

TOWN OF WELLESLEY



MASSACHUSETTS

ZONING BOARD OF APPEALS
888 WORCESTER STREET • SUITE 160 • WELLESLEY, MA 02482

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RECEIVED
JULY 11 2024
WELLESLEY, MA
ZONING BOARD OF APPEALS
OFFICE

ZBA 2024-53
Petition of LYX Wellesley Investment LLC
148 Weston Road

Pursuant to due notice, the Special Permit Granting Authority held a Remote Public Hearing on Thursday, July 11, 2024, at 7:30 pm, on the petition of LYX Wellesley Investment, LLC, requesting a Special Permit pursuant to the provisions of 5.18 and Section 6.3 of the Zoning Bylaw for installation of a wall sign that will exceed the maximum area and maximum height that is allowed by right, at 148 Weston Road, in a Residential Overlay District and a General Residence District.

On June 5, 2024, the Petitioner filed a request for a hearing before this Authority, and thereafter, due notice of the hearing was given by mailing and publication.

Present at the public hearing was Matthew Zuker, LYX Wellesley Investment, LLC, who said that the project went through a lengthy permitting process and the building has been built. He said that two signs were approved in the Residential Incentive Overlay (RIO), one on the building and one on the street.

Mr. Zuker said that the request is for relief a sign on the building that has an area that is larger than what is allowed and is set at a height that exceeds what is allowed by right. He said that after meeting with the Design Review Board (DRB), they recommended approval of the sign.

Mr. Zuker said that the sign has to be higher for identification and safety purposes because the property slopes down from the street and the building is set back from Weston Road. He said that the sign consists of letters on the building. He said that the sign at the road will be for property identification. He said that sign has not been built yet and they are not sure if they need it.

A Board member asked about signage for vehicular movement. Mr. Zuker said that directional signs were not shown on the approved plans. He said that directional signs are currently painted on the ground. He said that visitor parking is at grade and resident parking is below grade.

A Board member said that the Board received a letter and photographs from a neighbor who was concerned about conditions at the edge of the property where there is an abandoned house, tree debris, some orange cones and an overgrown lot that may be on 148 Weston Road's property. Mr. Zuker said that is a separate property that is under the same ownership as 148 Weston Road. He said that the historical house will be renovated to make two affordable units. He said that they will clean the site up, fence and screen it. The Board member suggested that someone stop by the neighbor's house to leave contact information so that they do not have to contact the Zoning Board regarding issues with the property.

Mr. Zuker said that the sign will be back lit from dusk to dawn to identify the building. He said that the sign will provide the only light to safely walk into the building on what is a fairly dark site.

A Board member confirmed that the sign has already been installed. Mr. Zuker said that it was installed about ten months ago. He said that it was included in the original Comprehensive Permit but there were no details of the sign. He said that it was later determined by the Building Inspector that the sign had to go through the Design Review Board process.

No member of the public wished to speak to the petition.

Statement of Facts

The subject property is located at 148 Weston Road, in a Residential Overlay District and a General Residence District.

Petitioner is requesting a Special Permit pursuant to the provisions of 5.18 and Section 6.3 of the Zoning Bylaw for installation of a wall sign that will exceed the maximum area and maximum height that is allowed by right.

Justification for Special Permit, Sign Information, Dimensioned Sign Plans, dated 8/21/23, prepared by SignWorks Group, and Photo Rendering were submitted.

On April 12, 2024, the Design Review Board voted unanimously to accept the application as presented.

On July 2, 2024, the Planning Board reviewed the petition and recommended that a Special Permit be approved.

Decision

This Authority has made a careful study of the materials submitted and the information presented at the hearing.

It is the opinion of this Authority that installation of a wall sign that will exceed the maximum area and maximum height that is allowed by right will be in harmony with the general purpose and intent of Section 5.18 of the Zoning Bylaw, as the sign scales will be in reasonable relation to development scale, viewer distance and travel speed, and sign sizes on nearby structures; sign size, shape, and placement will serve to define or enhance architectural elements of the building and will not unreasonably interrupt, obscure or hide them; sign designs will be in reasonable continuity with the mounting location, height, proportions and materials of other signage on the same or adjacent structures; sign materials, colors, lettering style, illumination and form are reasonably compatible with building design, neighborhood context and use; and sign size, location design and illumination are not judged to present a safety hazard to vehicular or pedestrian traffic.

Therefore, a Special Permit is granted for installation of a wall sign that will exceed the maximum area and maximum height that is allowed by right, in accordance with the submitted plans.

The Inspector of Buildings is hereby authorized to issue a permit for the sign upon receipt and approval of a sign application and any other materials he may require. No sign shall be installed until said permit has been issued.

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WELLESLEY MA 02481
JULY 24 2024 PM 12:15

ZBA 2024-53
Petition of LYX Wellesley Investment LLC
148 Weston Road

APPEALS FROM THIS DECISION,
IF ANY, SHALL BE MADE PURSUANT
TO GENERAL LAWS, CHAPTER 40A,
SECTION 17, AND SHALL BE FILED
WITHIN 20 DAYS AFTER THE DATE
OF FILING OF THIS DECISION IN THE
OFFICE OF THE TOWN CLERK.

Robert W. Levy (lm)
Robert W. Levy, Acting Chairman

Walter B. Adams (lm.)
Walter B. Adams

Derek B. Redgate (lm.)
Derek B. Redgate

ZBA 2024-53
Applicant LYX Wellesley Investment LLC
Address 148 Weston Road

NOT VALID FOR RECORDING UNTIL CERTIFIED BY TOWN CLERK

In accordance with Section 11 of Chapter 40A of the Massachusetts General Laws, I hereby certify that twenty (20) days have elapsed after the within decision was filed in the office of the Town Clerk for the Town of Wellesley, and that no appeal has been filed, or that if such appeal has been filed, that it has been dismissed or denied.

Date:

Attest:

Cathryn Jane Kato
Town Clerk

cc: Planning Board
Inspector of Buildings
lrm

RECEIVED
TOWN CLERK'S OFFICE
WELLESLEY, MA 02482
2024 JUL 24 PM 2:10

SWG

SignWorks Group

60 Arsenal Street
Watertown, MA 02472
617-924-0292
fax 617-924-0279

Customer:
THE BRISTOL

Project:
ENTRANCE ID

8/21/2023

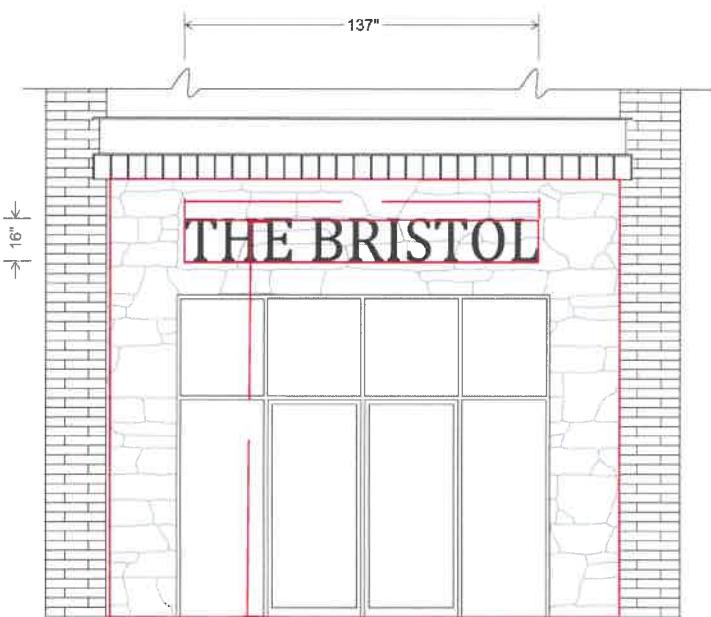
As Noted

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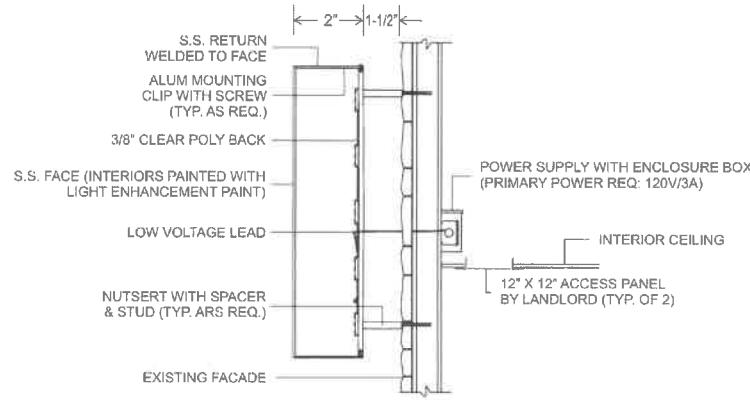
THE BRISTOL 10238

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1 FABRICATED HALO LIT LETTERS (Elevation View)

Scale: 1/4"=1'-0"



A SECTION DETAIL
N.T.S.

THE BRISTOL

LV PASS THRU LOCATION
(TYP. EACH LETTER)

A FABRICATED HALO LIT LETTERS

Scale: 1/4"=1'-0"

SATIN BLACK

1.0