

TOWN OF WELLESLEY



MASSACHUSETTS

ZONING BOARD OF APPEALS
888 WORCESTER STREET • SUITE 160 • WELLESLEY, MA 02482

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WALTER B. ADAMS
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ZBA 2025-44

Petition of Encore Properties of Wellesley, LLC
192-194 Worcester Street & 150 Cedar Street

Encore Properties Wellesley, LLC (the "Applicant") has requested from the Zoning Board of Appeals (the "Board") the issuance of a site plan approval subject to Section 3.2, Section 5.6 and Section 6.3 of the Zoning Bylaw for a major construction project at 192-194 Worcester Street, in a Business District, and at 150 Cedar Street, in a 15,000 square foot Single Residence District, authorizing the Applicant to construct 34 condominium units in a single building on those three lots, containing in the aggregate [62,862] sf (1.44 acres) of land (the "Site") all overlain by a Residential Incentive Overlay District (the "RIO").

THE PROJECT

Description

The Project consists of the redevelopment of the two lots at 192-194 Worcester Street and one lot at 150 Cedar Street, with a proposed four story, 34-unit multi-family, condominium housing project near the corner of Cedar Street with the entrance ramp at Route 9 eastbound (the "Worcester Street Extension") (the "Bellwether Building", and collectively with the Site, the "Project").

The Bellwether Building includes an at grade base pedestal story for parking and amenities, and three residential floors above. The ground floor (at grade with the Worcester Street Extension) contains the lower residential lobby, package and mail room, fitness room, treatment room, pet spa, bicycle storage, a movie room, and tenant storage, along with the indoor parking for the Bellwether Building, as well as space supporting building operations and maintenance. A single-story lobby connects the northern wing of the Bellwether Building to the southern wing. The second floor is comprised of the upper residential lobby, lounge, and community room while the remaining building area will be dedicated to residential units.

The ground floor garage level contains 34 single parking spaces (16 with EV charging stations), three accessible spaces (two with EV charging stations); and 44stacker spaces, for a total of 78 indoor parking spaces. There are no outdoor parking spaces.

The first residential level contains no 1-bedroom units, nine 2-bedroom units, and two 3-bedroom units. The second residential floor houses one 1-bedroom units, eleven 2-bedroom units, and one 3-bedroom unit. The third residential floor encompasses one 1-bedroom unit, eight 2-bedroom units and two 3-bedroom unit. The average sizes of the units are as shown in Table 1.

Table 1 – Unit Analysis (sf)

Unit Type	Count	Ave Size	Percent	Affordable
1-Bed	2	1,000 sf	5.9	1
2-Bed	28	1,600 sf	82.34	5
3-Bed	4	2,020 sf	11.76	1
Total	34	1,540 sf	100	7

Vertical access throughout the Bellwether Building is provided via two passenger elevators that extend from the ground floor level to the third residential floor, and via two stairways extending from the garage level to the third residential level. The vertical access is arranged with one elevator vestibule and one staircase in each of the north and south wings. Horizontal access at each floor is provided via a central corridor connecting the units to the elevator vestibule and the stair towers.

The site and surrounds

The Site is the aggregate of three component lots, 192-194 Worcester Street and 150 Cedar Street, comprising 62,862 sf (1.44 acres), and is located on the southernmost side of Worcester Street Extension near the corner with Cedar Street.

The Site is bounded on the northerly side by Worcester Street Extension, with businesses on the northerly-most side of Route 9. On the easterly side, the Site is bounded by a business use with a single-family residence use on the easterly side of Burke Lane. Along the southerly side, the Site is bounded by mixed multi-family and single-family residential use and small business use. On the westerly side, the Site is bounded by Cedar Street, with business uses beyond.

The Site exhibits relief of about 35 ft. The high point at about elevation 148 ft is found generally in the southerly side of the Site abutting the adjoining residential neighborhood, with slopes to the north and east grading down to elevation 112 ft at the northeast corner of the Site.

Test borings were performed at the Site using standard geotechnical methods to assess the subsurface conditions. Neither ledge nor groundwater was encountered in the test borings.

The subgrade conditions are favorable for supporting the Bellwether Building on a conventional spread footing foundation, though the relief on the Site will require material retaining walls.

RECORD OF DISCUSSIONS

On July 9, 2025, the Petitioner filed a request for a hearing before this Authority, and thereafter, due notice of the hearing was given by mailing and publication.

The Board opened a public hearing on August 21, 2025, continued to August 26, 2025 and September 30, 2025, and closed the hearing on September 30, 2025.

FINDINGS OF FACT

Zoning

The Zoning Bylaw provides, for each zoning district, requirements for the use of land and structures, as well as dimensional requirements for the land and structures erected upon the land.

Use Requirements

The Project is located in a Business District and a Single-family Residential District, within a Residential Incentive Overlay (RIO) District. Among the uses allowed in the RIO District are: (1) conventional multi-unit dwelling units; (2) assisted elderly living; (3) independent elderly housing; and (4) nursing homes and skilled nursing facilities.

As conventional multi-unit, multi-family, dwelling units, the use of the Project is allowed by right in the RIO District.

Dimensional Requirements

The Zoning Bylaw provides for each zoning district dimensional requirements for the lot, for the placement of buildings and structures on the land, and for the structures themselves. The dimensional requirements for the RIO District, and the corresponding dimensional information from the Project are summarized in Table 2.

Table 2 – RIO Dimensional Comparison

Dimensional Metrics	Required	Existing	Proposed
Lot Area	45,000 sf	62,852 sf	62,862 sf
Open Space	18,859 sf	22,700 sf	26,950 sf
Enhanced Open Space	9,429 sf	N/A	13,415 sf
Development Density	1,800 sf/U	34,264 sf/U	1,848 sf/U
Front Yard Depth	25 ft	27.75 ft	25.08 ft
Side Yard Depth	10 ft	5.16 ft	16.42 ft
Rear Yard Depth	10 ft	18.42 ft	36.50 ft
Building Height		19.83 ft	
Floor Area	N/A	10,875 ft	83,671 sf

2025 OCT 14
TOWN OF STURGEON'S OFFICE
WELLESLEY, MA 02481

With respect to the dimensional requirements for the lot, the Project meets the RIO District requirements for lot area with no requirement for lot frontage. With respect to those requirements for the placement of the structure on the lot, the Project meets the front yard depth requirements for the RIO District, as well as the side yard width requirements. The Project meets front yard and rear yard setback requirements and for the dimensional requirements for the structures themselves, the Project meets the RIO District requirements for maximum building height.

Land Use and Planning

As noted above, under the Zoning Bylaw, multi-family residential use is allowed in the RIO District, so the Project is consistent with the Town's land use and planning requirement as set forth in the Zoning Bylaw.

Site Work

Site access

Access to the Bellwether Building resident parking will be provided by way of a driveway that will intersect the southern side of the Worcester Street Extension approximately 100 ft east of the Cedar Street intersection.

The Site access has been reviewed by both the Applicant's traffic engineer and the Planning Board's traffic peer reviewer (under the PSI process), who concur safe and efficient vehicular, pedestrian and bicycle access will be provided to the Project site and the Project can be accommodated within the confines of the existing and improved transportation system.

On-site parking

On-site parking will be provided within the Bellwether Building at ground level for 78 vehicles consisting of 34 surface spaces and 44 stacker spaces. The surface spaces include 16 EV spaces and three accessible ADA spaces, or a parking ratio of approximately 2.29 spaces per dwelling unit, meeting the RIO parking requirements.

Stacker parking

The Applicant proposes to use a semi-automated lift-sliding stacker parking system (the "Stacker System") at the garage level to maximize the number of parking spaces available at the garage level. The Stacker System is a two-level vehicle storage and retrieval system for storing cars in vertical and horizontal arrays, with the upper storage level at the garage floor grade, and the lower level of storage in a pit below that grade.

To park a car, the resident presses a key fob or control panel to open a safety gate and allow the car to be driven into the lift-sliding platform. After the driver exits and the safety gate is lowered, the programmable logic controller software lifts and slides the various cars already stored to clear a path for the car to be moved to its assigned position. To retrieve the car, the driver activates the control panel, and the software reverses the

process and moves the desired car to the entrance position and opens the safety gate. The retrieval process generally takes under a minute, and the driver receives direct access to the car without removing other vehicles from the Stacker System.

The Stacker System is operated by separate electric motors that slide and lift the platforms to the desired position, and those motors are equipped with limit switches which constrain motions to the correct system levels and positions. Motion sensors and lasers detect obstructions within the Stacker System and stop operation in an emergency. A sprinkler system is provided for both the at grade vehicles and for those in the pit below.

Utilities

Within Cedar Street and Worcester Street Extension, the Site is served by a variety of public utilities including water, sewer, natural gas, stormwater, electric, telephone and cable. The provision of such utilities was vetted by the Planning Board under the PSI process, and the Board concludes that further additional review is not warranted.

Site retaining walls

The siting of the ground floor at substantially the same elevation as Worcester Street Extension, materially the low point of the Site, results in the roof elevation about twelve feet higher than the Site high point. While this siting of the Bellwether Building sets the building into the hill along the southern side of the Site, and minimizes the visual impact of the building, it results in the need for retaining walls along the western and southern perimeter of the Bellwether Building. Due to the nature of the topography, all of the retaining walls on this perimeter have the building side of the retaining wall at a lower elevation than the abutter side, so the retaining walls are seen from the Bellwether Building, but not from the abutting properties. Similarly, the Bellwether Building masks the view of these perimeter retaining walls from most views from Cedar Street.

The design of the retaining walls is of two different types, depending on whether the wall is principally functional, along the western and southern boundaries, or principally architectural, along the eastern side. Functional walls are traditional reinforced concrete inverted tee or soldier pile retaining walls formed with either a vertical formed board surface or a textured formliner, and varying in the amount of unbalanced fill from five feet to 13 feet. All of the functional retaining walls along the western and southern boundaries, including terraced walls, are less than 10 ft from the property line, and therefore will require a special permit under Section 5.14 of the Zoning Bylaw. The Applicant has submitted a separate petition for the relief required for the retaining walls.

The Bellwether Building

Density

There are only three completed projects in a RIO District: (1) Waterstone at Wellesley at 27 Washington Street; (2) Terrazza at 100 Linden Street; and (3) the Bristol at 148

Weston Road. According to data presented by the Planning Department staff, the density of Waterstone is 1,664 sf per dwelling unit, which meets the RIO District density requirements for an assisted living project (1,400 sf per dwelling unit). According to publicly available data, Terrazza has a density of 1,765 sf per dwelling unit, and the Bristol has a density of 2,320 sf per dwelling, which meet the density requirements of the development agreements under which the developments were completed.

Since the Project has 34 units on 1.44 acres, the density of the Project is 23.6 units/acre or 1,848 sf per dwelling unit. Since the RIO District requirement for minimum building density of a conventional project is 1,800 sf per dwelling unit, the Project meets the RIO density requirements.

Height and bulk

Under the terms of the Zoning Bylaw, the height of a building is measured from the average grade to the peak of the roof. For the Bellwether Building, that height is approximately 35.9 ft, meeting the height allowed in the RIO District (45 ft). Further, the building is sited vertically such that the garage level is at the elevation of Worcester Street Extension, which is near the low point on the Site and thereby minimizes the overall apparent height of the Bellwether Building.

Overall, the height and bulk of the Bellwether Building is significant when compared to the other single-family residential structures in the neighborhood, though the height and bulk are similar to the commercial buildings across Worcester Street from the Project and those further to the west across Cedar Street, and also further mitigated by being located at a lower ground elevation than the nearby residential structures.

Environmental Considerations

There are no wetlands located on the Site, and the Site is not located within the Water Supply Protection District. Review of available environmental databases such as MassGIS reveals that the Site is not located within a mapped Natural Heritage Endangered Species Area, FEMA Flood Insurance Rate Map Panel No. 25021C0016E, or a Contributing Watershed to Outstanding Resource Water.

Other than customary snow and ice control chemicals and fuel stored in the automobiles parked in the garage, storage of chemicals that would threaten groundwater or surface water is not part of the Project.

Signage

The submitted drawings do not show a sign over the main entrance on Worcester Street Extension, or at any other location on the Site, so insufficient information is provided to make a comparison to the RIO District sign requirements. The addition of such signs will require the customary sign permit from the Building Inspector.

The submitted drawings indicate that signage related to traffic and parking control on the Site will comply with the applicable standards of the Manual of Uniform Traffic Controls.

SUBMITTALS FROM THE APPLICANT

- Application for Site Plan Approval and Special Permit
- Site Plan Approval Checklist
- Development Prospectus
- Bellwether Condominium Affordable Housing Plan, dated July 7, 2025, including Outline Specifications, Plan A11, 1st Floor Plan, Plan A12, 2nd Floor Plan, A13, 3rd Floor Plan, dated November 18, 2024, prepared by Embarc
- Municipal Systems Impact Analysis, 192-194 Worcester Street Residential Project, Wellesley, Massachusetts, prepared by Wozny/Barbar & Associates, Inc., Consulting Engineers
- Construction Management Plan, dated May 16, 2025, prepared by Reynolds Construction Services, Inc., (ReyCon)
- Memorandum, dated August 20, 2025, to Town of Wellesley Zoning Board of Appeals, from Aaron Honsaker, Embarc, re: The Bellwether/192-194 Worcester Street, Fire Department Access Comments – Design Team Response, including Plan C-5, Wellesley Police Response Plan, Plan C-6, Wellesley Response Plan Ambulance, Plan C-7, Wellesley Fire Response Plan Tower 2, Plan C-8, All Emergency Vehicle Response Plan – Fire, Plan C-20, Wellesley Fire Response Plan Command, Plan C-21, Wellesley Fire Response Plan Quint 3, Plan C-22, Wellesley Fire Response Plan Engine 2, Plan C-23, All Emergency Vehicle Response Plan – Medical, dated July 8, 2025, stamped by Bradley C. McKenzie, P.E. #36917
- Drainage Calculations and Stormwater Management Plan, dated July 8, 2025, stamped by Bradley C. McKenzie, P.E. #36917

Table 3 – Applicant Submitted Drawings

Plan Number	Drawing Title	Date of Issue	Prepared By	Date of Revision
A00	Cover Sheet	7/8/25	Dartagnan Brown, R.A. #20350	
EX-1	Existing Conditions Plan	4/29/25	Richard Hood, R.L.S. #35031	9/9/25
C-1	Boring Plan	7/8/25	Bradley C. McKenzie, #36917	

2025
TOWN OF WELLESLEY
PLANNING & ZONING
DEPARTMENT
WELLESLEY, MASSACHUSETTS
MAIL: 36

C-2	Site Development Plan	7/8/25	Bradley C. McKenzie, #36917	
C-3	Grading & Drainage Plan	7/8/25	Bradley C. McKenzie, #36917	
C-4	Utility Plan	7/8/25	Bradley C. McKenzie, #36917	
C-5	Wellesley Police Access Plan	7/8/25	Bradley C. McKenzie, #36917	
C-6	Wellesley Ambulance Access Plan	7/8/25	Bradley C. McKenzie, #36917	
C-7	Wellesley Fire Access Plan	7/8/25	Bradley C. McKenzie, #36917	2025 OCT 1 - AM 11:36
C-8	All Emergency Vehicle Access Plan	7/8/25	Bradley C. McKenzie, #36917	2025 OCT 1 - AM 11:36
C-9	Ford E-450 Access Plan	7/8/25	Bradley C. McKenzie, #36917	2025 OCT 1 - AM 11:36
C-10	Refuse Truck Access Plan	7/8/25	Bradley C. McKenzie, #36917	
C-11	Construction Details Sheet 1 of 6	7/8/25	Bradley C. McKenzie, #36917	
C-12	Construction Details Sheet 2 of 6	7/8/25	Bradley C. McKenzie, #36917	
C-13	Construction Details Sheet 3 of 6	7/8/25	Bradley C. McKenzie, #36917	
C-14	Construction Details Sheet 4 of 6	7/8/25	Bradley C. McKenzie, #36917	
C-15	Construction Details Sheet 5 of 6	7/8/25	Bradley C. McKenzie, #36917	

C-16	Construction Details Sheet 6 of 6	7/8/25	Bradley C. McKenzie, #36917	
C-17	Erosion & Sedimentation Control Plan	7/8/25	Bradley C. McKenzie, #36917	
C-18	Site Cross Section Plan A-A	7/8/25	Bradley C. McKenzie, #36917	
C-19	Site Cross Section Plan B-B	7/8/25	Bradley C. McKenzie, #36917	
L1.0	Landscape Plan	7/8/25	Douglas Jones, R.L.A #1057	2025 OCT 1
L2.0	Overall Planting Plan	7/8/25	Douglas Jones, R.L.A #1057	2025 OCT 1
L3.0	Raised Planters & Retaining Walls Diagram	7/8/25	Douglas Jones, R.L.A #1057	2025 OCT 1
L4.0	Cedar Street Entry Drive Sections	7/8/25	Douglas Jones, R.L.A #1057	2025 OCT 1
L4.1	Large Retaining Wall Sections	7/8/25	Douglas Jones, R.L.A #1057	
L4.2	Raised Planter Sections	7/8/25	Douglas Jones, R.L.A #1057	
L4.3	Raised Planter Sections	7/8/25	Douglas Jones, R.L.A #1057	
L5.0	Planting & Paving Details	7/8/25	Douglas Jones, R.L.A #1057	
A01	Aerial Context View	7/8/25	Dartagnan Brown, R.A. #20350	
A02	Locus Plan	7/8/25	Dartagnan Brown, R.A. #20350	

A03	Existing Site Photos	7/8/25	Dartagnan Brown, R.A. #20350	
A04	Zoning Review	7/8/25	Dartagnan Brown, R.A. #20350	
A05	Open Space Diagram	7/8/25	Dartagnan Brown, R.A. #20350	
A06	Site Access & Use Diagram	7/8/25	Dartagnan Brown, R.A. #20350	
A07	Refuse and Recycling Diagram	7/8/25	Dartagnan Brown, R.A. #20350	
A08	Architectural Site Plan	7/8/25	Dartagnan Brown, R.A. #20350	
A10	Ground Floor Plan	7/8/25	Dartagnan Brown, R.A. #20350	2025-07-14 11:37
A11	1 st Floor Plan	7/8/25	Dartagnan Brown, R.A. #20350	
A12	2 nd Floor Plan	7/8/25	Dartagnan Brown, R.A. #20350	
A13	3 rd Floor Plan	7/8/25	Dartagnan Brown, R.A. #20350	
A14	Roof Plan	7/8/25	Dartagnan Brown, R.A. #20350	
A20	Exterior E elevations	7/8/25	Dartagnan Brown, R.A. #20350	
A21	Exterior E elevations	7/8/25	Dartagnan Brown, R.A. #20350	
A25	Enlarged E elevations & Materials	7/8/25	Dartagnan Brown, R.A. #20350	

A30	Building Sections	7/8/25	Dartagnan Brown, R.A. #20350	
A90	Exterior Renderings	7/8/25	Dartagnan Brown, R.A. #20350	
A91	Exterior Renderings	7/8/25	Dartagnan Brown, R.A. #20350	
A92	Exterior Renderings	7/8/25	Dartagnan Brown, R.A. #20350	
A93	Aerial 3D View	7/8/25	Dartagnan Brown, R.A. #20350	
Rw-00	Cover	9/9/25	Embarc	
Site	Existing and Proposed Retaining Wall	9/9/25	Richard Hood, R.L.S. #35031	
Sheet 1	Existing and Proposed Retaining Wall	9/9/25	Richard Hood, R.L.S. #35031	
Sheet 2	Existing and Proposed Retaining Wall	9/9/25	Richard Hood, R.L.S. #35031	
Sheet 3	Existing and Proposed Retaining Wall	9/9/25	Richard Hood, R.L.S. #35031	
RW-1	Retaining Walls – Northwest	9/9/25	Embarc	100-0207
RW-2	Retaining Walls – Northwest	9/9/25	Embarc	100-0207
RW-3	Retaining Walls – Northwest	9/9/25	Embarc	100-0207
RW-4	Retaining Walls – Northwest	9/9/25	Embarc	100-0207
RW-5	Retaining Walls – Courtyard	9/9/25	Embarc	
RW-6	Retaining Walls – Courtyard	9/9/25	Embarc	
RW-7	Retaining Walls – Courtyard	9/9/25	Embarc	

RW-8	Retaining Walls – Courtyard	9/9/25	Embarc	
RW-9	Retaining Walls – Courtyard	9/9/25	Embarc	
RW-10	Retaining Walls – Driveway	9/9/25	Embarc	
RW-11	Retaining Walls – Driveway	9/9/25	Embarc	
RW-12	Retaining Walls – Driveway	9/9/25	Embarc	
RW-13	Retaining Walls – Driveway	9/9/25	Embarc	
RW-14	Retaining Walls – Driveway	9/9/25	Embarc	2025-09-09
RW-15	Retaining Walls – Terraced Wall	9/9/25	Embarc	2025-09-09
RW-16	Retaining Walls – Terraced Wall	9/9/25	Embarc	2025-09-09
RW-17	Retaining Walls – Terraced Wall	9/9/25	Embarc	2025-09-09
RW-18	Retaining Walls – East	9/9/25	Embarc	2025-09-09
RW-19	Retaining Walls – East	9/9/25	Embarc	
RW-20	Retaining Walls – East	9/9/25	Embarc	
RW-21	Reference Images	9/9/25	Embarc	

(collectively, the “Approved Plans”)

SUBMITTALS ON BEHALF OF THE TOWN OF WELLESLEY:

On August 18, 2025, George Saraceno, Assistant Town Engineer, Town of Wellesley, Department of Public Works, Engineering Division, reviewed the Project and submitted comments.

On August 19, 2025, Ian McMakin, Deputy Chief, Town of Wellesley, Fire Rescue Department, reviewed the Project and submitted comments.

On March 14, 2025, the Design Review Board reviewed the Project and voted unanimously to recommend approval, subject to recommendations.

On August 19, 2025, the Planning Board reviewed the Project and recommended that the Site Plan approval be granted.

DECISION

The Applicant has requested from the Board the issuance of a site plan approval subject to the Zoning Bylaw Section 5.6, §§.(C)(2)(a) and (c), authorizing the Applicant to construct the Project.

The Board has made a careful study of the materials submitted and the information presented at the hearing, and has documented the results of the study above. Based on the results of the study, on September 30, 2025 the Board voted unanimously to grant the Site Plan approval pursuant to Section 5.6 of the Zoning Bylaw for a Major Construction Project subject to Site Plan Review.

The Inspector of Buildings is hereby authorized to issue a permit for construction upon receipt and approval of a building application and detailed constructions plans. If construction has not commenced, except for good cause, this Site Plan Approval shall expire two years after the date time stamped on this decision.

CONDITIONS TO THE DECISION

The Board's approval of the Site Plan is subject to the Applicant's and the Project's compliance with the following conditions. All requirements imposed by these conditions or this Site Plan Approval shall be applicable to the Applicant, its successors and assigns, and all owners and residents of the Project, regardless of whether the condition specifically identifies the Applicant, the condominium association or no entity as having responsibility for a particular condition.

TO THE HONORABLE
JOHN G. BREWER'S OFFICE
WELLINGTON, PA 02482

General

1. This Permit authorizes the construction, use and occupancy of a project comprised of one residential building containing 34 dwelling units, along with associated parking and infrastructure as shown on the Approved Plans above.
2. The Project shall be constructed in accordance with the Approved Plans and written materials specified above, subject to modifications required below:
3. By accepting this Site Plan approval the Applicant agrees to the terms, covenants and conditions and agreements contained herein.
4. Except for the relief granted by the Board as listed in these Conditions, the Applicant shall comply with all provisions of the Zoning Bylaw and general bylaws generally applicable to a project approved in September, 2025. No fees are waived in connection with the Project. Fees shall be those then in effect at the time of application for the permit or approval subject to the fee.
5. Contract documents, including working drawings and specifications for the Project shall undergo the usual and customary review and approvals of the Building Inspector, the Town Engineer, or any other applicable local inspector or board.
6. The Project shall be designed and constructed substantially in compliance with the drawings and data submitted with the Application for Site Plan Approval, except as modified by these Conditions.

Design Conditions

7. Design and construction of the Project shall fully comply with all applicable federal and state laws and regulations, including, but not limited to, the requirements of the Massachusetts State Building Code (780 CMR) and the Massachusetts Architectural Access Board (521 CMR). The Project shall be designed and constructed on the Site in accordance with the Approved Plans, except as provided in this Site Plan approval, including these Conditions. Any requirement of consistency with the Plans means as those Plans are modified by the Conditions.

8. The Project shall contain a total of 78 parking spaces, with 44 garage stacker parking spaces and 34 surface parking spaces, as shown on the Approved Plans.
9. There shall be no pavement added to the Project beyond that which is depicted on the Approved Plans and there shall be no additional accessory structures added to the Project or to the Site other than what is shown on the Approved Plans.
10. All utilities to serve the Site shall be installed underground (with the exception of junction boxes, transformers and similar appurtenances) by the Applicant using methods standard to those installations. Utilities shall include electric service lines, gas service, telephone lines, water service lines, sewer service lines, CATV lines, municipal conduit, and the like.
11. The water, wastewater, drainage, and stormwater management systems servicing the buildings shall be installed and tested in accordance with applicable Town standard requirements and protocols.

Construction Conditions

12. The Applicant shall implement its "Construction Management Plan – 192-194 Worcester Street" dated May 16, 2025 (the "Construction Management Plan"), as modified by these Conditions.
13. During the active use of Construction Gates 'A' and 'B', the Applicant will provide, or cause to be provided, active control of any pedestrian foot traffic crossing the widths of the gates via police detail officers or equivalent active or passive intersection protection.
14. All construction and delivery vehicles entering the Site shall stop at an established construction exit for a wheel wash to prevent the entrance of deleterious materials onto the streets of the Town. The Applicant shall cause Worcester Street and Cedar Street to be swept as frequently as required in the event that dust, dirt and debris not completely removed by the truck wash are deposited on Worcester Street or Cedar Street.

15. Insofar as practicable, refueling of construction equipment on the Site shall be prohibited. In the event that on-site refueling cannot be avoided, such refueling shall be performed with due consideration to spill prevention and control measures that should reasonably be applied.

Use Conditions

18. The stormwater management system design shall function consistent with the Approved Plans, and with the "Drainage Calculations and Stormwater Management Plan," prepared by McKenzie Engineering Group, Inc. dated July 8, 2025, and shall be maintained by the Applicant or condominium association in accordance with the "Post-Development Phase Best Management Practices Operation and Maintenance Plan/Long-Term Pollution Prevention Plan" dated July 8, 2025.
19. There shall be no parking on the internal Site driveways, outside of designated parking areas shown on the Approved Plans, and there shall be no parking on Worcester Street or Cedar Street. Residents shall be informed of the parking restrictions upon execution of the purchase documents and this restriction shall be included in the terms of any tenants' subleases.
20. Landscaping shall be in conformance with the Landscaping Plan and shall be maintained, repaired, or replaced as needed by the Applicant or the condominium association.

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TOWN CLERK'S OFFICE
WELLESLEY MA 02481
2025 OCT - 1 PM 11:37

APPEALS FROM THIS DECISION,
IF ANY, SHALL BE MADE PURSUANT
TO GENERAL LAWS, CHAPTER 40A,
SECTION 17, AND SHALL BE FILED
WITHIN 20 DAYS AFTER THE DATE
OF FILING OF THIS DECISION IN THE
OFFICE OF THE TOWN CLERK.

J. Randolph Becker (rm)
J. Randolph Becker, Chairman

David Sheffield (rm)
David Sheffield

Walter B. Adams (rm)
Walter B. Adams

ZBA 2025-43
Applicant Encore Properties of Wellesley LLC
Address 192-194 Worcester Street and 150 Cedar Street

2025 OCT - 1
WALTER B. ADAMS
TOWN CLERK'S OFFICE
WELLESLEY, MA 02482

NOT VALID FOR RECORDING UNTIL CERTIFIED BY TOWN CLERK

In accordance with Section 11 of Chapter 40A of the Massachusetts General Laws, I hereby certify that twenty (20) days have elapsed after the within decision was filed in the office of the Town Clerk for the Town of Wellesley, and that no appeal has been filed, or that if such appeal has been filed, that it has been dismissed or denied.

Date:

Attest:

Cathryn Jane Kato
Town Clerk

cc: Planning Board
Inspector of Buildings
lrm

ENCORE PROPERTIES

ZBA HEARING

THE BELLWETHER

WELLESLEY, MA

EMBARC

AUGUST 21ST, 2025

PROJECT OVERVIEW

PROJECT ADDRESS

- 192-194 WORCESTER ST, WELLESLEY, MA

PROJECT DESCRIPTION

- NEW CONSTRUCTION OF A THREE - FOUR (3-4) STORY RESIDENTIAL BUILDING
- THIRTY FOUR (34) RESIDENTIAL UNITS
- SEVENTY EIGHT (78) TOTAL PARKING SPACES

ZONING DISTRICT

- RESIDENTIAL INCENTIVE OVERLAY (RIO)
- UNDERLYING ZONING : BUSINESS (192 AND 194 WORCESTER ST), SINGLE RESIDENCE 15 (150 CEDAR ST)

LOT SIZE

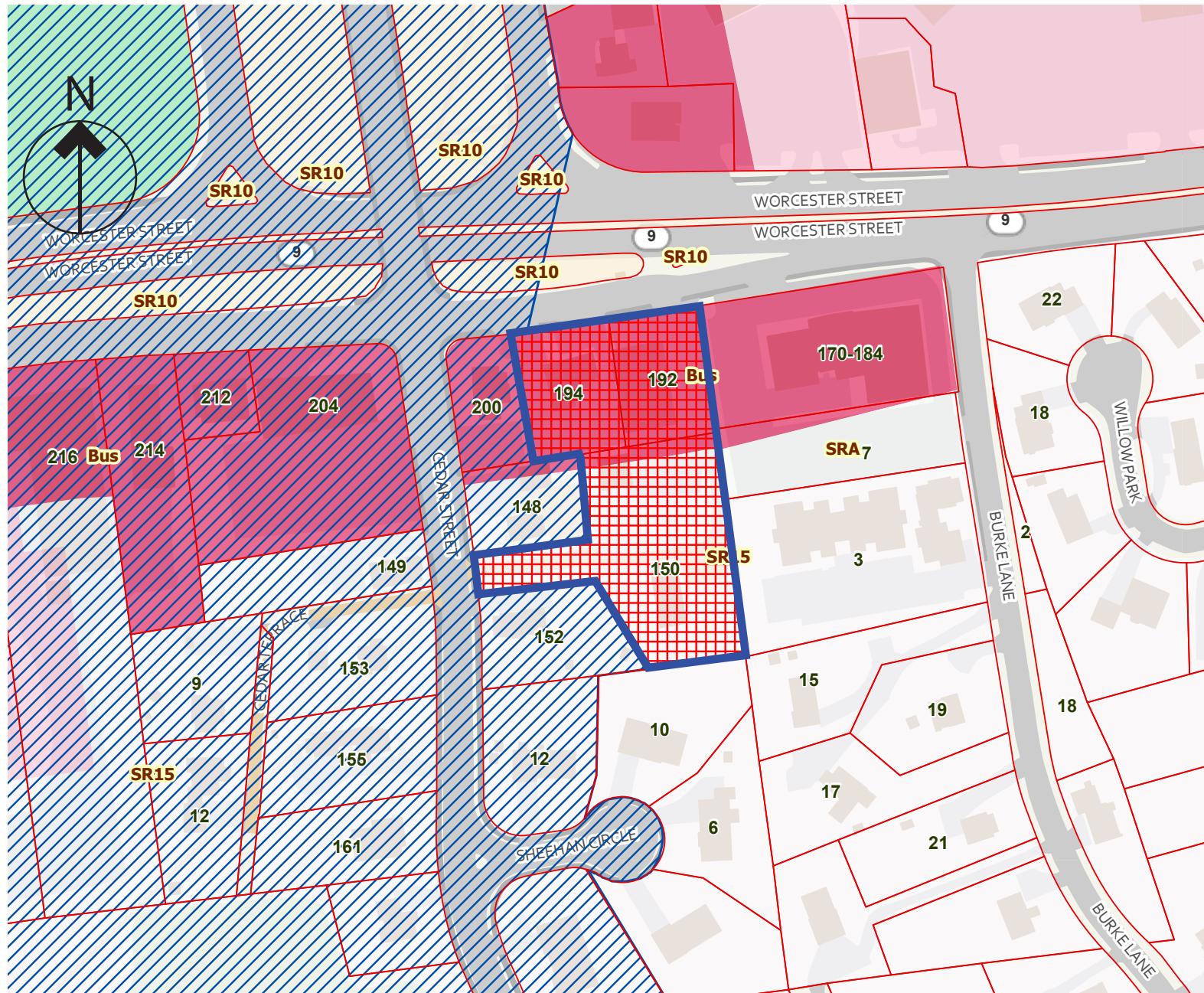
- 62,862 SQUARE FEET (1.44 ACRES)

PERMITTING

- RIO OVERLAY ZONING ESTABLISHED VIA TOWN MEETING VOTE IN APRIL 2024
- RIO PERMIT APPROVED ON: FEBRUARY 24, 2025
- DESIGN REVIEW BOARD, APPROVED ON: MARCH 12, 2025
- PROJECT OF SIGNIFICANT IMPACT, APPROVED ON: MAY 19, 2025



ZONING | RESIDENTIAL INCENTIVE OVERLAY DISTRICT



 Assessor Parcels
 Zoning Overlay Districts
 Residential Incentive Overlay District
 Water Supply Protection District

 Zoning Districts
 Administrative/Professional
 Business
 Business A
 General Residence
 Parks, Recreation, and Conservation
 Single Residence 10
 Single Residence 15
 Single Residence A

SITE AREA: 62,862 SF (1.44 ACRES)

24 UNITS/ ACRE ALLOWABLE

34 TOTAL UNITS ALLOWABLE

**RIO OVERLAY ESTABLISHED VIA TOWN MEETING VOTE
AT APRIL 2024 TOWN MEETING**

RIO PERMIT APPROVED ON FEBRUARY 24, 2025

ZONING REVIEW

ZONING DISTRICT(S): BUSINESS (ALL 3 PARCELS), SINGLE RESIDENCE 15 (150 CEDAR ST)

OVERLAYS: RESIDENTIAL INCENTIVE OVERLAY (RIO)

DIMENSIONAL PARAMETERS	REQUIRED	EXISTING ¹	PROPOSED
LOT AREA	45,000 SF (MIN.)	62,862 SF	62,862 SF
OPEN SPACE	18,859 SF (MIN.)	22,700 SF (APPROX.)	26,950 SF
ENHANCED OPEN SPACE	9,429 SF (MIN.)	N/A	13,415 SF
DEVELOPMENT DENSITY ²	1,800 SF (MIN.)	34,264 SF	1,848 SF
FRONT YARD DEPTH	25' (MIN.)	27' - 9"	25' - 1"
SIDE YARD DEPTH	10' (MIN.)	5' - 2"	16' - 5"
REAR YARD DEPTH	10' (MIN.)	18' - 5"	36' - 6"
BUILDING HEIGHT	SEE SECTION DWG	19' - 10"	SEE SECTION DWG
OFF-STREET PARKING	68 (MIN.)	38 (APPROX.)	78
FLOOR AREA	N/A	10,875 SF	83,671 SF

1. SEE EXISTING CONDITIONS PLAN FOR EXISTING LOT CONFIGURATION AND EXISTING ZONING CONFORMANCE PER LOT.

2. CALCULATED AS LOT AREA PER UNIT.

SITE CONTEXT | LOCUS PLAN



SITE CONTEXT | AERIAL VIEW



SITE | EXISTING CONDITIONS



1 VIEW OF PROJECT SITE FROM WORCESTER STREET MEDIAN



2 VIEW OF PROJECT SITE FROM WORCESTER STREET, LOOKING SOUTH



3 VIEW OF PROJECT SITE FROM WORCESTER STREET & CEDAR STREET INTERSECTION



4 VIEW OF PROJECT SITE ACCESS DRIVEWAY FROM CEDAR STREET



5 VIEW OF EXISTING RETAINING WALLS WITHIN PROJECT SITE



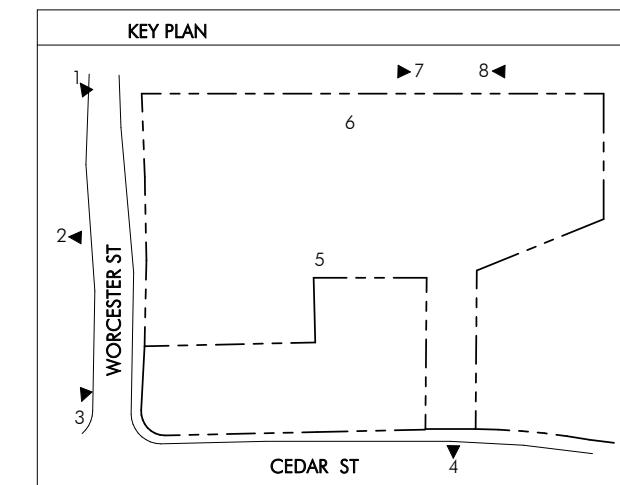
6 EXISTING STRUCTURES WITHIN PROJECT SITE



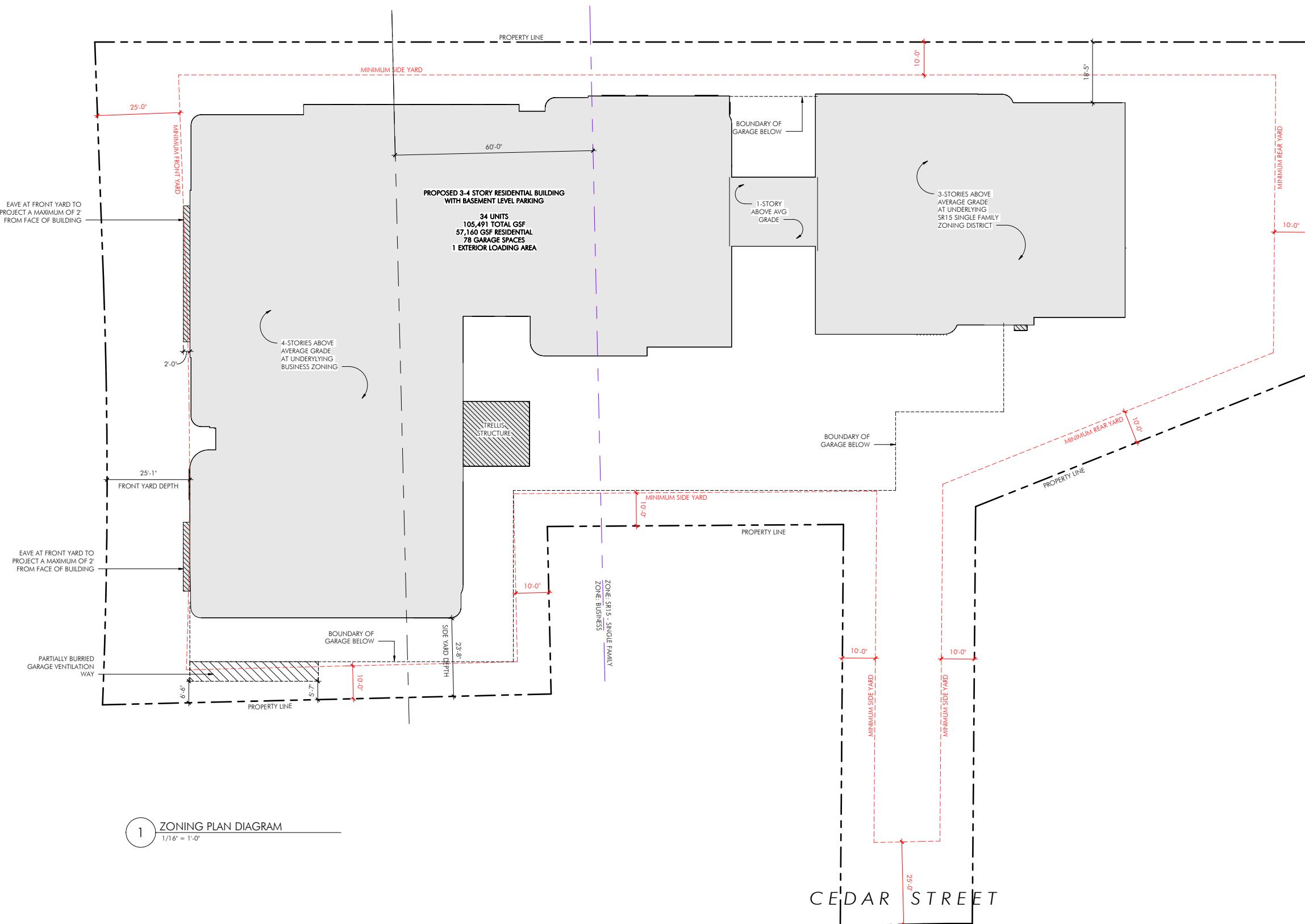
7 VIEW OF PROJECT SITE AND ABBUTTING PROPERTIES ALONG EAST PROPERTY LINE



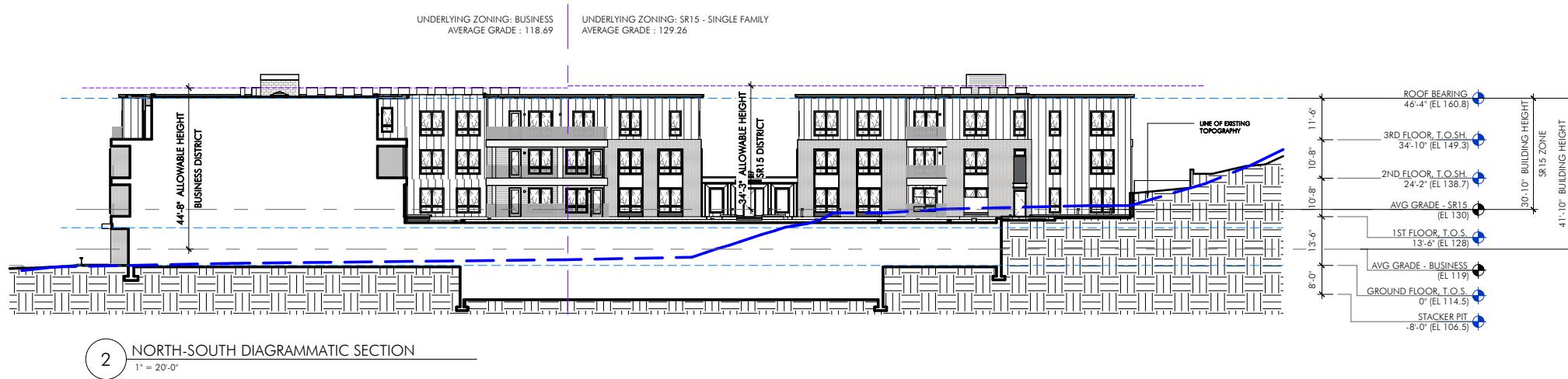
8 VIEW OF ABBUTTING CEDAR PLACE APARTMENTS ALONG EAST PROPERTY LINE



ZONING REVIEW SHEET



ZONING REVIEW SHEET



ZONING DISTRICT(S): BUSINESS (ALL 3 PARCELS), SINGLE RESIDENCE 15 (150 CEDAR ST)

OVERLAYS: RESIDENTIAL INCENTIVE OVERLAY (RIO)

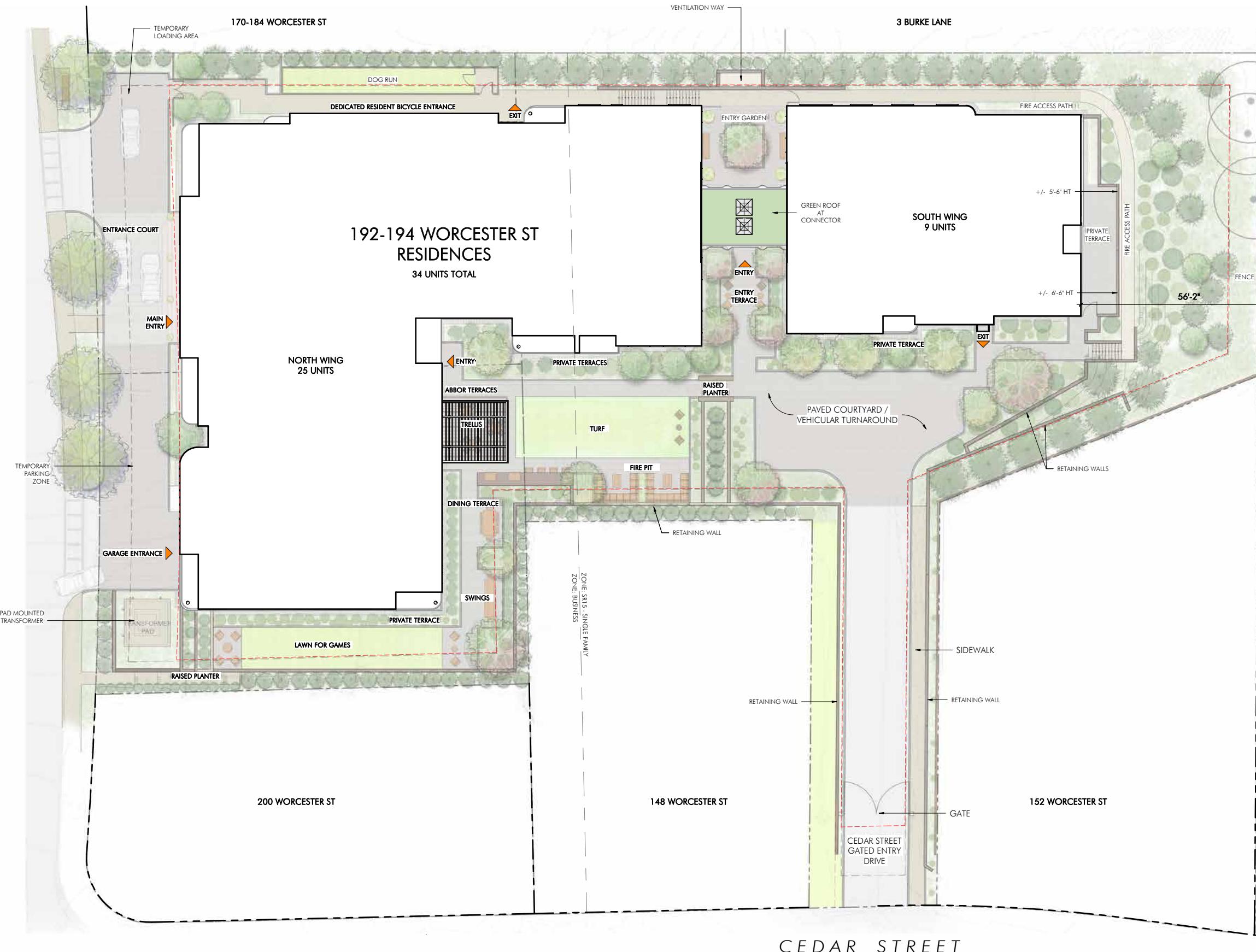
DIMENSIONAL PARAMETERS	REQUIRED	EXISTING ¹		PROPOSED
		EXISTING ¹	PROPOSED	
LOT AREA	45,000 SF (MIN.)	62,862 SF	62,862 SF	
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BUILDING HEIGHT	SEE SECTION DWG	19' - 10"	SEE SECTION DWG	
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FLOOR AREA	N/A	10,875 SF	83,671 SF	

1. SEE EXISTING CONDITIONS PLAN FOR EXISTING LOT CONFIGURATION AND EXISTING ZONING CONFORMANCE PER LOT.

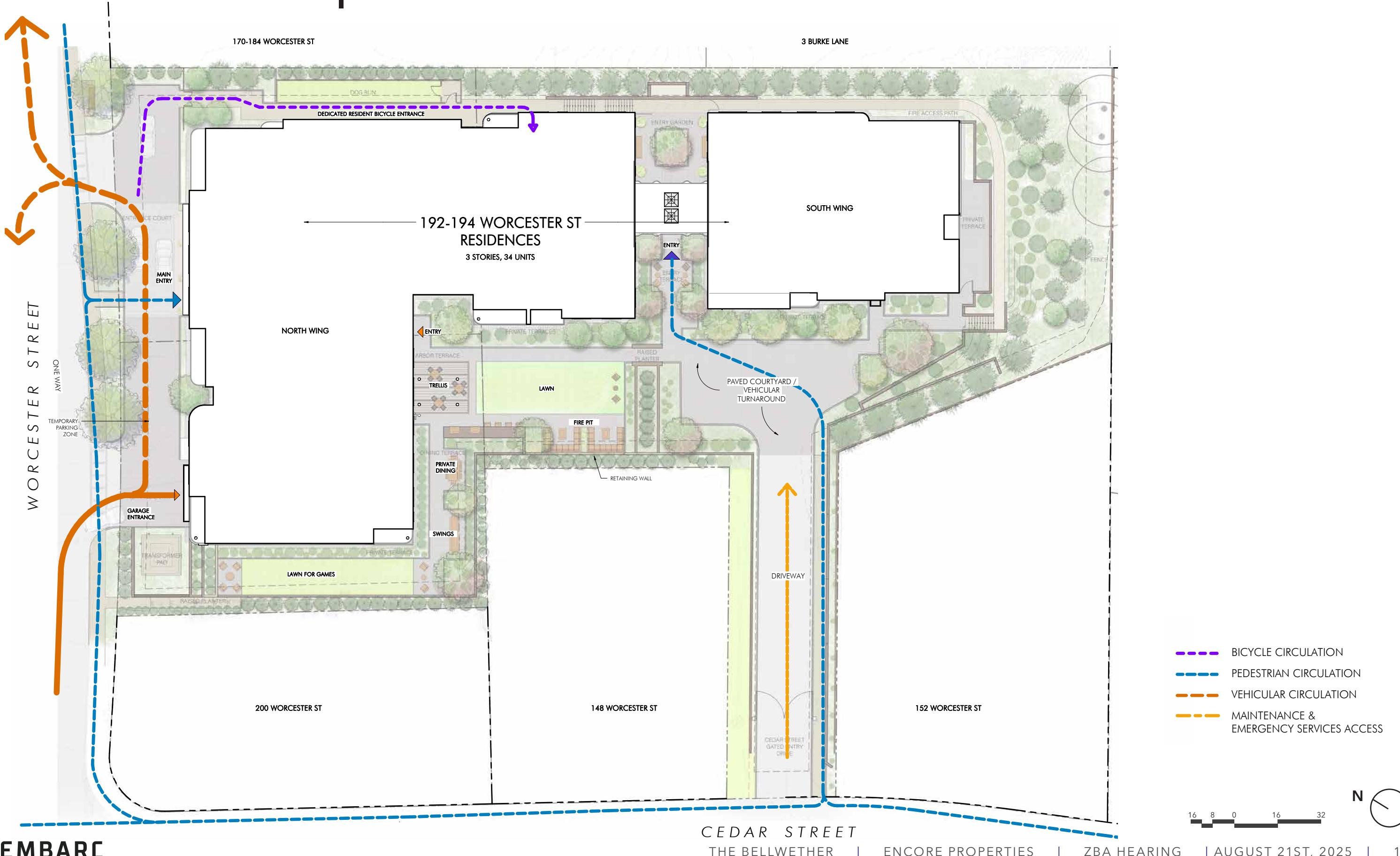
2. CALCULATED AS LOT AREA PER UNIT.

16 8 0 16 32

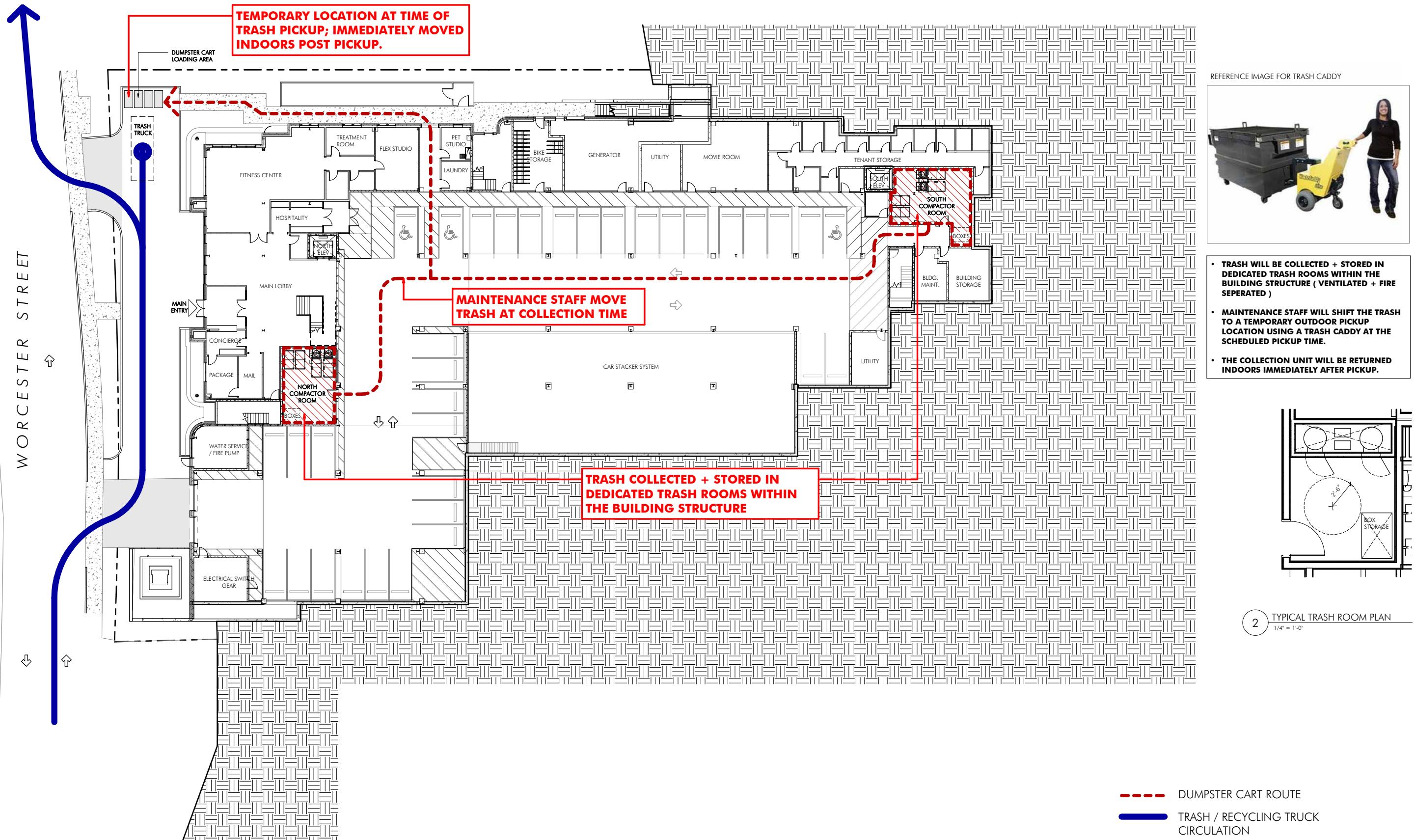
ARCHITECTURE | SITE PLAN



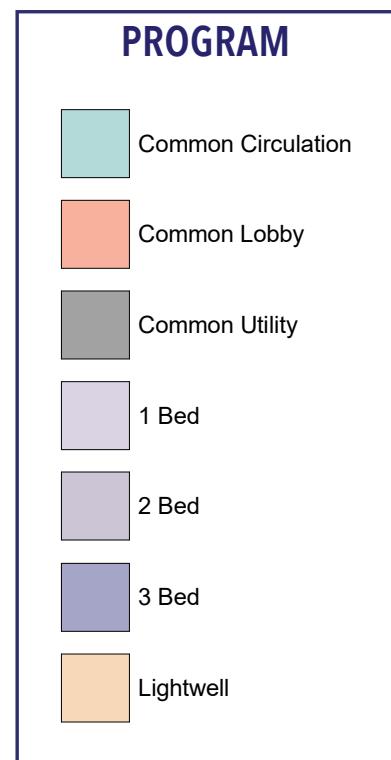
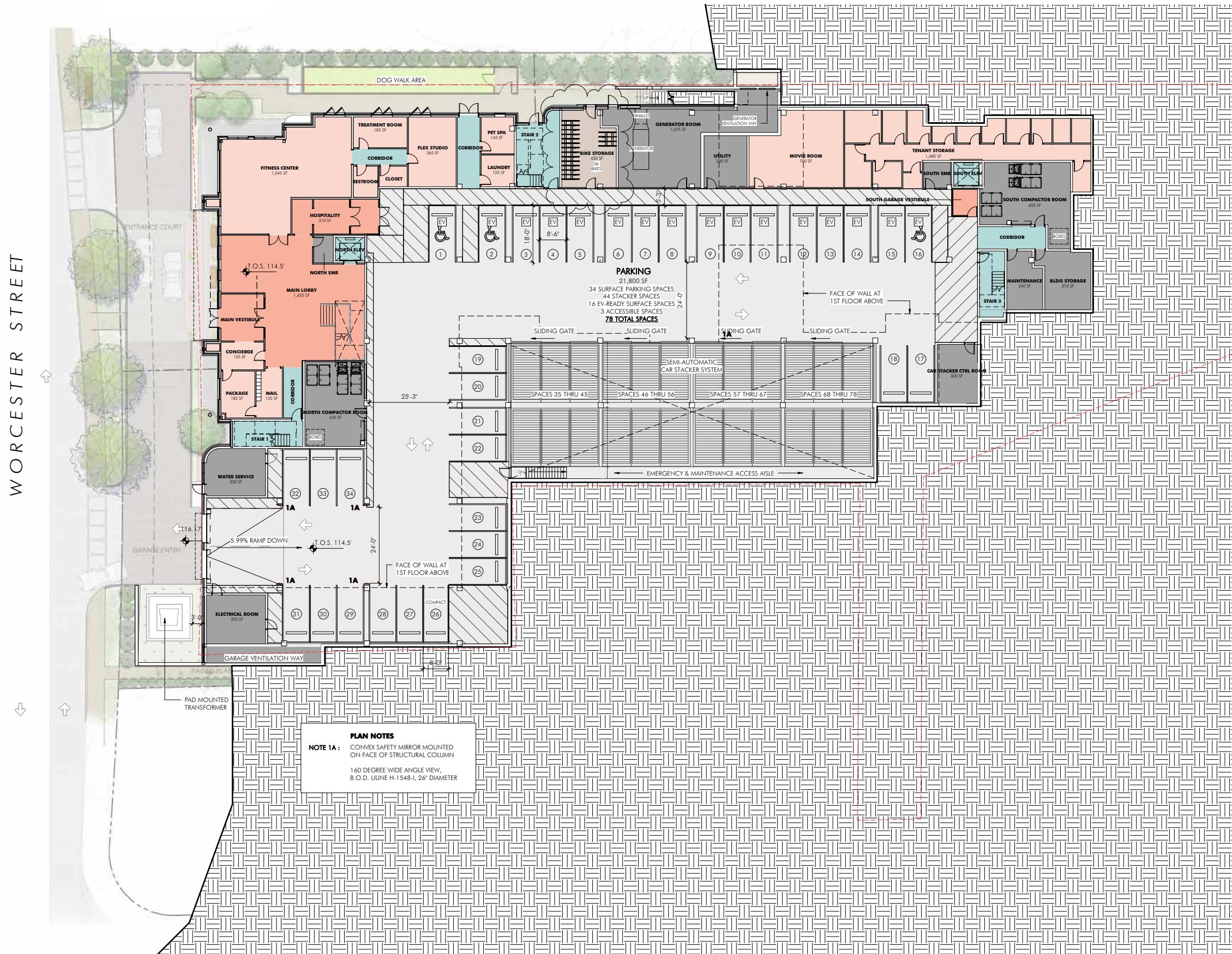
ARCHITECTURE | SITE ACCESS AND USE DIAGRAM



ARCHITECTURE | REFUSE AND RECYCLING DIAGRAM



ARCHITECTURE | GROUND FLOOR PLAN



EMBARC

THE BELLWETHER

ENCORE PROPERTIES

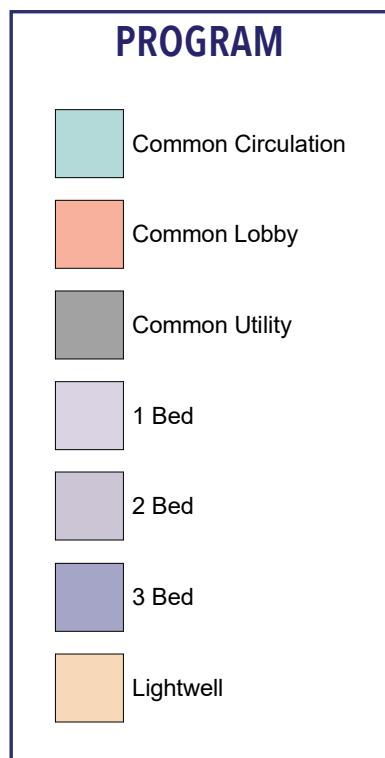
ZBA HEARING

AUGUST 21ST, 2025

12

ARCHITECTURE | FIRST FLOOR PLAN

WORCESTER STREET



UNIT MIX		
TYPE	COUNT	PERCENTAGE
1-BED	2	5.9%
2-BED	28	82.3%
3-BED	4	11.8%
(7) UNITS TO BE DESIGNATED AS AFFORDABLE (20.5%)		

N

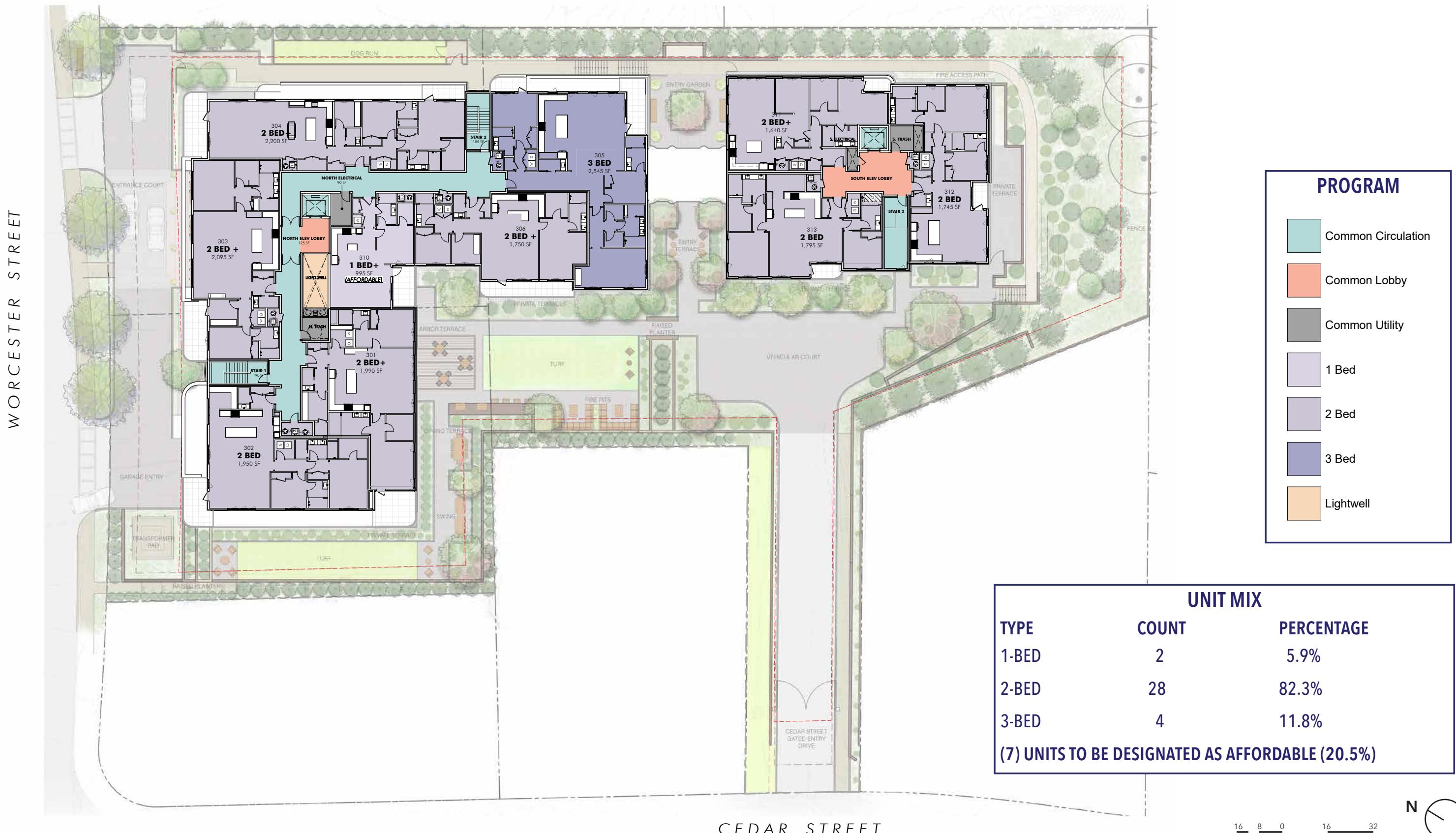
16 8 0 16 32

ARCHITECTURE | SECOND FLOOR PLAN

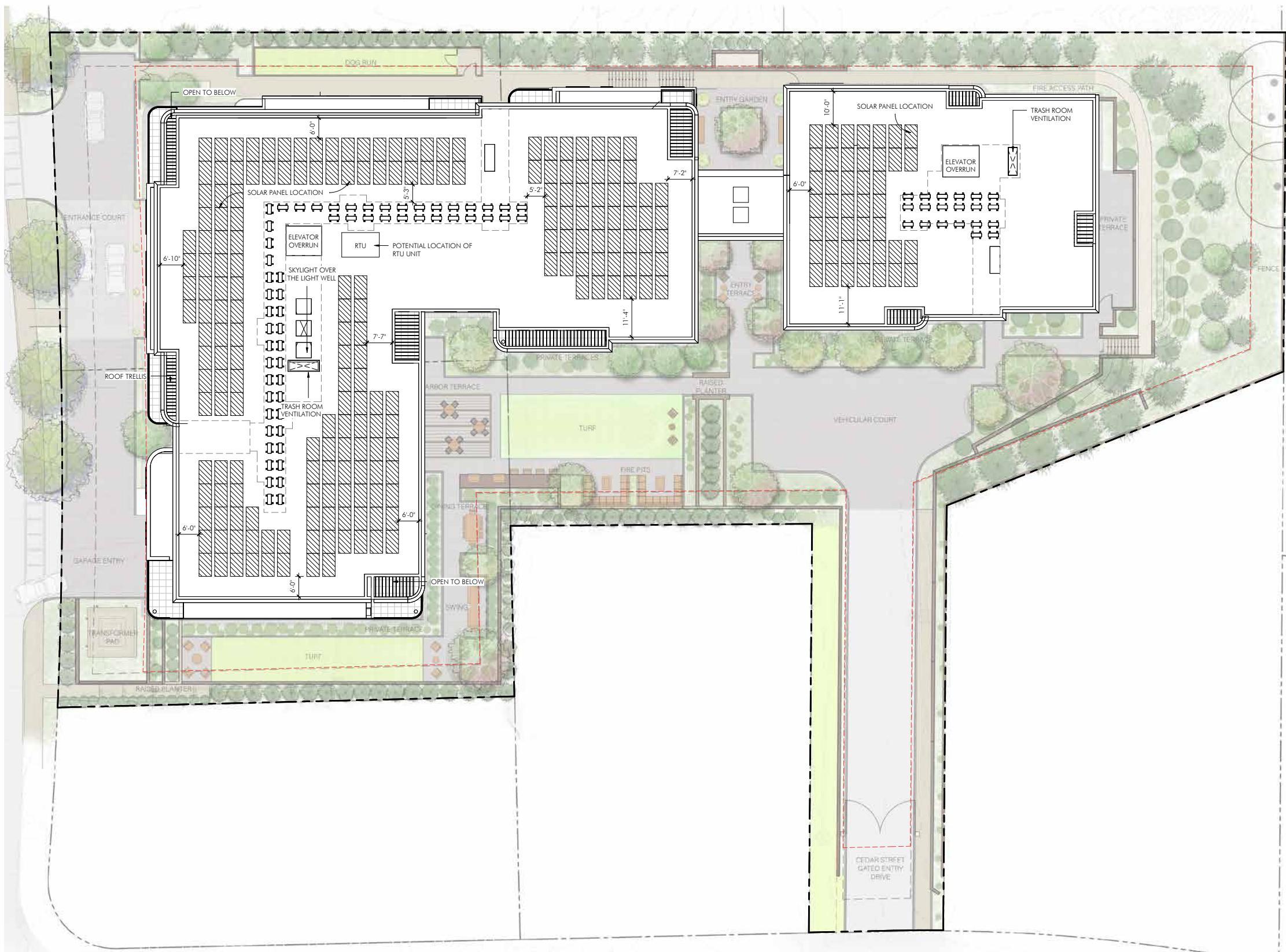
WORCESTER STREET



ARCHITECTURE | THIRD FLOOR PLAN



ARCHITECTURE | ROOF PLAN



EMBARC

THE BELLWETHER

ENCORE PROPERTIES

ZBA HEARING

| AUGUST 21ST, 2025 | 16

ARCHITECTURE | FAÇADE UPDATES PER DRB RECOMMENDATIONS



PREVIOUS FRONT FAÇADE



REVISED FRONT FAÇADE

ARCHITECTURE | EXTERNAL ELEVATIONS



WS-2
METAL RAILING WITH WOODEN
HANDRAIL, TYPICAL UON

MP-1
DARK ACM PANEL

PC-1
FLUTED CAST STONE
PANELS

SL-1
NATURAL SLATE

MP-2
LIGHT ACM PANEL

BR-1
LONG FORMAT BRICK

FS-1
FIBER CEMENT PLANK

COURTYARD PAVERS
SEE LANDSCAPE DRAWING FOR DETAILS



PC-1
FLUTED CAST STONE
PANELS

DECORATIVE
ALUMINUM SCREEN

SL-1
NATURAL SLATE

ACCENT SCONCE; W-1
SONNEMAN (2711.72-WL)
SEE PHOTOMETRICS PLAN FOR LIGHTING
SPECIFICATIONS AND LOCATIONS

PC-1
FLUTED CAST STONE
PANELS

DRIVEWAY PAVERS
SEE LANDSCAPE DRAWING FOR
DETAILS



RENDERINGS | WORCESTER ST FRONTAGE



RENDERINGS | WORCESTER ST FRONTAGE



RENDERINGS | LOBBY ENTRY



RENDERINGS | FRONT VIEW



RENDERS | CEDAR DRIVEWAY



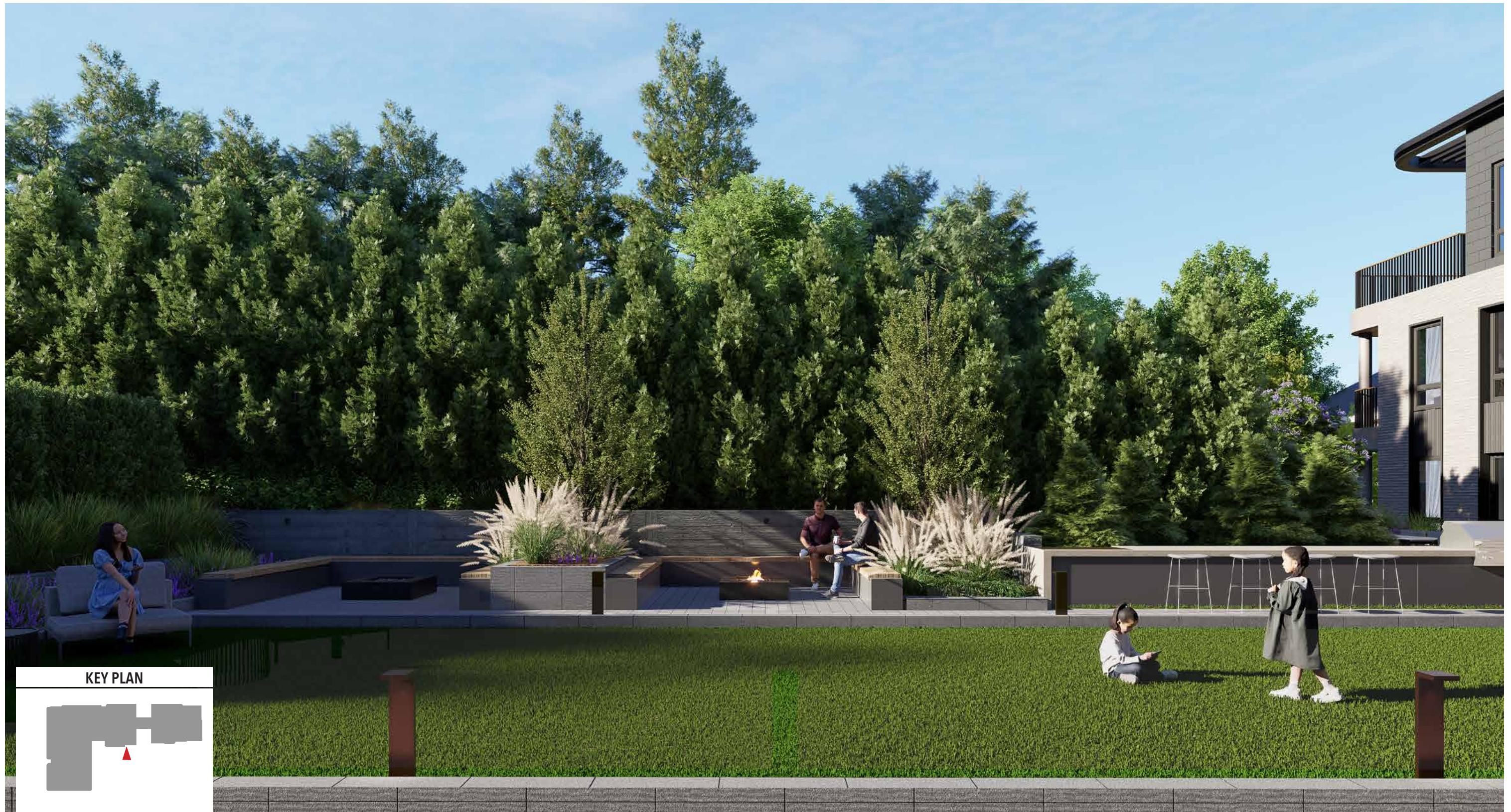
RENDERINGS | CONNECTOR ENTRY



RENDERINGS | COURTYARD LAWN



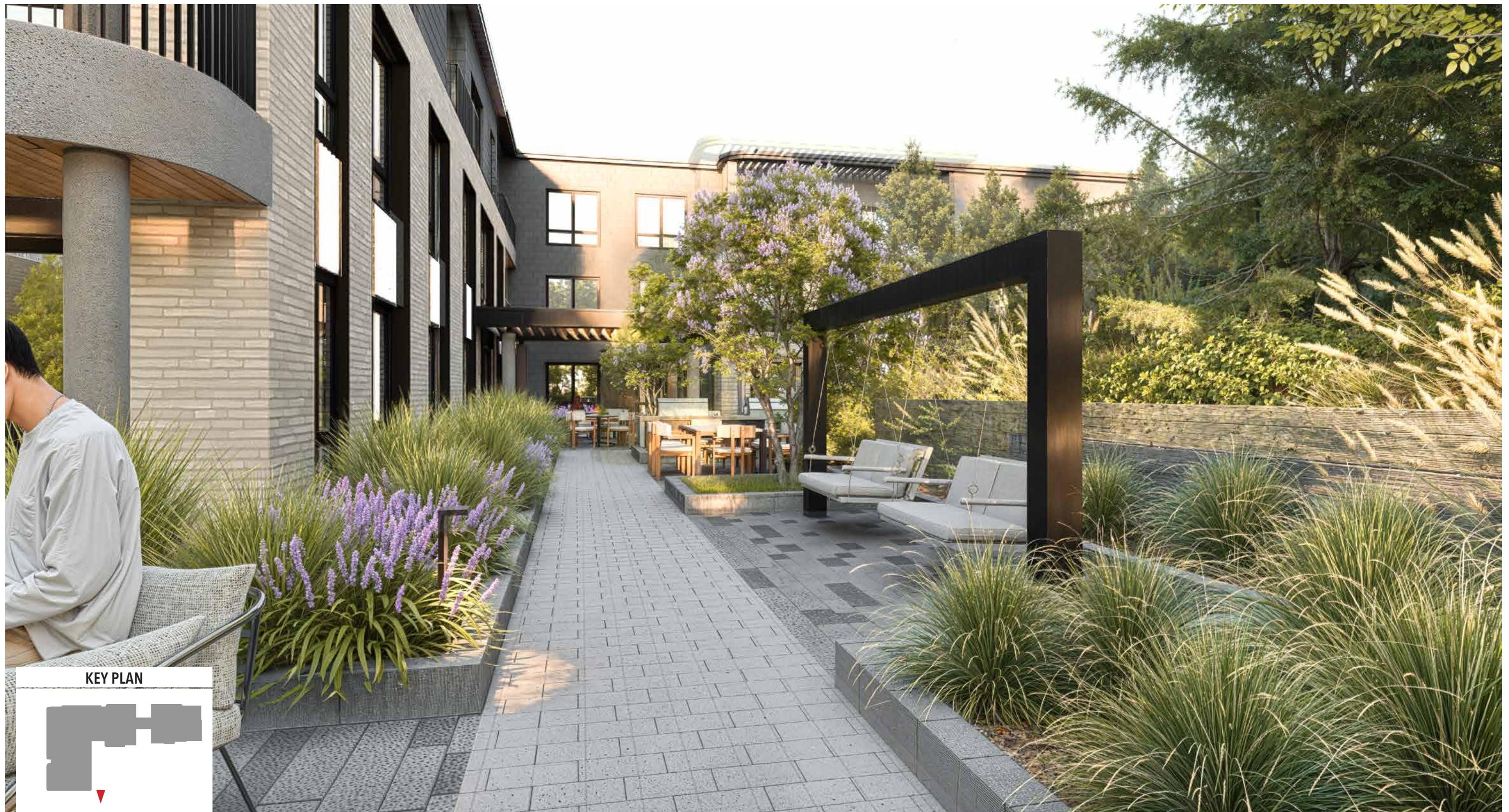
RENDERINGS | COURTYARD LAWN



RENDERINGS | COURTYARD TRELLIS



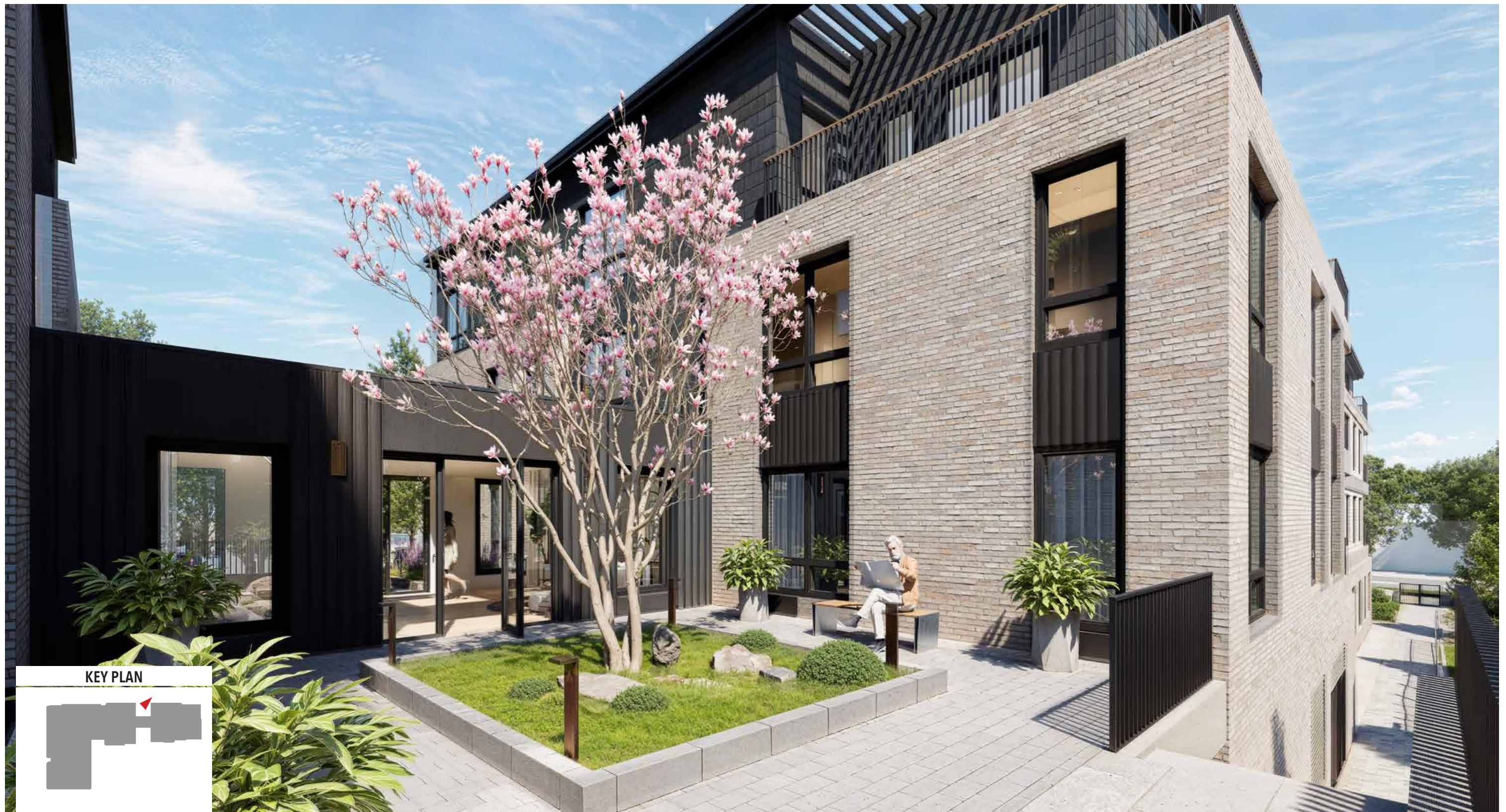
RENDERINGS | COURTYARD SWINGS



RENDERINGS | COURTYARD SIDE GARDEN



RENDERINGS | ZEN GARDEN



RENDERINGS | WORCESTER ST FRONTAGE



CIVIL

TRAFFIC

Proposed Multifamily Residential Development 192-194 Worcester Street and 150 Cedar Street Wellesley, Massachusetts

Transportation Impact Assessment Summary

Prepared by:



August 21, 2025

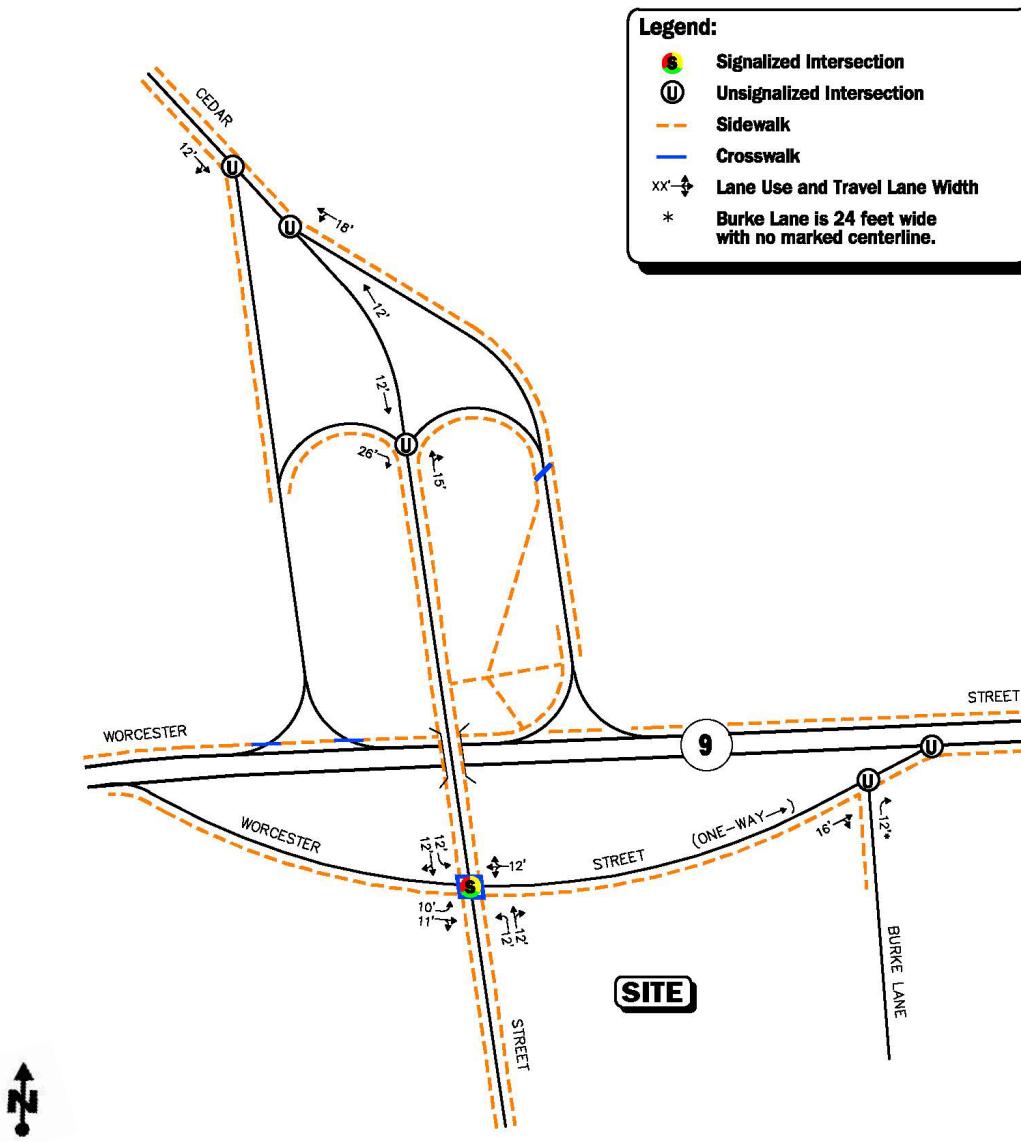
Transportation Impact Assessment Summary

- ▶ Prepared in consultation with the Town and MassDOT and performed in accordance with MassDOT Guidelines and addresses Wellesley PSI review requirements;
- ▶ Includes a detailed assessment of traffic volumes, pedestrian and bicycle accommodations, public transportation services and safety that has been peer reviewed and approved by the Select Board;
- ▶ The Project will not result in a significant impact (increase) on motorist delays or vehicle queuing over anticipated future conditions without the Project (No-Build condition), with no (0) changes in level of service (LOS) shown to occur as a result of the addition of Project-related traffic and all movements at the study area intersections shown to continue to operate at LOS D or better, where an LOS of “D” or better is generally defined as being representative of “acceptable” conditions;
- ▶ Motorists exiting the Project site were shown to operate at LOS B during both peak hours with negligible vehicle queuing;
- ▶ Independent of the Project, the Cedar Street/Worcester Street intersection was identified to have a motor vehicle crash rate that was above the MassDOT District 6 average crash rate but that was below the statewide average crash rate for similar intersections. Specific improvements have been recommended to enhance safety at this intersection; and
- ▶ Lines of sight to and from the driveways that will serve the Project exceed the recommended minimum distances to function in a safe and efficient manner.

Site Location Map



Existing Conditions Context

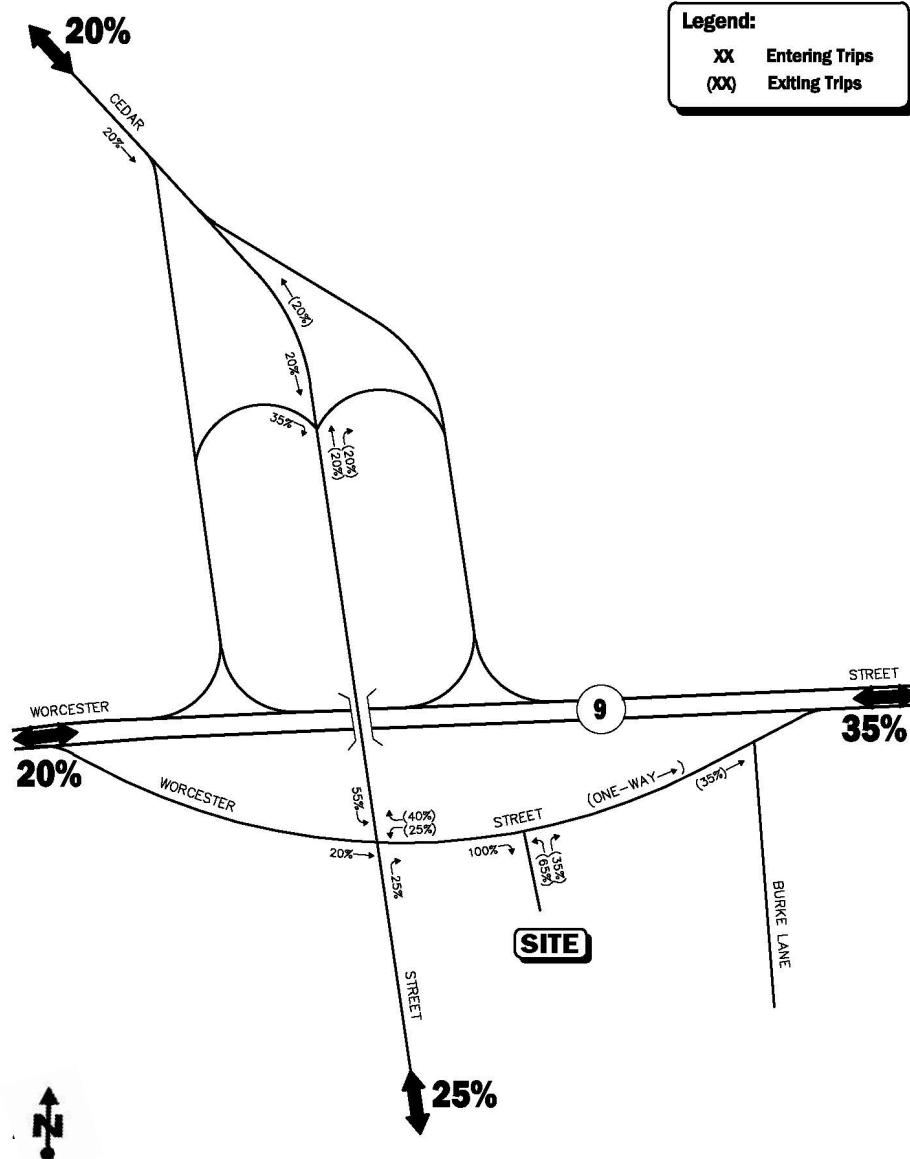


Trip Generation

Time Period	Vehicle Trips ^a		
	Entering	Exiting	Total
Average Weekday:	147	147	294
Weekday Morning Peak-Hour:	8	25	33
Weekday Evening Peak-Hour:	22	13	35

^aBased on ITE LUC 220, Multifamily Housing (Low-Rise) (34 dwelling units).

Trip Dispersal



Recommendations – Site Access and Circulation

- The full access Project site driveway and the secondary emergency driveway will be a minimum of 20-feet in width and the one-way exit driveway will be a minimum of 18±-feet in width.
- Where perpendicular parking is proposed, the drive aisle behind the parking will be a minimum of 23 feet to facilitate parking maneuvers.
- Vehicles exiting the Project site will be placed under STOP-sign control with a marked STOP-line.
- All signs and pavement markings to be installed within the Project site will conform to the applicable standards of the Manual on Uniform Traffic Control Devices (MUTCD).
- Sidewalks have been provided to link the proposed building and connect to the existing sidewalks along Worcester Street and Cedar Street. In conjunction with the Project, a new sidewalk will be constructed along the Project site frontage on Worcester Street .
- ADA compliant wheelchair ramps will be provided for crossing the Project site driveways or the driveways will be designed so that the sidewalk crosses the driveway (i.e., pan-type driveway).
- EV charging stations will be installed within the Project site.
- Signs, landscaping and other features that are to be installed as a part of the will be designed and maintained so as not to restrict lines of sight.
- Snow accumulations (windrows) will be promptly removed where such accumulations would impede sight lines..

Recommendations – Off-Site

❖ ***Cedar Street at Worcester Street***

- Design and implement an optimal traffic signal timing and phasing plan to include a review of the yellow and all-red clearance intervals and the pedestrian phase timings at the following intervals:
 - Prior to the issuance of a Certificate of Occupancy for the Project
 - Within 6-months of achieving 80 percent occupancy of the Project (27 units)
- Test/repair the vehicle detection system and install advance signing
- Upgrade pedestrian signal equipment to meet ADA/APS requirements

Recommendations – Off-Site

❖ **Pedestrian Mobility and Safety Improvements**

- Reconstruct the sidewalk along the Project site frontage on Worcester Street between 200 Worcester Street and 184-170 Worcester Street (approximately 200 linear feet);
- Review the pedestrian phase traffic signal timing at the Cedar Street/Worcester Street intersection and adjust as necessary to meet current standards for safety and accessibility; and
- Provide ADA compliant crossings at the Project site driveways (primary and secondary).
- Review the condition of the sidewalks between the crosswalk in front of 168 Cedar Street and the corner of the Cedar Street/Worcester Street extension at 200 Worcester Street for compliance with the ADA and improve to the satisfaction of DPW Engineering Division prior to the issuance of a Final Certificate of Occupancy for the Project
- Install two new school zone flashers on Cedar Street
- Install a new Rectangular Rapid Flashing Beacon (a.k.a. Pilecki Light in Wellesley) at the current crosswalk to Fiske School located on Cedar Street.
- Crosswalk striping crossing Sheehan Circle along Cedar Street.
- With approval by MassDOT, install a Bus Shelter Pad for future MWRTA Bus Stop on the Worcester Street East bound ramp.

Recommendations – TDM Program

- **Designate a transportation coordinator**, who may have other duties and responsibilities, will be designated to coordinate the elements of the TDM program;
- **A “welcome packet” will be provided** to new residents detailing available public transportation services, bicycle and walking alternatives, and other commuting options;
- **Information regarding public transportation services will be posted** in a central location and/or otherwise made available to residents and will include maps, schedules, and fare information;
- **Pedestrian accommodations have been incorporated within the Project** and will consist of walkways that connect to the existing sidewalk along Cedar Street and the proposed sidewalk along Worcester Street;
- **Specific amenities will be provided to facilitate telecommuting;**
- **A central mailroom will be provided within the building;** and
- **Secure, weather protected bicycle parking will be provided at a ratio of 1:1.**



EMBARC

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Boston MA 02118

EMBARCDESIGN.COM

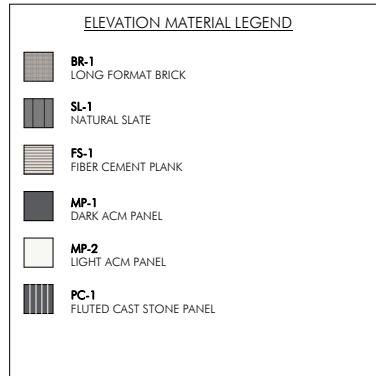
THANK YOU

APPENDIX

ARCHITECTURE | WORCESTER ST FRONTAGE AERIAL



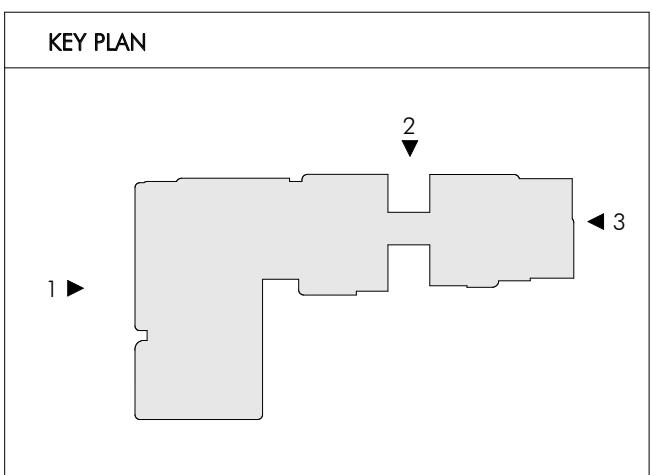
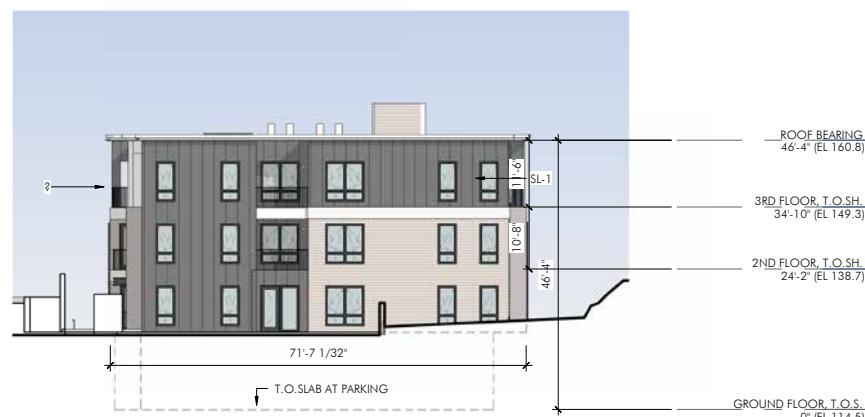
ARCHITECTURE | EXTERNAL ELEVATIONS



1 WORCESTER STREET ELEVATION (NORTHEAST)

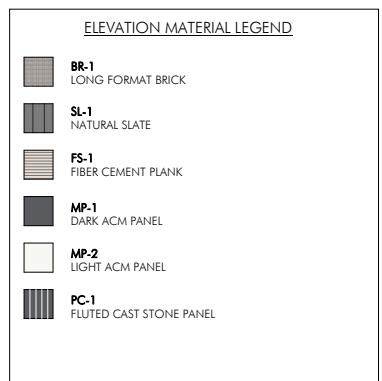


2 ELEVATION FACING ABUTTER (SOUTHEAST)



3 ELEVATION FACING ABUTTER (SOUTHWEST)

ARCHITECTURE | EXTERNAL ELEVATIONS



1 COURTYARD ELEVATION FACING ABUTTER ON CEDAR ST (SOUTHEAST)
1/16" = 1'-0"



2 COURTYARD ELEVATION (SOUTHWEST)
1/16" = 1'-0"



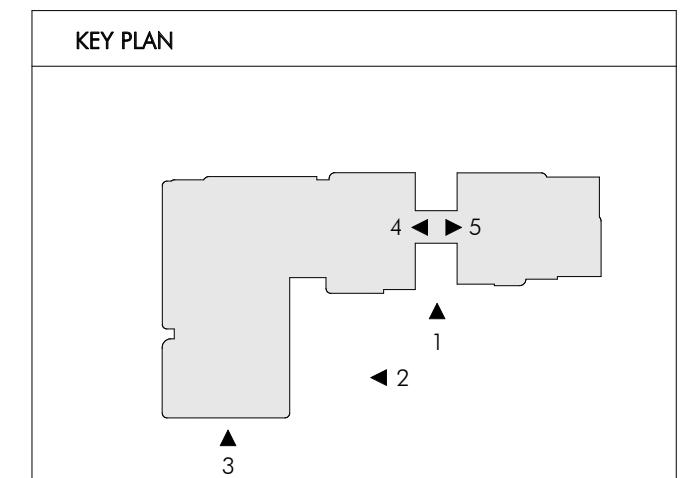
3 ELEVATION FACING ABUTTER ON CEDAR ST (NORTHWEST)
1/16" = 1'-0"



4 CONNECTOR EAST ELEVATION
1/16" = 1'-0"



5 CONNECTOR WEST ELEVATION
1/16" = 1'-0"



RENDERINGS | FRONT VIEW

