

TOWN OF WELLESLEY



MASSACHUSETTS

ZONING BOARD OF APPEALS

888 WORCESTER STREET • SUITE 160 • WELLESLEY, MA 02482

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WALTER B. ADAMS
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ZBA 2025-17

Petition of Pradeep & Bhargavi Rao
2 Shirley Road

Pursuant to due notice, the Special Permit Granting Authority held a Remote Public Hearing on Thursday, March 6, 2025, on the petition of Pradeep & Bhargavi Rao requesting a Special Permit/Finding pursuant to the provisions of Section 3.8, Section 5.1, and Section 6.3 of the Zoning Bylaw that construction of second story addition over an existing nonconforming structure with less than required front yard setbacks, construction of a front portico, and construction of a two-story addition and deck that will meet setback requirements, on a corner lot at 2 Shirley Road, in a 10,000 square foot Single Residence District and a Water Supply Protection District, shall not be substantially more detrimental to the neighborhood than the existing nonconforming structure.

On January 30, 2025, the Petitioner filed a request for a hearing before this Authority, and thereafter, due notice of the hearing was given by mailing and publication.

Present at the public hearing was Bhargavi Rao, who said that her family moved to Wellesley in November of 2023. She said that they have two elementary school aged kids. Mr. Rao said that he spoke with a couple of the neighbors and they were supportive of the project. He said that their kids are getting older and they need more space.

Michael Hally, Architect, said that the property contains a nonconforming structure on a conforming corner lot. He said that the request is for front setback relief to build an addition at the rear of the house and a partial second floor addition on top. He said that the existing nonconforming setback is 29 feet where 30 feet is required. He said that the plan is to come 9 feet off of the back, flush with the side for the first floor addition. He said that the existing enclosed sunroom will be removed to make room for an adequate foundation. He said that the partial second floor addition will be flush at the front but stops three feet or so on the back side. He said that the proposed portico at the front of the house will meet square footage and setback requirements.

Mr. Hally said that existing conventional air conditioning condensers are shown on the plot plan. He said that they will check with the Building Department so see if the condensers pre-date the bylaw that prohibits them in the setback. He said that if they have to move them to a conforming location, they will provide a plot plan to show that change.

Mr. Hally said that existing TLAG is 1,460 square feet and they will be adding almost 990 square feet, for a total of 2,449 square feet.

No member of the public wished to speak to the petition.

Statement of Facts

The subject property is located on a corner lot at 2 Shirley Road, in a 10,000 square foot Single Residence District and a Water Supply Protection District, with a minimum front yard setback to Weston Road of 29.3 feet where 30 feet is required.

The Petitioner is requesting a Special Permit/Finding pursuant to the provisions of Section 3.8, Section 5.1, and Section 6.3 of the Zoning Bylaw that construction of second story addition over an existing nonconforming structure with less than required front yard setbacks, construction of a front portico, and construction of a two-story addition and deck that will meet setback requirements, in a Water Supply Protection District, shall not be substantially more detrimental to the neighborhood than the existing nonconforming structure.

A Plot Plan, dated 12/26/24, revised 1/27/25, and 500' Rule letter, dated 1/27/25, stamped by Elliot J. Paturzo, Professional Land Surveyor, #34623, Floor Plans and Elevation Drawings, dated 1/25/25, prepared by Michael Hally Design, Inc., and photographs were submitted.

On March 4, 2025, the Planning Board reviewed the petition and recommended that a special permit be approved.

Decision

This Authority has made a careful study of the materials submitted and the information presented at the hearing.

The Board found that the Design and Operation Standards in Part F are adequately satisfied and not otherwise prohibited in Part D.1, of Section 3.8 of the Zoning Bylaw for Water Supply Protection Districts.

It is the opinion of this Authority that construction of second story addition over an existing nonconforming structure with less than required front yard setbacks, construction of a front portico, and construction of a two-story addition and deck that will meet setback requirements will not result in the intensification of existing nonconformities, will not result in additional nonconformities, and will not be substantially more detrimental to the neighborhood than the existing nonconforming structure.

Therefore, a Special Permit is granted, as voted unanimously by this Authority at the Public Hearing, for construction of second story addition over an existing nonconforming structure with less than required front yard setbacks, construction of a front portico, and construction of a two-story addition and deck that will meet setback requirements, in accordance with the submitted plans.

The Building Inspector is hereby authorized to issue a permit for construction upon receipt and approval of a building application and detailed constructions plans.

If construction has not commenced, except for good cause, this Special Permit shall expire two years after the date time stamped on this decision.

2025 MAR 20 PM 12:20

ZBA 2025-17
Petition of Pradeep & Bhargavi Rao
2 Shirley Road

APPEALS FROM THIS DECISION,
IF ANY, SHALL BE MADE PURSUANT
TO GENERAL LAWS, CHAPTER 40A,
SECTION 17, AND SHALL BE FILED
WITHIN 20 DAYS AFTER THE DATE
OF FILING OF THIS DECISION IN THE
OFFICE OF THE TOWN CLERK.

Robert W. Levy (km)
Robert W. Levy, Acting Chairman

David G. Sheffield (km)
David G. Sheffield

Walter B. Adams (km)
Walter B. Adams

ZBA 2025-17
Applicant Pradeep & Bhargavi Rao
Address 2 Shirley Road

NOT VALID FOR RECORDING UNTIL CERTIFIED BY TOWN CLERK

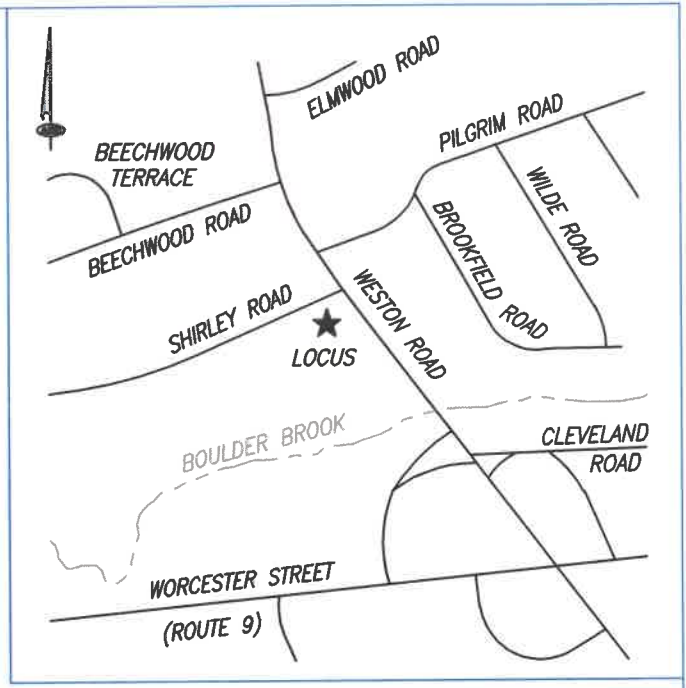
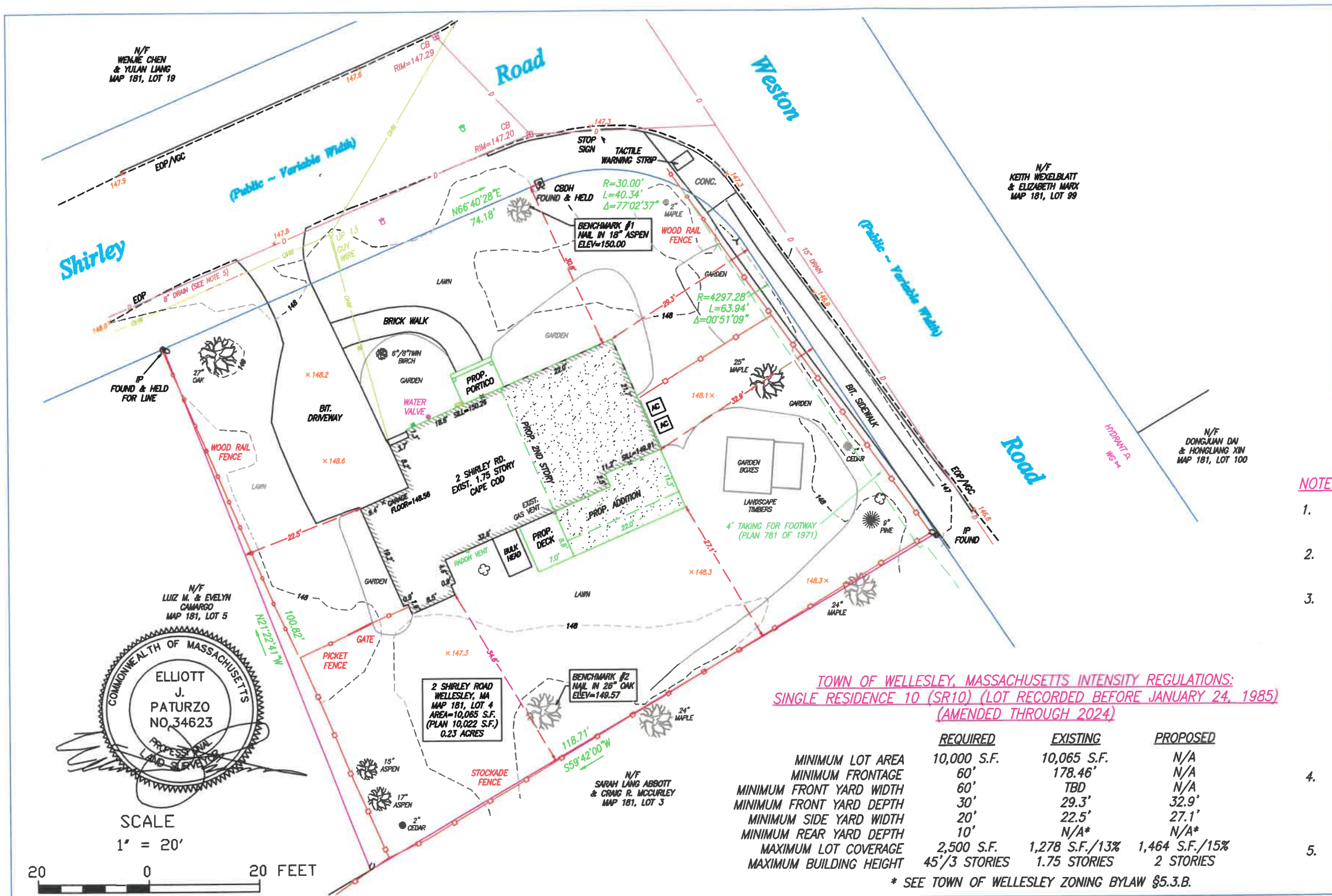
In accordance with Section 11 of Chapter 40A of the Massachusetts General Laws, I hereby certify that twenty (20) days have elapsed after the within decision was filed in the office of the Town Clerk for the Town of Wellesley, and that no appeal has been filed, or that if such appeal has been filed, that it has been dismissed or denied.

Date:

Attest:

Cathryn Jane Kato
Town Clerk

cc: Planning Board
Inspector of Buildings
lrm



LOCUS MAP
SCALE: 1" = 500'

- NOTES**
- SUBJECT TO ANY STATEMENT OF FACT AN UP-TO-DATE ABSTRACT OF TITLE WOULD DISCLOSE.
 - SUBJECT TO ALL RIGHTS, EASEMENTS, COVENANTS OR RESTRICTIONS OF RECORD.
 - UNDERGROUND UTILITIES, STRUCTURES AND FACILITIES, IF ANY, HAVE BEEN SHOWN FROM SURFACE LOCATIONS AND MEASUREMENTS OBTAINED FROM A FIELD SURVEY AND RECORD LOCATIONS, THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHER UTILITIES WHICH THE EXISTENCE OF ARE NOT KNOWN. SIZE, TYPE AND LOCATION OF ALL UTILITIES AND STRUCTURES MUST BE VERIFIED BY PROPER AUTHORITIES PRIOR TO ANY AND ALL CONSTRUCTION. CALL, TOLL FREE, DIG SAFE CALL CENTER AT 1-888-344-7233 SEVENTY-TWO HOURS PRIOR TO ANY EXCAVATION.
 - HORIZONTAL LOCATIONS SHOWN ON THIS PLAN REFERENCE THE NORTH AMERICAN DATUM OF 1983 (NAD 83). ELEVATIONS REFERENCE THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
 - LOCATION OF DRAIN LINES HAVE BEEN TAKEN FROM SUBDIVISION PLAN BY GLEASON ENGINEERING COMPANY (SEE PLAN REFERENCES) AND ARE SHOWN GRAPHICALLY.

TOWN OF WELLESLEY, MASSACHUSETTS INTENSITY REGULATIONS:
SINGLE RESIDENCE 10 (SR10) (LOT RECORDED BEFORE JANUARY 24, 1985)
(AMENDED THROUGH 2024)

	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	10,000 S.F.	10,065 S.F.	N/A
MINIMUM FRONTAGE	60'	178.46'	N/A
MINIMUM FRONT YARD WIDTH	60'	TBD	N/A
MINIMUM FRONT YARD DEPTH	30'	29.3'	32.9'
MINIMUM SIDE YARD WIDTH	20'	22.5'	27.1'
MINIMUM REAR YARD DEPTH	10'	N/A*	N/A*
MAXIMUM LOT COVERAGE	2,500 S.F.	1,278 S.F./13%	1,464 S.F./15%
MAXIMUM BUILDING HEIGHT	45'/3 STORIES	1.75 STORIES	2 STORIES

* SEE TOWN OF WELLESLEY ZONING BYLAW §5.3.B.

ZONING DESIGNATION:
TOWN OF WELLESLEY
ZONING DISTRICT
SINGLE RESIDENCE 10 (SR10)
WATER SUPPLY PROTECTION
OVERLAY DISTRICT

ASSESSOR'S REFERENCE:
MAP 181, LOT 4

I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY PERFORMED ON THE GROUND ON DECEMBER 26, 2024, AND THE LATEST PLANS AND DEEDS OF RECORD.

I CERTIFY THAT THE SUBJECT DWELLING SHOWN LIES IN A FLOOD ZONE "X" SHOWN ON MAP NUMBER 25021C0012E, HAVING AN EFFECTIVE DATE OF JULY 17, 2012.

REVISIONS

DATE	DESCRIPTION
01/27/25	SHEET SIZE & SCALE

FIELD: DMD
CALCS: DMD
DRAWN BY: DMD/SMI
FIELD EDIT: N/A
CHECKED: EJP
APPROVED:
JOB #: 2411105

1/27/25
PROFESSIONAL LAND SURVEYOR DATE

A.S. Elliott & Associates
Professional Land Surveyors
P.O. BOX 85 ~ HOPEDALE, MA 01747
(508) 634-0256 www.aselliott.com

**Existing Conditions
Plan of Land Showing
Proposed Improvements**
2 SHIRLEY ROAD
WELLESLEY, MASSACHUSETTS
PREPARED FOR: BHARGAVI RAO
DATE: DECEMBER 26, 2024
SCALE: 1" = 10'

RECEIPT

Printed: April 10, 2025 @ 9:01:18
Norfolk Registry of Deeds
William P O'Donnell
Register

Bk 42336 Pg 14 #21547
04-10-2025 @ 09:00a

Trans#: 22688 Oper:YSANCHEZ



MASSACHUSETTS

ING BOARD OF APPEALS
STREET • SUITE 160 • WELLESLEY, MA 02482

Book: 42336 Page: 14 Inst#: 21547
Ctl#: 84 Rec:4-10-2025 @ 9:00:19a
WELL 2 SHIRLEY ROAD

DOC	DESCRIPTION	TRANS AMT
DECISION		
10.00	rec fee	10.00
50.00	Surcharge	50.00
5.00	Tech. Surcharge	5.00
	Postage/Handling Fee	1.00
	State Fee \$40.00	40.00
	Total fees:	106.00
***	Total charges:	106.00
CHECK PM 1396		106.00

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DEREK B. REDGATE
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2025 MAR 20 PM 2:11

ZBA 2025-17
2 SHIRLEY ROAD

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MARGINAL REFERENCE
BOOK 41480 PAGE 577