

TOWN OF WELLESLEY



MASSACHUSETTS

ZONING BOARD OF APPEALS

888 WORCESTER STREET • SUITE 160 • WELLESLEY, MA 02482

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DAVID G. SHEFFIELD

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EXECUTIVE SECRETARY
TELEPHONE
(781) 489-7450

WALTER B. ADAMS
DEREK B. REDGATE
PETER COVO

ZBA 2024-56

Petition of SIP Partners 984 Worcester Rd LLC
984 Worcester Street (CVS)

Pursuant to due notice, the Special Permit Granting Authority held a Remote Public Hearing on Thursday, August 8, 2024, at 7:30 pm, on the petition of SIP Partners 984 Worcester Rd LLC requesting a Special Permit pursuant to the provisions of 5.18 and Section 6.3 of the Zoning Bylaw for replacement of existing signs that includes a halo illuminated wall sign with letter height that will exceed the maximum allowed, a second wall sign, and a standing sign with halo illuminated letters. The number of wall signs will exceed the maximum allowed at 984 Worcester Street, in a Business A District.

On July 3, 2024, the Petitioner filed a request for a hearing before this Authority, and thereafter, due notice of the hearing was given by mailing and publication.

Present at the public hearing was Gary McCoy, representing Poyant Sign Company.

The Chairman said that a prior special permit was granted for signage.

Mr. McCoy said that the request is to replace signage on the property that includes replacing an existing sign on the building that has 24 inch tall individual letters with a new CVS logo and 22 inch tall letters with the same type of lighting, replacing the lettering on the drive-through canopy without illumination, and replacing the faces of the existing small monument sign with halo lit letters and a new logo. He said that there will be no change in size to the monument sign.

The Chairman asked about timers for lighting of the signs. He said that the Board generally requires that all lighted signs only be illuminated during business hours.

No member of the public wished to speak to the petition.

Statement of Facts

The subject property is located at 984 Worcester Street, in a Business A District.

The Petitioner is requesting a Special Permit pursuant to the provisions of 5.18 and Section 6.3 of the Zoning Bylaw for replacement of existing signs that includes a halo illuminated wall sign with letter height that will exceed the maximum allowed, a second wall sign, and a standing sign with halo illuminated letters. The number of wall signs will exceed the maximum allowed by right.

Letter of Authorization, dated 5/14/24, signed by Gary B. Simon, Sign Information, Sign Location Plan, Proposed Sign #1 IL-22-CL-L, Proposed Non-Illuminated Drive-Thru Canopy Cabinet, and Proposed Monument Replacement Faces, prepared by Poyant, were submitted.

On June 14, 2024, the Design Review Board voted unanimously to accept the application as presented, with recommendations.

On July 30, 2024, the Planning Board reviewed the petition and recommended that a Special Permit be approved.

Decision

This Authority has made a careful study of the materials submitted and the information presented at the hearing.

It is the opinion of this Authority that replacement of existing signs that includes a halo illuminated wall sign with letter height that will exceed the maximum allowed and a second wall sign, where the number of wall signs will exceed the maximum allowed by right, and a standing sign with halo illuminated letters will be in harmony with the general purpose and intent of Section 5.18 of the Zoning Bylaw, as the sign scales will be in reasonable relation to development scale, viewer distance and travel speed, and sign sizes on nearby structures; sign size, shape, and placement will serve to define or enhance architectural elements of the building and will not unreasonably interrupt, obscure or hide them; sign designs will be in reasonable continuity with the mounting location, height, proportions and materials of other signage on the same or adjacent structures; sign materials, colors, lettering style, illumination and form are reasonably compatible with building design, neighborhood context and use; and sign size, location design and illumination are not judged to present a safety hazard to vehicular or pedestrian traffic.

Therefore, a Special Permit is granted for replacement of existing signs that includes a halo illuminated wall sign with letter height that will exceed the maximum allowed, a second wall sign, where the number of wall signs will exceed the maximum allowed by right, and a standing sign with halo illuminated letters, subject to the following condition:

- Illumination of all signage shall be limited to business hours.

The Inspector of Buildings is hereby authorized to issue a permit for the sign upon receipt and approval of a sign application and any other materials he may require. No sign shall be installed until said permit has been issued.

ZBA 2024-56
Petition of SIP Partners 984 Worcester Rd LLC
984 Worcester Street (CVS)

APPEALS FROM THIS DECISION,
IF ANY, SHALL BE MADE PURSUANT
TO GENERAL LAWS, CHAPTER 40A,
SECTION 17, AND SHALL BE FILED
WITHIN 20 DAYS AFTER THE DATE
OF FILING OF THIS DECISION IN THE
OFFICE OF THE TOWN CLERK.

Robert W. Levy (h.m.)
Robert W. Levy, Acting Chairman

David G. Sheffield (h.m.)
David G. Sheffield

Peter Covo (h.m.)
Peter Covo

ZBA 2024-56
Applicant SIP Partners 984 Worcester Rd LLC
Address 984 Worcester Street (CVS)

RECEIVED
TOWN CLERK'S OFFICE
WELLESLEY, MA 02460
2024 AUG 21 AM 8:47

NOT VALID FOR RECORDING UNTIL CERTIFIED BY TOWN CLERK

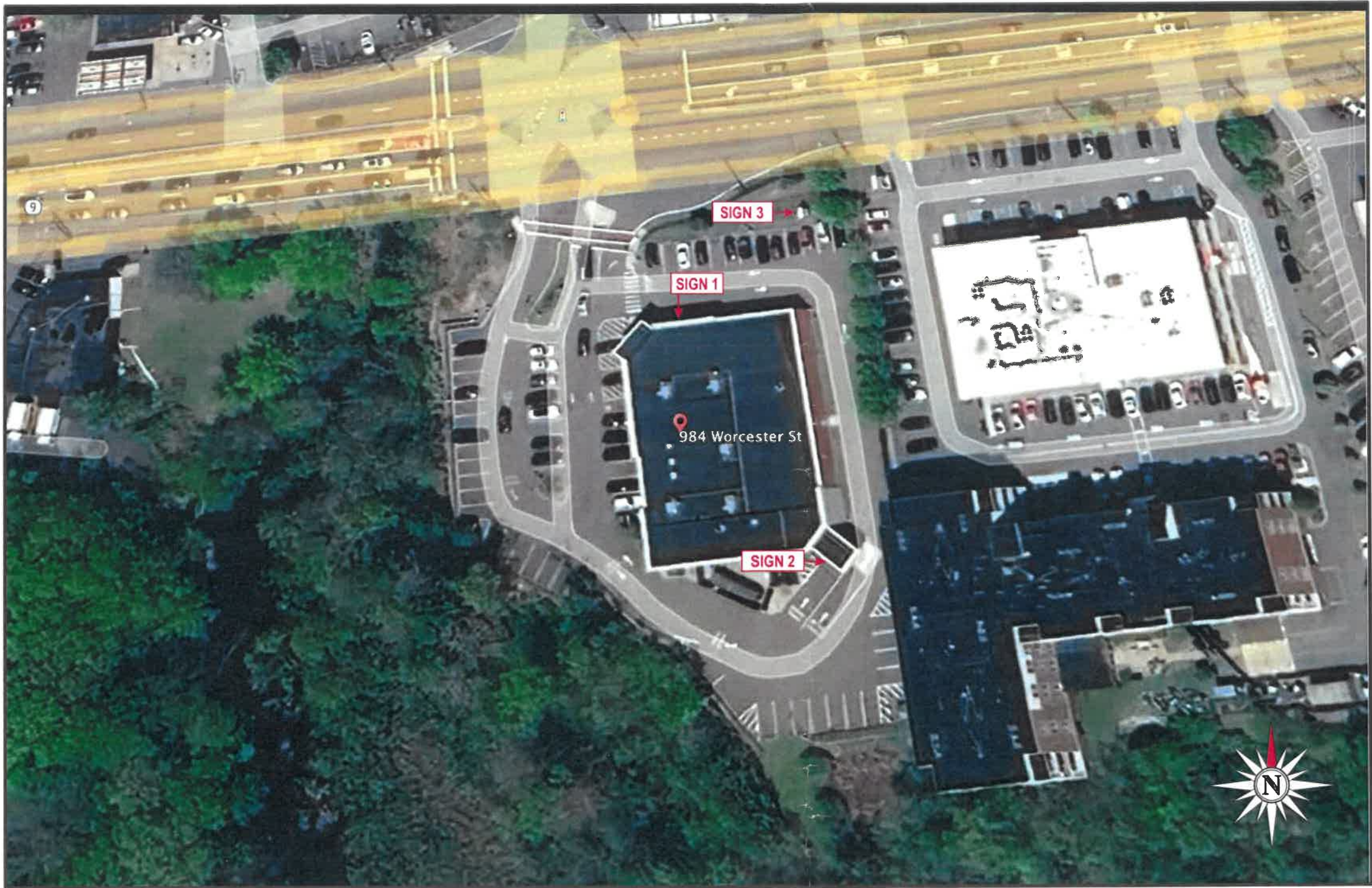
In accordance with Section 11 of Chapter 40A of the Massachusetts General Laws, I hereby certify that twenty (20) days have elapsed after the within decision was filed in the office of the Town Clerk for the Town of Wellesley, and that no appeal has been filed, or that if such appeal has been filed, that it has been dismissed or denied.

Date:

Attest:

Cathryn Jane Kato
Town Clerk

cc: Planning Board
Inspector of Buildings
lrm



A Sign Location Plan
Not To Scale

Poyant
Building Your Brand

125 Samuel Barnett Boulevard
New Bedford, MA 02745
800.544.0961 | poyantsigns.com

CVS pharmacy

Store #01254
984 Worcester Street
Wellesley, MA 02482

Project: 23992
CVS pharmacy

Sales: Gary McCoy
Date: 04.02.24
Designer: LR

Note:
This is an original unpublished drawing created by Poyants Signs, Inc. It is submitted for your personal use in connection with a project being planned for you by Poyant Signs, Inc. It is not to be shown to anyone outside your organization, nor is it to be reproduced, copied or exhibited in any fashion until transferred.

Revisions:

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This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and / or other applicable local codes. This includes proper grounding and bonding of the sign.

Approved By:

Date:

Sign Location Plan

Sign Location Plan

Proposal to remove and replace existing halo illuminated building sign - NO CHANGE IN ILLUMINATION

22 1/2" BY 17' 7 11/16" 33.08SF

Net DECREASE of 0.33 SF



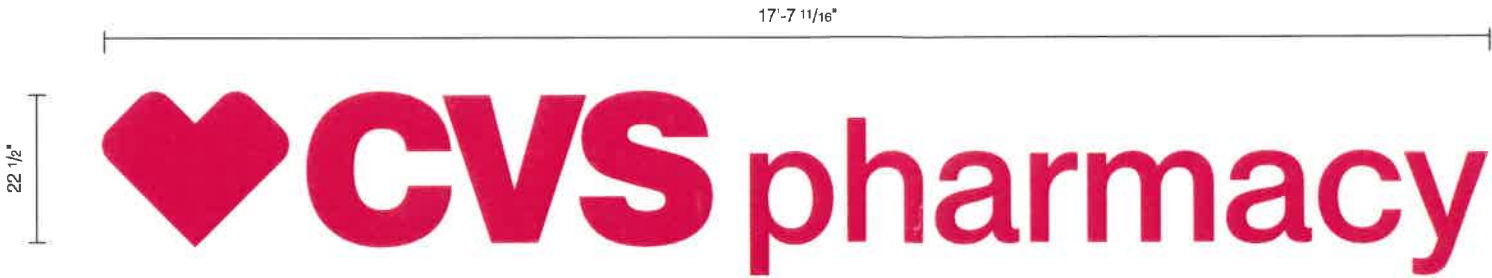
A Photo Comp - Existing
Not To Scale

| | |
|---|--|
| Existing Sign #1 (33.41 SQ. FT.) | |
| 24" Main ID Channel Letters | S/F <input checked="" type="checkbox"/> D/F <input type="checkbox"/> |
| Illuminated | Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> |
| Total Existing Signage = 33.41 SQ. FT. | |



B Photo Comp - Proposed
Not To Scale

| | |
|---|--|
| Proposed Sign #1 (33.08 SQ. FT.) | |
| IL-22-CL-L | S/F <input checked="" type="checkbox"/> D/F <input type="checkbox"/> |
| Illuminated | Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> |
| Total Proposed Signage = 33.08 SQ. FT. | |



1 Proposed Sign #1 - Front View
Scale: 1/2"=1'-0"



125 Samuel Barnett Boulevard
New Bedford, MA 02745
800.544.0961 | poyantsigns.com



500 S HOUSLEY
634 WYOMING STREET
WATTALEY, MA 02182


Project: 23992
CVS pharmacy

Sales: Gary McCoy
Date: 04.02.24
Designer: LR

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Revisions:

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Approved By:

Date:

Proposed Sign #1 IL-22-CL-L

Non-illuminated building sign to be replaced;
one for one same total SF proposed as existing



A Photo Comp - Existing
Not To Scale

| Existing Sign #2 (7.38 SQ. FT.) | | | |
|---|---|--|--|
| 9" Drive-Thru Pharmacy Stud Mounted Letters (Front) | S/F <input checked="" type="checkbox"/> | D/F <input type="checkbox"/> | |
| Non-Illuminated | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> | |
| Total Existing Signage = 7.38 SQ. FT. | | | |



B Photo Comp - Proposed
Not To Scale

| Proposed Sign #2 (7.38 SQ. FT.) | | | |
|--------------------------------------|---|--|--|
| Drive-Thru Pharmacy Cabinet | S/F <input checked="" type="checkbox"/> | D/F <input type="checkbox"/> | |
| Non-Illuminated | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> | |
| Total Proposed Signage = 7.38SQ. FT. | | | |

Poyant
Building Your Brand

125 Samuel Barnet Boulevard
New Bedford, MA 02745
800.544.0961 | poyantsigns.com

CVS pharmacy

Store #01254
984 Worcester Street
Wollaston, MA 02452

Project: 23992
CVS pharmacy

Sales: Gary McCoy
Date: 04.02.24
Designer: LR

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Revisions:

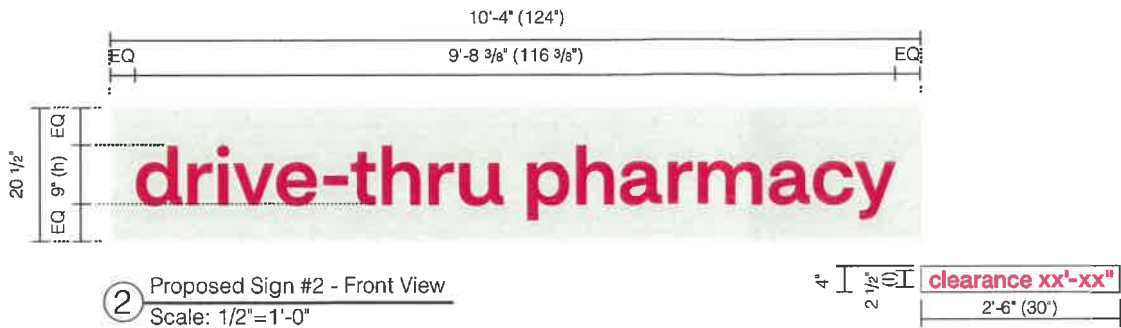


This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and / or other applicable local codes. This includes proper grounding and bonding of the sign.

Approved By:

Date:

Proposed Non-Illuminated Drive-Thru Canopy Cabinet



2 Proposed Sign #2 - Front View
Scale: 1/2"=1'-0"

Halo illuminated monument sign to be replaced;
one for one same total SF proposed as existing - NO CHANGE IN ILLUMINATION



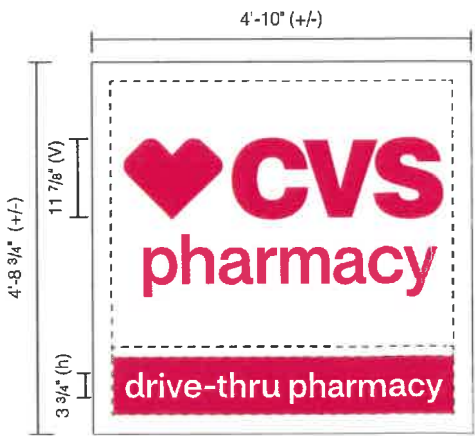
A Photo Comp - Existing
Not To Scale

| | |
|---|--|
| Existing Sign #3 (22.86 SQ. FT.) | |
| 10' Monument | S/F <input checked="" type="checkbox"/> D/F <input type="checkbox"/> |
| Illuminated | Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> |
| Total Existing Signage = 22.86 SQ. FT. | |



B Photo Comp - Proposed
Not To Scale

| | |
|---|--|
| Proposed Sign #3 (22.86 SQ. FT.) | |
| Monument Replacement Faces | S/F <input type="checkbox"/> D/F <input checked="" type="checkbox"/> |
| Illuminated | Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> |
| Total Proposed Signage = 22.86 SQ. FT. | |



3 Proposed Sign #3 - Front View
Scale: 1/2"=1'-0"



125 Samuel Barnett Boulevard
New Bedford, MA 02745
800.544.0961 | poyantsigns.com



Store #01254
984 Weymouth Street
Weymouth, MA 02482

Project: 23992
CVS pharmacy

Sales: Gary McCoy
Date: 04.02.24
Designer: LR

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Revisions:



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Approved By:

Date:

Proposed Monument
Replacement Faces

Monument Elevation

Pg.1
1 of 1