of pavement of the driveway and shall be subject to approval by the Town Engineer.
2. Drainage from the driveway shall be directed to shed to the north side of the property.
3. All construction in the right of way shall be done to minimize interference with 458 Weston Road.
4. The existing fence shall be extended to the southern boundary line and be of similar quality as the existing fence. Removal of the fence shall be subject to enforcement action.
5. All lighting shall be dark sky compliant.
6. The project shall be in compliance with the Construction Management Plan.

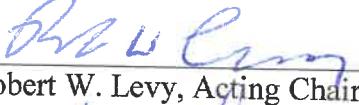
The Inspector of Buildings is hereby authorized to issue a permit for construction upon receipt and approval of a building application and detailed construction plans.

If construction has not commenced, except for good cause, this Special Permit shall expire two years after the date time stamped on this decision.

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ZBA 2022-14
Petition of 460 Weston Road LLC
460 Weston Road

APPEALS FROM THIS DECISION,
IF ANY, SHALL BE MADE PURSUANT
TO GENERAL LAWS, CHAPTER 40A,
SECTION 17, AND SHALL BE FILED
WITHIN 20 DAYS AFTER THE DATE
OF FILING OF THIS DECISION IN THE
OFFICE OF THE TOWN CLERK.


Robert W. Levy, Acting Chairman


Walter B. Adams


Derek B. Redgate

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ZBA 2022-14
Applicant 460 Weston Road LLC
Address 460 Weston Road

NOT VALID FOR RECORDING UNTIL CERTIFIED BY TOWN CLERK

In accordance with Section 11 of Chapter 40A of the Massachusetts General Laws, I hereby certify that twenty (20) days have elapsed after the within decision was filed in the office of the Town Clerk for the Town of Wellesley, and that no appeal has been filed, or that if such appeal has been filed, that it has been dismissed or denied.

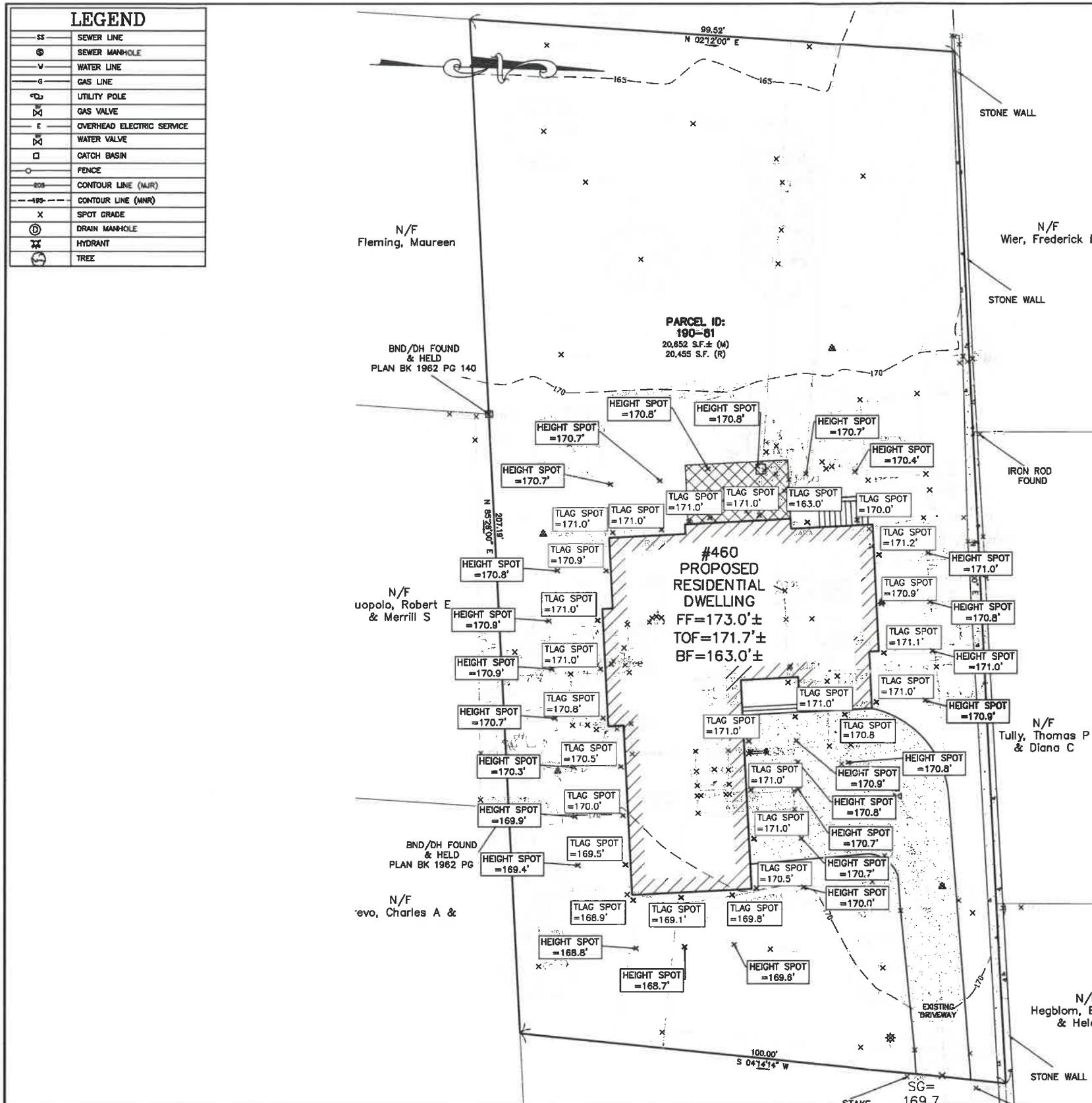
Date:

Attest:

Cathryn Jane Kato
Town Clerk

cc: Planning Board
Inspector of Buildings
lrm

LEGEND	
SS	SEWER LINE
SM	SEWER MANHOLE
W	WATER LINE
G	GAS LINE
UP	UTILITY POLE
GV	GAS VALVE
E	OVERHEAD ELECTRIC SERVICE
WV	WATER VALVE
CB	CATCH BASIN
F	FENCE
CL	CONTOUR LINE (MNR)
CL	CONTOUR LINE (MNR)
X	SPOT GRADE
DM	DRAIN MANHOLE
H	HYDRANT
T	TREE



NOTES

- INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY PETER NOLAN & ASSOCIATES LLC AS OF 9/14/2021.
- DEED REFERENCE: BOOK 19056, PAGE 12
PLAN REFERENCE 1: BOOK 1843, PAGE 187
PLAN REFERENCE 2: BOOK 1862, PAGE 140
PLAN REFERENCE 3: BOOK 2340, PAGE 333
PLAN REFERENCE 4: PLAN 724 OF 1989
NORFOLK COUNTY REGISTRY OF DEEDS
- THIS PLAN IS NOT INTENDED TO BE RECORDED.
- I CERTIFY THAT THE DWELLING SHOWN IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE X, ON FLOOD HAZARD BOUNDARY MAP NUMBER 25021C0004, IN COMMUNITY NUMBER: 250255, DATED 7/17/2012.
- THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT USES OF THE LAND; HOWEVER THIS NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
- FIRST FLOOR ELEVATIONS ARE TAKEN AT THRESHOLD.
- NO RESPONSIBILITY IS TAKEN FOR ZONING TABLE AS PETER NOLAN & ASSOCIATES LLC ARE NOT ZONING EXPERTS. TABLE IS TAKEN FROM TABLE PROVIDED BY LOCAL ZONING ORDINANCE. CLIENT AND/OR ARCHITECT TO VERIFY THE ACCURACY OF ZONING ANALYSIS.
- THE ELEVATIONS SHOWN ARE BASED ON CITY OF WELLESLEY DATUM.

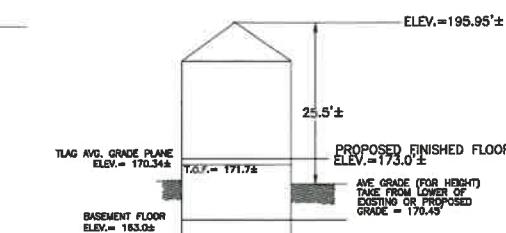


460 WESTON RD,
WELLESLEY,
MASSACHUSETTS.

CIVIL PLANS

REVISION BLOCK

BY	DESCRIPTION	DATE
G.P.	BUILDING HEIGHT REVISED AS PER ARCHITECT COMMENTS	3/29/22



PROPOSED PROFILE NOT TO SCALE

* LESS THAN 25% OF BASEMENT EXPOSED, THEREFORE TLAG CALCULATION OF BASEMENT NOT REQUIRED.
CALCS:
BASEMENT HEIGHT = 8.7'
25% BASEMENT = 2.18'
BASEMENT EXPOSED = 1.52' < 2.18' (25% B.H.)
* HEIGHT SPOT DEFINITION:
TAKEN AS THE LOWER OF THE EXISTING OR PROPOSED GRADES.
* TLAG SPOT TAKEN AS PROP. GRADE EVERY 10' AROUND BUILDING.

All legal rights including, but not limited to, copyright and design patent rights, in the designs, arrangements and plans shown on this document are the property of Peter Nolan & Associates, LLC, or Spruhan Engineering, P.C. They may not be used or reused in whole or in part, except in connection with this project, without the prior written consent of Spruhan Engineering, P.C. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on this project, and Spruhan Engineering, P.C., must be notified of any variation from the dimensions and conditions shown by these drawings.

DATE: 12/17/2021
DRAWN BY: G.P.
CHECKED BY: E.S.
APPROVED BY: P.N.

TLAG PLAN

SHEET 1 OF 4

LEGEND

LEGEND	
SS	SEWER LINE
SM	SEWER MANHOLE
W	WATER LINE
G	GAS LINE
UP	UTILITY POLE
VG	GAS VALVE
E	OVERHEAD ELECTRIC SERVICE
WV	WATER VALVE
C	CATCH BASIN
F	FENCE
205	CONTOUR LINE (MUR)
195	CONTOUR LINE (MNTR)
X	SPOT GRADE
DM	DRAIN MANHOLE
HY	HYDRANT
TR	TREE

DRAINAGE AREA SUMMARY

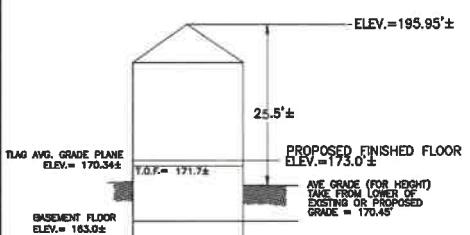
EXISTING ROOF AREA (HOUSE & GARAGE)= 1,571.4 S.F.
 EXISTING PAVED AREA (DRIVeway)= 2,050.9 S.F.
 EXISTING IMPERVIOUS (WALKWAYS/LANDING/STEPS/SHED)= 369.5 S.F.
 EXISTING LANDSCAPE AREA = 15,660.4 S.F.

PROPOSED ROOF AREA = 2,955.6 S.F.
 PROPOSED PAVED DRIVEWAY = 1,703.5 S.F.
 PROPOSED IMPERVIOUS AREAS (LANDING/STEPS/DECK/PATIO)= 343.9 S.F.
 PROPOSED LANDSCAPE AREA = 15,648 S.F.

TOTAL EXISTING IMPERVIOUS AREA = 3,991.6 S.F.
 TOTAL PROPOSED IMPERVIOUS AREA = 5,004.0 S.F.

TOTAL INCREASE IN IMPERVIOUS AREA = 1,012.4 S.F.

AREA LEGEND



PROPOSED PROFILE
NOT TO SCALE

- * LESS THAN 25% OF BASEMENT EXPOSED,
 THEREFORE LAG CALCULATION OF BASEMENT NOT
 REQUIRED.

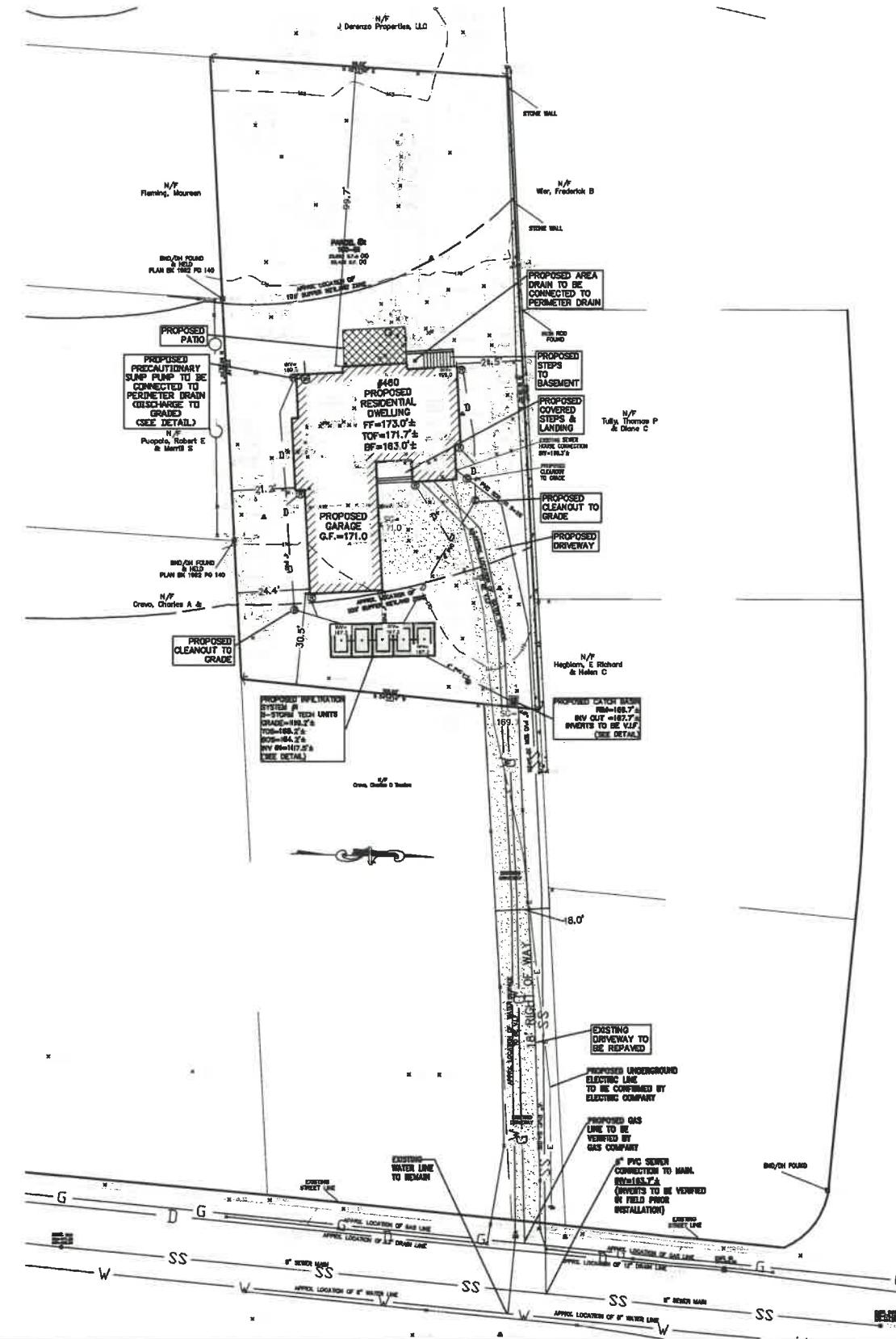
CALCS:

BASEMENT HEIGHT = 8' Y
 25% OF BASEMENT = 2.00'
 BASEMENT EXPOSED = $(17.7 - 2.00) = 15.7'$
 BASEMENT EXPOSED = $15.7 \times 1.28 = 19.84' (25\% B.H.)$

* HEIGHT SPOT DEFINITION:
 TAKEN AS THE LOWER OF THE EXISTING OR
 PROPOSED GRADES.

* LAG SPOT TAKEN AS PROP. GRADE
 EVERY 10' AROUND BUILDING.

EXISTING LOT COVERAGE= 1,766.9 S.F. (8.6%)
PROPOSED LOT COVERAGE= 2,956.6 S.F. (14.3%)



GENERAL NOTE

1. THE CONTRACTOR SHALL REPORT TO THE OWNER AND ENGINEER OF ANY SIGNIFICANT VARIATIONS IN EXISTING SITE CONDITIONS FROM THOSE SHOWN ON THESE PLANS. ANY PROPOSED REVISIONS TO THE WORK, IF REQUIRED BY THESE SITE CONDITIONS, SHALL NOT BE UNDERTAKEN UNTIL REVIEWED AND APPROVED BY THE OWNER AND THE ENGINEER.
2. IN ORDER TO PROTECT THE PUBLIC SAFETY DURING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING AT ALL TIMES ALL NECESSARY SAFETY DEVICES AND PERSONNEL, WARNING LIGHTS, BARRICADES, AND POLICE OFFICERS.
3. ALL WORK SHALL CONFORM TO TOWN OF WELLESLEY GENERAL CONSTRUCTION STANDARDS.
4. THE CONTRACTOR SHALL REGULARLY INSPECT THE PERIMETER OF THE PROPERTY TO CLEAN UP AND REMOVE LOOSE CONSTRUCTION DEBRIS BEFORE IT LEAVES THE SITE. ALL DEMOLITION DEBRIS SHALL BE PROMPTLY REMOVED FROM THE SITE TO A LEGAL DUMP SITE. ALL TRUCKS LEAVING THE SITE SHALL BE COVERED.
5. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSTITUTE EROSION CONTROL MEASURES ON AN AS NECESSARY BASIS, SUCH THAT EXCESSIVE SOIL EROSION DOES NOT OCCUR.
6. THE LOCATION OF UNDERGROUND UTILITIES AS REPRESENTED ON THESE PLANS IS BASED UPON PLANS AND INFORMATION PROVIDED BY THE RESPECTIVE UTILITY COMPANIES OR MUNICIPAL DEPARTMENTS SUPPLEMENTED BY FIELD IDENTIFICATION WHEREVER POSSIBLE. NO WARRANTY IS MADE AS TO THE ACCURACY OF THESE LOCATIONS OR THAT ALL UNDERGROUND UTILITIES ARE SHOWN. THE CONTRACTOR SHALL CONTRACT DIG SAFE AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION. DIG SAFE TELEPHONE NUMBER IS 1-800-322-4844.
7. THE CONTRACTOR SHALL VERIFY THE LOCATION, SIZE AND DEPTH OF EXISTING UTILITIES PRIOR TO TAPPING INTO, CROSSING OR EXTENDING THEM. IF THE NEW WORK POSES A CONFLICT WITH EXISTING UTILITIES, THE ENGINEER SHALL BE NOTIFIED PRIOR TO THE CONTRACTOR CONTINUING.
8. NO LEDGE BOULDERS, OR OTHER UNYIELDING MATERIALS ARE TO BE LEFT WITHIN 6" OF THE WATER IN THE TRENCH, NOR ARE THEY TO BE USED FOR BACKFILL FOR THE FIRST 12" ABOVE THE PIPES.
9. PAVEMENT AREA SHALL BE PAVED TO A THICKNESS AS SHOWN ON THE PLANS MEASURED AFTER COMPACTION, WITH A BINDER COURSE AND TOP COURSE OF CLASS I BITUMINOUS CONCRETE PAVEMENT, TYPE I-1.
10. BASE MATERIAL SHALL BE CLEAN BANJO RUN GRAVEL CONFORMING TO M.D.P.W. M1.03.1, WITH NO STONES LARGER THAN THREE (3) INCHES IN DIAMETER AND SHALL BE PLACED AND ROLLED WITH AT LEAST A TEN TON ROLLER. THE SURFACES SHALL BE WET DURING ROLLING TO BIND THE MATERIAL. ALL STONES OF 4" DIAMETER OR LARGER SHALL BE REMOVED FROM THE SUB-BASE PRIOR TO PLACING BASE MATERIAL.
11. ALL EXISTING PAVING TO BE DISTURBED SHALL BE CUT ALONG A STRAIGHT LINE THROUGH ITS ENTIRE THICKNESS. BUTT THE NEW PAVING INTO THE EXISTING PAVEMENT TO REPAIR.
12. ANY PAVEMENT REMOVED FOR UTILITY TRENCH EXCAVATION OR OTHERWISE DAMAGED DURING CONSTRUCTION SHALL BE REPLACED WITH A PAVEMENT SECTION CONSISTING OF 1" WEAR COURSE OVERLYING A 1 1/2" BINDER COURSE OVERLYING A 8" COMPACTED GRAVEL BASE COURSE.
13. THE CONTRACTOR SHALL APPLY FOR A STREET OPENING AND UTILITY CONNECTION PERMITS AND SIDEWALK CROSSING PERMIT WITH THE TOWN OF WELLESLEY.
14. CONTRACTOR TO ENSURE THAT ALL SURFACE WATER IS DIVERTED AWAY FROM BUILDING FOUNDATION DURING FINAL GRADING.

NOTES:
1. INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY
PETER NOLAN & ASSOCIATES, LLC AS OF 9/14/2021.

2. DEED REFERENCE: BOOK 19056, PAGE 12
PLAN REFERENCE 1: BOOK 18451, PAGE 187
PLAN REFERENCE 2: BOOK 2322, PAGE 140
PLAN REFERENCE 3: BOOK 2340, PAGE 333
PLAN REFERENCE 4: PLAN 724 OF 1969
NORFOLK COUNTY REGISTRY OF DEEDS

3. THIS PLAN IS NOT INTENDED TO BE RECORDED.

4. I CERTIFY THAT THE DWELLING SHOWN IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE X ON FLOOD HAZARD BOUNDARY MAP NUMBER 25021C0004E, IN COMMUNITY NUMBER: 25025, DATED 7/17/2012.

5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT USES OF THE LAND; HOWEVER THIS NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.

6. FIRST FLOOR ELEVATIONS ARE TAKEN AT THRESHOLD.

7. NO RESPONSIBILITY IS TAKEN FOR ZONING TABLE AS PETER NOLAN & ASSOCIATES LLC ARE NOT ZONING EXPERTS. TABLE IS TAKEN FROM TABLE PROVIDED BY LOCAL ZONING ORDINANCE, CLIENT AND/OR ARCHITECT TO VERIFY THE ACCURACY OF ZONING ANALYSIS.

8. THE ELEVATIONS SHOWN ARE BASED ON CITY OF WELLESLEY DATUM.

- REFER TO ARCHITECTURAL PLANS FOR ALL ZONING RELATED INFORMATION
- REFER TO ARCHITECTURAL PLANS FOR FOUNDATION ELEVATIONS.
- ALL SURFACE WATER RUNOFF SHALL BE DIRECTED AWAY FROM BUILDING FOUNDATION AND AWAY FROM NEIGHBORING PROPERTY
- CIVIL PLAN AND STORM WATER

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ASSOCIATES, LLC**
**LAND SURVEYORS/CIVIL
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A circular registration stamp with a decorative border. The text inside reads: "PETER COLAN 1911 REGISTERED ROYAL LAND SURVEYOR COMMONWEALTH OF MASSACHUSETTS". The stamp is signed with a cursive signature across the center.

460 WESTON RD.
WELLESLEY,
MASSACHUSETTS.

CIVIL PLAN

REVISION BLOCK

DESCRIPTION	DATE
BUILDING HEIGHT REVISED AS PER ARCHITECT COMMENTS	3/29/22
DRAINAGE SYSTEM ADDED	4/29/22

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DATE:	12/17/2021
DRAWN BY:	G.P
CHECKED BY:	E.S
APPROVED BY:	P.H

SHEET 2 OF 4

