

TOWN OF WELLESLEY



MASSACHUSETTS

ZONING BOARD OF APPEALS

888 WORCESTER STREET • SUITE 160 • WELLESLEY, MA 02482

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ZBA 2025-45

Petition of Town of Wellesley/Department of Public Works
55 Rice Street (Hunnewell Field)

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INTRODUCTION

Town Of Wellesley, Department of Public Works (DPW), the "Applicant", has requested from the Zoning Board of Appeals (the "Board") the issuance of a site plan approval and a special permit, subject to Section 3.7, Section 5.6 and Section 6.3 of the Zoning Bylaw for a major construction project in a Wetland Buffer Zone and Riverfront Area, and a Flood Plain or Watershed Protection District at 55 Rice Street (Hunnewell Field).

THE PROJECT

Description

The Site consists of 25.55 acres, in a Parks, Recreation & Conservation District. The property is bounded by Washington Street to the north, residential properties to the east, Smith Street to the south, and residential and business properties to the west. The High School Track and Field complex is approximately 6.7 acres of land consisting of athletic facilities, a small parking area, wetlands and access paths. Fuller Brook borders the field to the east and to the west. The proposed building will be located in an existing grass area between the Fuller Brook parking lot and the driveway entrance to the High School Track and Field complex.

The project includes construction of a one-story team room building with men's and women's locker rooms equipped with restroom facilities, stairs to provide access to the three building doors, an asphalt sidewalk, an accessible ramp, and a detached storage container located behind the building to store recreational field equipment. The work will involve minor trenching for utility work associated with sanitary sewer, water and electric connections, and minor tree removal.

RECORD OF DISCUSSIONS

The Board held a public hearing on August 21, 2025 and August 28, 2025. The public hearing was closed and Site Plan Approval was granted on September 11, 2025.

FINDINGS OF FACT

Zoning

The Zoning Bylaw provides, for each zoning district, requirements for the use of land and structures, as well as dimensional requirements for the land and structures erected upon the land.

SECTION 1.3 DEFINITIONS

Major Construction Project – shall mean any Construction Project which involves a change in the outside appearance of a building or buildings or premises, and includes one or more of the following:

1. construction of twenty-five hundred (2,500) or more square feet gross floor area;
2. an increase in gross floor area by fifty (50) percent or more which results in a gross floor area of at least twenty-five hundred (2,500) square feet;
3. any project meeting the definition of an MBTA Community Project;
4. grading or regrading of land to planned elevations, and/or removal or disturbance of the existing vegetative cover, over an area of five thousand (5,000) or more square feet;
5. any activities regulated or restricted under Section 3.7; or
6. any activities regulated under Section 3.8.

SECTION 3.7. FLOOD PLAIN OR WATERSHED PROTECTION DISTRICTS

E. Regulations and Restrictions

1. General Restrictions:

a. In Flood Plain or Watershed Protection Districts, except as provided in Section 3.7.E.4 below, no new building or structure shall be constructed or used in whole or in part, and no existing building or structure lying wholly within a designated Flood Plain or Watershed Protection District shall be altered, enlarged, reconstructed or used in a manner which would increase ground coverage within the Flood Plain or Watershed Protection District; no dumping of trash, rubbish garbage, junk or other waste materials shall be permitted; no filling, dumping, excavating, removal or transfer of gravel, sand, loam, or other material which will restrict flood water flow or reduce the flood water storage capacity shall be permitted, except the surfacing or resurfacing of any existing parking area.

b. The Town requires a permit for all proposed construction or other development in the Flood Plain District, including new construction or changes to existing buildings, placement of manufactured homes, placement of agricultural facilities, fences, sheds, storage facilities or drilling, mining, and paving.

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c. All development in the Flood Plain or Watershed Protection District, including structural and non-structural activities, must be in compliance with Chapter 131, Section 40 of the Massachusetts General Laws and the following:

- i. Sections of the Massachusetts State Building Code (780 CMR) which address floodplain and coastal high hazard areas;
- ii. Wetlands Protection Regulations, Department of Environmental Protection (310 CMR 10.00);
- iii. Inland Wetlands Restriction, Department of Environmental Protection (310 CMR 13.00); and iv. Minimum Requirements for the Subsurface Disposal of Sanitary Sewage, Department of Environmental Protection
- iv. Minimum Requirements for the Subsurface Disposal of Sanitary Sewage, Department of Environmental Protection (310 CMR 15, Title 5).

d. The portion of any lot delineated as being within a Flood Plain or Watershed Protection District may be used to meet the area and yard requirements for the district in which the remainder of the lot is situated.

SECTION 5.6. PROJECT APPROVAL

A. Scope and Purpose

Minor Construction Projects (as herein defined) and Major Construction Projects (as herein defined) are subject to comprehensive review in accordance with the terms of this section. This section shall not apply to construction, alteration, enlargement or reconstruction of One-Unit Dwellings and Two-Unit Dwellings or structures accessory thereto, unless such One-Unit or Two-Unit Dwelling is located in a Flood Plain or Watershed Protection District.

This section shall be interpreted so as to:

1. Ensure compliance with the Zoning Bylaws of the Town of Wellesley;
2. Protect the safety, convenience and welfare of the public;
3. Minimize additional congestion in public and private ways;
4. Ensure adequate provision for water, sewerage and drainage;
5. Ensure compliance with the provisions of Section 1.4;
6. Ensure compliance with the provisions of Section 5.17; and
7. Ensure compliance with the provisions of Section 5.5.

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SECTION 6.3. SPECIAL PERMIT GRANTING AUTHORITY

A. General Authority and Conditions

This Zoning Bylaw provides for specific types of uses which shall only be permitted in specified districts upon the granting of a special permit, as provided herein. Special permits may be granted only for uses which are in harmony with the general purpose and intent of this Zoning Bylaw, and shall be subject to general or specific provisions as set forth herein, and such permits may also impose conditions, safeguards, and limitations on time or use, in order to further the objectives of this Zoning Bylaw.

SUBMITTALS FROM THE APPLICANT

- Letter to Zoning Board of Appeals, dated July 7, 2025, from Jesse O'Donnell, P.E., Civil Engineer, and Matt Doyle, Project Manager, re: Site Plan Approval Filing (Major Construction Project) Hunnewell Field Team Room 55 Rice Street, Wellesley, Massachusetts.
- Application for Site Plan Approval and Special Permit
- Site Plan Approval Checklist
- Development Prospectus
- Approved 2015 Wetlands Protection Committee Notice of Intent Documents, including Project Description and C101, Layout and Materials Plan and C102, Grading Plan, dated 10/12/15, revised 11/12/15 and 12/2/15, stamped by John M. Perry, P.E. #47842
- Stormwater Analysis, dated 06/09/2025, stamped by James I. Pearson, P.E. #50675, including Flood Insurance Rate Map, Norfolk County, Massachusetts, Panel 16 of 430, Effective July 17, 2012.
- Geotechnical Boring Logs, including Figure 2, Site Plan, dated 03/25, prepared by Weston & Sampson
- Existing Conditions Site Photographs
- Memorandum, dated September 4, 2025, from Linda Chow, on behalf of the School Committee, re: Hunnewell Track & Field Team Rooms Background and 8/28/25 ZBA Meeting Follow-up
- Memorandum, dated September 4, 2025, from Weston & Sampson Engineers, Inc., re: Proposed High School Team Room: Response to Board Comments

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Plan Number	Drawing Title	Date of Issue	Prepared By	Date of Revision
	Cover Sheet			9/4/25
C001	Abbreviations, Notes & Legend	7/7/25	James I. Pearson, P.E. #50675	9/4/25
C100	Existing Conditions Plan	7/7/25	James I. Pearson, P.E. #50675	9/4/25

C101	Plot Plan	7/7/25	James I. Pearson, P.E. #50675	9/4/25
C110	Site Preparation Plan	7/7/25	James I. Pearson, P.E. #50675	9/4/25
C120	Layout & Materials Plan	7/7/25	James I. Pearson, P.E. #50675	9/4/25
C130	Grading & Drainage/Utility Plan	7/7/25	James I. Pearson, P.E. #50675	9/4/25
C152	Mitigation Area Plan	7/7/25	James I. Pearson, P.E. #50675	9/4/25
C500	Details 1	7/7/25	James I. Pearson, P.E. #50675	9/4/25
C501	Details 11	7/7/25	James I. Pearson, P.E. #50675	9/4/25
C502	Details 111	7/7/25	Weston & Sampson	9/4/25
A100.	3D Rendering	7/7/25	Brian McCusker, R.A. #952455	
A100	3D Rendering	9/4/25	Weston & Sampson	9/4/25
A101.	Overall Floor Plans	7/7/25	Brian McCusker, R.A. #952455	
A101.	Overall Floor Plans	9/4/25	Weston & Sampson	9/4/25
A201.	Overall Elevations & 3D Views	7/7/25	Brian McCusker, R.A. #952455	
A201.	Overall Elevations & 3D Views	9/4/25	Weston & Sampson	9/4/25
A301.	Building Sections	7/7/25	Brian McCusker, R.A. #952455	
A301.	Building Sections	9/4/25	Weston & Sampson	9/4/25
Sheet 1 of 1	Plot Plan High School Track & Field, High School Teams Room	7/7/25	Gerard R. Bruno, P.L.S. #56789 & David J. Hickey Jr., P.E. #37653	
Sheet 1 of 1	Existing Conditions Plan	7/7/25	Gerard R. Bruno, P.L.S. #56789 & David J. Hickey Jr., P.E. #37653	

SUBMITTALS ON BEHALF OF THE TOWN OF WELLESLEY:

On June 26, 2025, the Design Review Board reviewed the Project and voted unanimously to accept the application as presented, with recommendations.

On July 31, 2025, the Wetlands Protection Committee issued an Order of Conditions, MassDEP File #:324-1062.

On August 1, 2025, Ian McMakin, Deputy Chief, Town of Wellesley, Fire Resue Department, reviewed and approved the proposed project.

On August 15, 2025, Doug Stewart, Civil Engineer, Town of Wellesley, Department of Public Works, Engineering Division, reviewed the project and submitted comments.

On August 19, 2025, the Planning Board reviewed the project and recommended approval.

WAIVERS

From ZBA Site Plan Approval application form, section 4. (c): Profile showing proposed utilities in relation to the ground surface, as no trunkline or linear roadway utilities are proposed and the only proposed utilities are pipes to plans for services.

From ZBA Site Plan Approval application form, section 6. (h): Plan must be stamped, dated, and signed by a Registered Landscape Architect in the Commonwealth of Massachusetts. as proposed landscaping on the site is limited to loan and seed and minor screening plantings along the rear of the building, per the Design Review Board's recommendation and to the satisfaction of the Public Works' Park and Tree Superintendent. Weston & Sampson's technical engineering lead elected to stamp the plan depicting the proposed minor landscape improvements.

From Section 5.12.E. of the Zoning Bylaw: 1. Information identifying the location, orientation, height and type of outdoor luminaires to be installed; and 3. A photometric plan showing the intensity of illumination expressed in foot-candles and/or lux at ground level within the interior of the property boundaries except that such plans shall not be required for Externally Illuminated Signs. The only proposed luminaires on the site are the wall pack light fixtures adhered to the exterior building walls. The architectural plans identify the locations of the fixtures and Weston & Sampson can confirm they are dark sky compliant. The Design Review Board approved the plans as submitted.

DECISION

The Applicant has requested from the Board the issuance of a site plan approval subject to the Zoning Bylaw Section 5.6, §§ C.2. (a) and (b), authorizing the Applicant to construct the Project.

The Board has made a careful study of the materials submitted and the information presented at the hearing, and has documented the results of the study above. Based on the results of the study, on September 11, 2025, the Board voted unanimously to grant the site plan approval pursuant to Section 5.6 of the Zoning Bylaw for a major construction project subject to site plan review.

The Board's approval of the Site Plan for the Project is premised on the Applicant's and Project's compliance with the following conditions (the "Conditions"). All requirements imposed by the Conditions or this Site Plan Approval shall be applicable to the entity responsible for the administration of the Project regardless of whether the condition specifically identifies the Applicant, the responsible entity, or no entity as having responsibility for a particular condition.

It is the opinion of this Authority that construction of a one-story team room building with men's and women's locker rooms equipped with restroom facilities, stairs to provide access to the three building doors, an asphalt sidewalk, an accessible ramp, and a detached storage container located behind the building in a Flood Plain or Watershed Protection District shall make adequate provision for the protection, preservation and maintenance of the water table and water recharge areas; the preservation of the natural river channel plus sufficient width of overbank areas for the passage of flood flows; the retention of existing floodwater storage capacity; the design of proposed construction in a manner which ensures anchoring to prevent flotation, collapse and/or excessive movement of structures; and the design of public utilities including sewer, water, gas and electrical systems in a manner which will minimize or eliminate flood damage.

Therefore, a Special Permit is granted, as voted unanimously by this Authority at the Public Hearing, for construction of a one-story team room building with men's and women's locker rooms equipped with restroom facilities, stairs to provide access to the three building doors, an asphalt sidewalk, an accessible ramp, and a detached storage container located behind the building, in a Flood Plain or Watershed Protection District.

The Inspector of Buildings is hereby authorized to issue a permit for construction upon receipt and approval of a building application and detailed constructions plans.

CONDITIONS

1. By accepting this Site Plan Approval the Applicant agrees to the terms, covenants and conditions and agreements contained herein. This Site Plan Approval shall expire two years from the date hereof unless construction has begun by that date. The Applicant may apply to the Board for reasonable extensions to this Site Plan Approval for good and sufficient reason.
2. Except for the relief granted by the Board as listed in these Conditions, the Applicant shall comply with all provisions of the Zoning Bylaw and general bylaws generally applicable to a project. approved on September 11, 2025.
3. Contract documents, including working drawings and specifications for the Project shall undergo the usual and customary review and approvals of the Building Inspector, the Town Engineer or any other applicable local inspector or board.
4. The Applicant shall establish a website, or use an existing website during the duration of site construction activities, to provide Town officials and residents access to the most current scheduled activities and notification of upcoming Project events that reasonably have the potential to impact the surrounding neighborhood.

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Design Conditions

5. Design and construction of the Project shall fully comply with all applicable federal and state laws and regulations, including, but not limited to, the requirements of the Massachusetts State Building Code (780 CMR) and the Massachusetts Architectural Access Board (521 CMR). The Project shall be designed and constructed on the Site in accordance with the Plans, except as provided in this Site Plan Approval, including these Conditions. Any requirement of consistency with the Plans means as those Plans are modified by the Conditions.

Construction Conditions

6. The Applicant shall implement its Construction Management Plan as specified in its Site Preparation Plans, dated September 4, 2025.
7. During the period of construction, all construction equipment and materials deliveries shall utilize a travel route that has been coordinated with the Police Department prior to its use. Every effort shall be made to avoid streets where schools are located and residential streets.
8. During the period of construction, all deliveries of construction materials and equipment shall be made only on Monday through Friday no earlier than 7:00 am and no later than 4:00 pm. Construction work may be performed on the Site Monday through Friday commencing not earlier than 7:00 am and completing not later than 6:00 pm and on Saturday commencing not earlier than 8:00 am and completing not later than 6:00 pm. Any work before 7:00 am or later than 6:00 pm shall only take place in case of emergency with the permission of the Police.
9. During the period of construction, on-site parking for construction equipment and parking for construction workers at 55 Rice Street is specifically permitted. No vehicles of construction workers and no construction equipment shall be parked on any other public way of the Town. Construction vehicles waiting to access the site shall shut off engines when not in use, or when idling time exceeds five minutes. If a truck comes early, there shall be a plan as to where the truck may wait with its engine shut off.
10. All construction and delivery vehicles exiting the site shall stop at an established construction exit for a wheel wash to prevent mud and debris from falling into the street abutting the site. The Applicant shall cause the street abutting the site to be swept as frequently as required to ensure that dust, dirt and debris not completely removed by the truck wash are not deposited onto the street.
11. All construction waste shall be kept in dumpsters. The dumpsters shall be kept covered and only be picked up during normal working hours, Monday through Friday, 7 am to 4 pm.

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12. The gates to the construction site shall be locked over the weekends and at night.
13. A sign on the outer fence shall have all contact information for the contractor and the Department of Public Works Engineering Division.

Use Conditions

14. Landscaping shall be in conformance with the Landscaping Plan and shall be maintained, repaired, or replaced as needed by the Town.

General Conditions

15. Plans, A100, A101, A201 & A301, dated 9/11/25, as discussed at the Public Hearing on September 11, 2025, that show revisions to remove the stone veneer on the exposed foundation wall of the building and the accessible ramp, and clarifying the accessible ramp to the building as precast concrete, shall be submitted.
16. Buses for teams arriving at the Wellesley High School for games shall pull into the High School parking lot, just to the left of the High School, to drop off the teams. When the teams unload from the bus, they will use the crosswalk directly behind them to cross the street to head to the fields and track. The bus can then park on the far side of the parking lot along the curb, not taking up spectator parking. The buses shall not drop off or pick up the teams on Rice Street, State Street, any neighborhood streets, or in the parking lot that is adjacent to Hunnewell Field on State Street.

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ZBA 2025-45
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55 Rice Street (Hunnewell Field)

APPEALS FROM THIS DECISION,
IF ANY, SHALL BE MADE PURSUANT
TO GENERAL LAWS, CHAPTER 40A,
SECTION 17, AND SHALL BE FILED
WITHIN 20 DAYS AFTER THE DATE
OF FILING OF THIS DECISION IN THE
OFFICE OF THE TOWN CLERK.

Robert W. Levy (cm)
Robert W. Levy, Acting Chairman

Derek B. Redgate (cm)
Derek B. Redgate

Peter Covo (cm)
Peter Covo

ZBA 2025-45
Applicant Town of Wellesley/Department of Public Works
Address 55 Rice Street (Hunnewell Field)

NOT VALID FOR RECORDING UNTIL CERTIFIED BY TOWN CLERK

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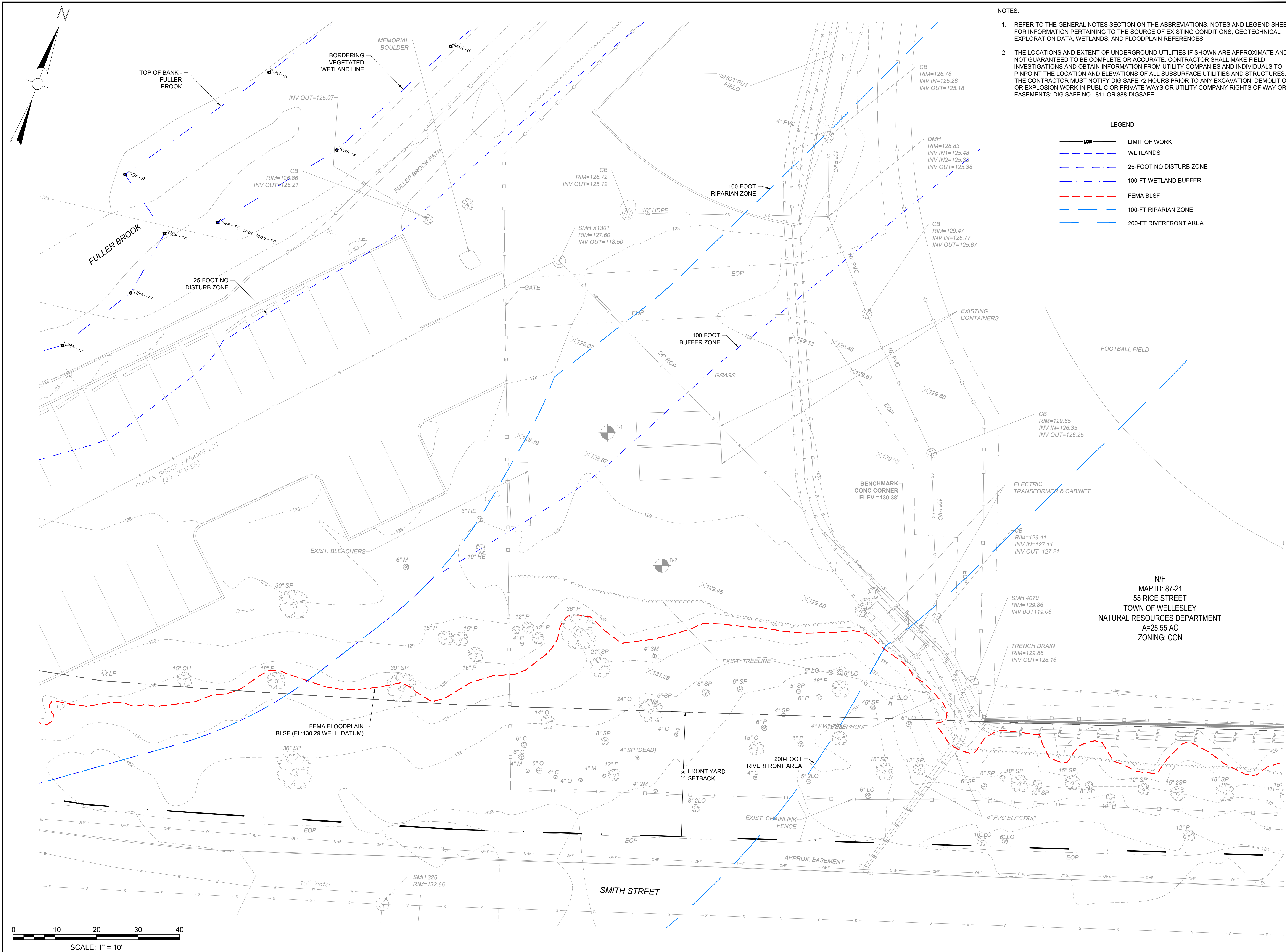
In accordance with Section 11 of Chapter 40A of the Massachusetts General Laws, I hereby certify that twenty (20) days have elapsed after the within decision was filed in the office of the Town Clerk for the Town of Wellesley, and that no appeal has been filed, or that if such appeal has been filed, that it has been dismissed or denied.

Date:

Attest:

Cathryn Jane Kato
Town Clerk

cc: Planning Board
Inspector of Buildings
lrm




- NOTES:**
1. REFER TO THE GENERAL NOTES SECTION ON THE ABBREVIATIONS, NOTES AND LEGEND SHEET FOR INFORMATION PERTAINING TO THE SOURCE OF EXISTING CONDITIONS, GEOTECHNICAL EXPLORATION DATA, WETLANDS, AND FLOODPLAIN REFERENCES.
 2. THE LOCATIONS AND EXTENT OF UNDERGROUND UTILITIES IF SHOWN ARE APPROXIMATE AND NOT GUARANTEED TO BE COMPLETE OR ACCURATE. CONTRACTOR SHALL MAKE FIELD INVESTIGATIONS AND OBTAIN INFORMATION FROM UTILITY COMPANIES AND INDIVIDUALS TO PINPOINT THE LOCATION AND ELEVATIONS OF ALL SUBSURFACE UTILITIES AND STRUCTURES. THE CONTRACTOR MUST NOTIFY DIG SAFE 72 HOURS PRIOR TO ANY EXCAVATION, DEMOLITION, OR EXPLOSION WORK IN PUBLIC OR PRIVATE WAYS OR UTILITY COMPANY RIGHTS OF WAY OR EASEMENTS: DIG SAFE NO.: 811 OR 888-DIGSAFE.

- LEGEND**
- **LOW** — LIMIT OF WORK
 - - - - - WETLANDS
 - - - - - 25-FOOT NO DISTURB ZONE
 - - - - - 100-FT WETLAND BUFFER
 - - - - - FEMA BLSF
 - - - - - 100-FT RIPARIAN ZONE
 - - - - - 200-FT RIVERFRONT AREA

N/F
MAP ID: 87-21
55 RICE STREET
TOWN OF WELLESLEY
NATURAL RESOURCES DEPARTMENT
A=25.55 AC
ZONING: CON

Project:
**WELLESLEY HUNNEWELL FIELD
TEAM ROOM**



TOWN OF WELLESLEY
MASSACHUSETTS

Weston & Sampson
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www.westonandsampson.com

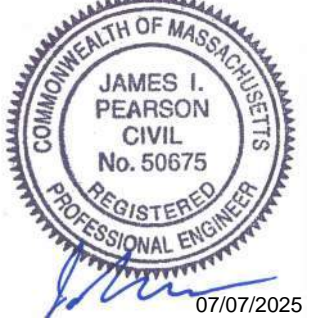
Consultants:

Revisions:

No.	Date	Description

COA:

Seal:



JAMES I. PEARSON
CIVIL
No. 50675
REGISTERED
PROFESSIONAL ENGINEER
07/07/2025

Issued For:

**PERMITTING
NOT FOR CONSTRUCTION**

Scale:

AS NOTED

Date:

JULY 7, 2025

Drawn By:

CTP

Reviewed By:

JLO

Approved By:

JJP

W&S Project No.:

ENG25 - 0240

W&S File No.:

Drawing Title:

**EXISTING
CONDITIONS
PLAN**

Sheet Number:

C100

LIST OF ABUTTERS TO LOT 87-21: 300-FOOT RADIUS
AS GENERATED BY THE WELLESLEY GIS PROPERTY VIEWER

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Project: **WELLESLEY HUNNEWELL FIELD
TEAM ROOM**

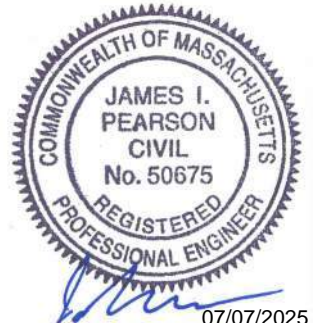


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MASSACHUSETTS**

Weston & SampsonSM

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Consultants	
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Scale:	AS NOTED
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Date:	JULY 7, 2025
Drawn By:	CTP
Reviewed By:	JLO
Approved By:	JIP

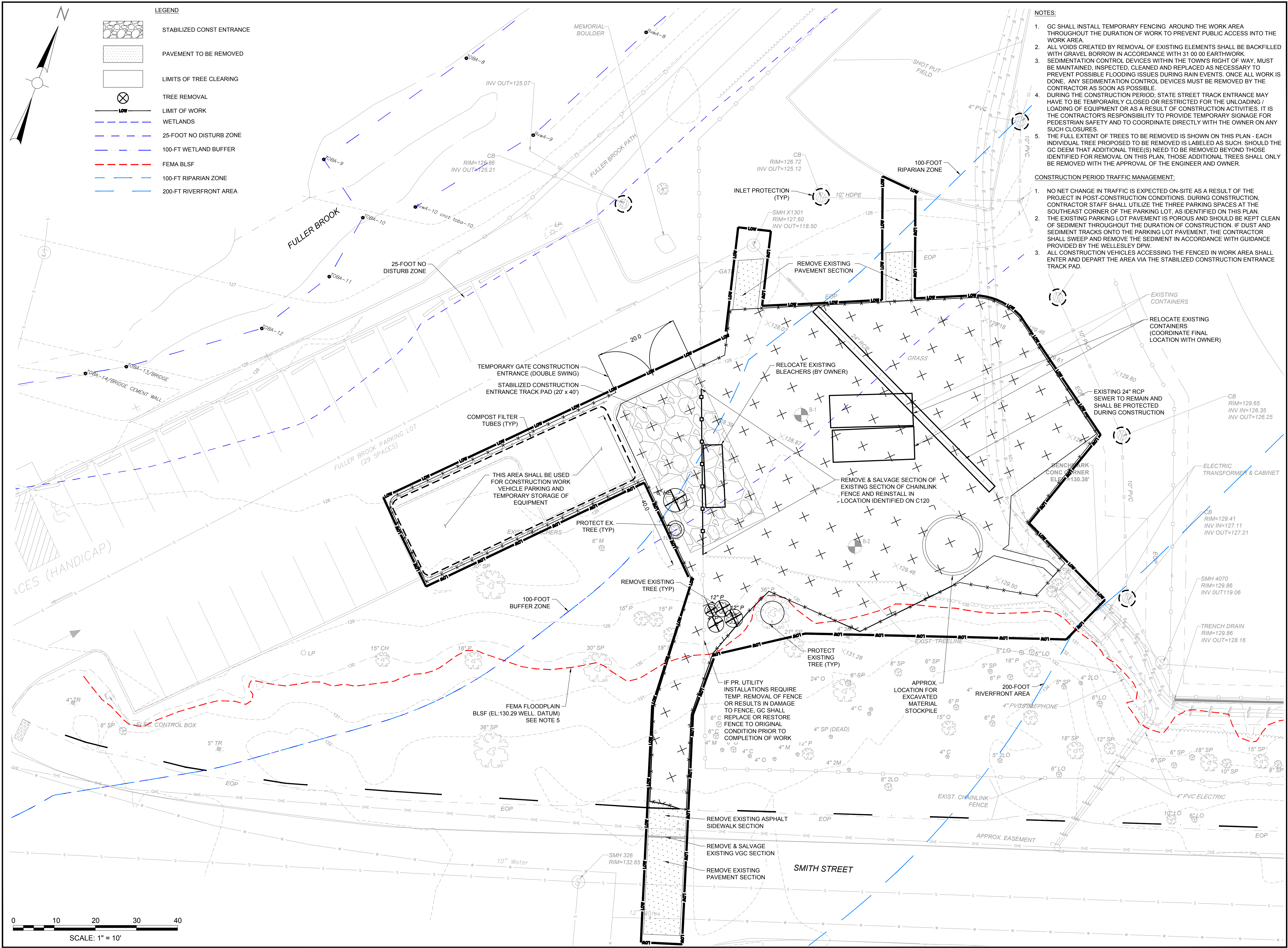
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W&S File No.:

Drawing Title:

PLOT PLAN

Sheet Number:


C101



- NOTES:**
- GC SHALL INSTALL TEMPORARY FENCING AROUND THE WORK AREA THROUGHOUT THE DURATION OF WORK TO PREVENT PUBLIC ACCESS INTO THE WORK AREA.
 - ALL VOIDS CREATED BY REMOVAL OF EXISTING ELEMENTS SHALL BE BACKFILLED WITH GRAVEL BORROW IN ACCORDANCE WITH 31 00 00 EARTHWORK.
 - SEDIMENTATION CONTROL DEVICES WITHIN THE TOWN'S RIGHT OF WAY, MUST BE MAINTAINED, INSPECTED, CLEANED AND REPLACED AS NECESSARY TO PREVENT POSSIBLE FLOODING ISSUES DURING RAIN EVENTS. ONCE ALL WORK IS DONE, ANY SEDIMENTATION CONTROL DEVICES MUST BE REMOVED BY THE CONTRACTOR AS SOON AS POSSIBLE.
 - DURING THE CONSTRUCTION PERIOD, STATE STREET TRACK ENTRANCE MAY HAVE TO BE TEMPORARILY CLOSED OR RESTRICTED FOR THE UNLOADING / LOADING OF EQUIPMENT OR AS A RESULT OF CONSTRUCTION ACTIVITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE TEMPORARY SIGNAGE FOR PEDESTRIAN SAFETY AND TO COORDINATE DIRECTLY WITH THE OWNER ON ANY SUCH CLOSURES.
 - THE FULL EXTENT OF TREES TO BE REMOVED IS SHOWN ON THIS PLAN - EACH INDIVIDUAL TREE PROPOSED TO BE REMOVED IS LABELED AS SUCH. SHOULD THE GC DEEM THAT ADDITIONAL TREE(S) NEED TO BE REMOVED BEYOND THOSE IDENTIFIED FOR REMOVAL ON THIS PLAN, THOSE ADDITIONAL TREES SHALL ONLY BE REMOVED WITH THE APPROVAL OF THE ENGINEER AND OWNER.

- CONSTRUCTION PERIOD TRAFFIC MANAGEMENT:**
- NO NET CHANGE IN TRAFFIC IS EXPECTED ON-SITE AS A RESULT OF THE PROJECT IN POST-CONSTRUCTION CONDITIONS. DURING CONSTRUCTION, CONTRACTOR STAFF SHALL UTILIZE THE THREE PARKING SPACES AT THE SOUTHEAST CORNER OF THE PARKING LOT, AS IDENTIFIED ON THIS PLAN. THE EXISTING PARKING LOT PAVEMENT IS POROUS AND SHOULD BE KEPT CLEAN OF SEDIMENT THROUGHOUT THE DURATION OF CONSTRUCTION. IF DUST AND SEDIMENT TRACKS ONTO THE PARKING LOT PAVEMENT, THE CONTRACTOR SHALL SWEEP AND REMOVE THE SEDIMENT IN ACCORDANCE WITH GUIDANCE PROVIDED BY THE WELLESLEY DPW.
 - ALL CONSTRUCTION VEHICLES ACCESSING THE FENCED IN WORK AREA SHALL ENTER AND DEPART THE AREA VIA THE STABILIZED CONSTRUCTION TRACK PAD.

Project:
**WELLESLEY HUNNEWELL FIELD
TEAM ROOM**



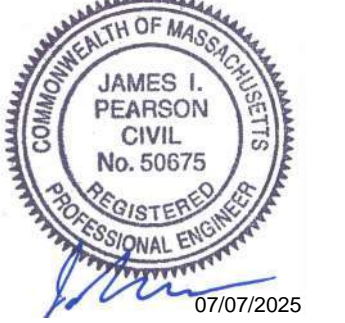
**TOWN OF WELLESLEY
MASSACHUSETTS**

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Consultants:

Revisions:		
No.	Date	Description

COA:

Seal:


Issued For:
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Scale: AS NOTED

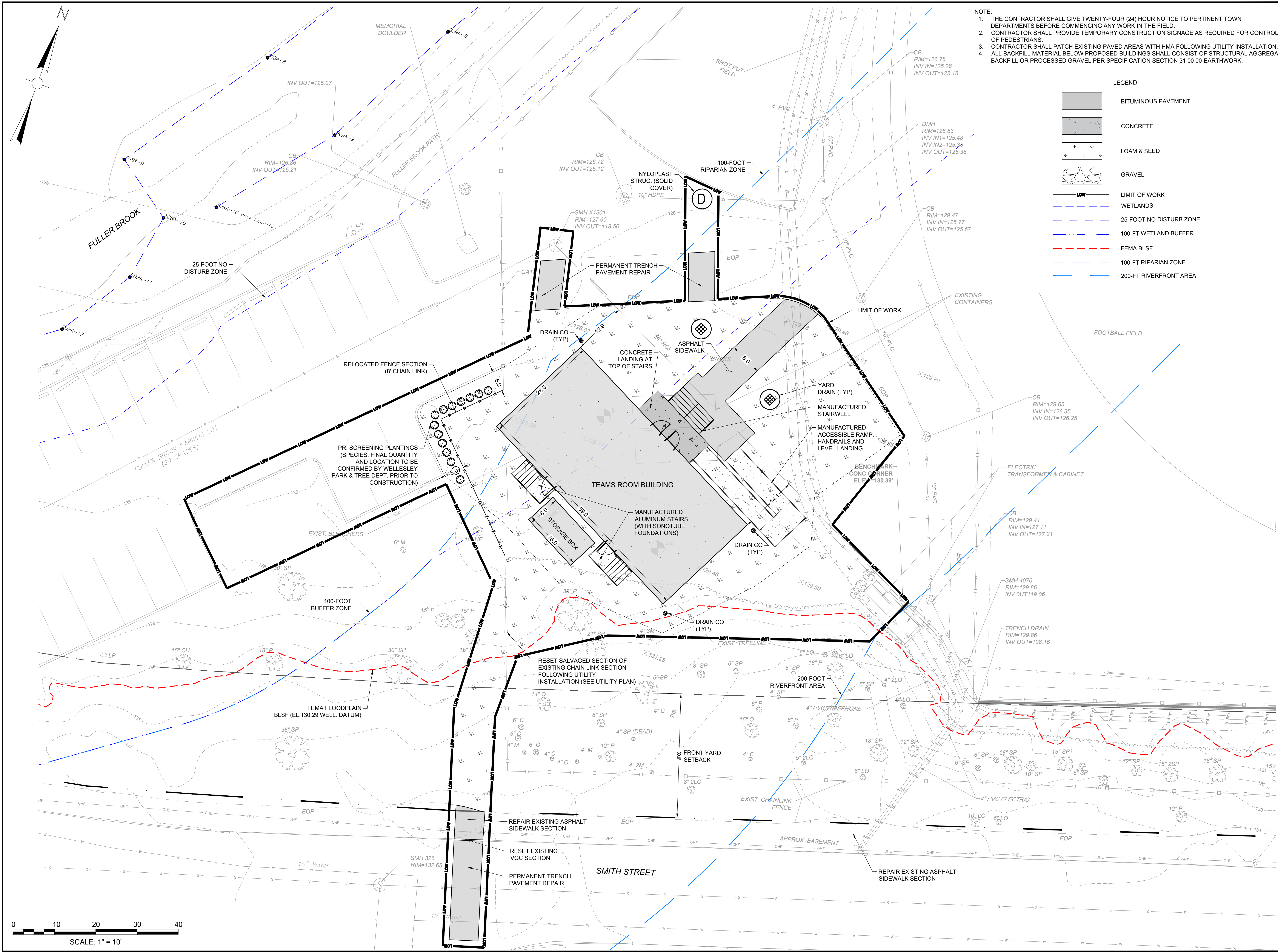
Date: JULY 7, 2025
Drawn By: CTP
Reviewed By: JLO
Approved By: JJP

W&S Project No.: ENG25 - 0240
W&S File No.:

Drawing Title:
**SITE
PREPARATION
PLAN**

Sheet Number:
C110

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- NOTE:
1. THE CONTRACTOR SHALL GIVE TWENTY-FOUR (24) HOUR NOTICE TO PERTINENT TOWN DEPARTMENTS BEFORE COMMENCING ANY WORK IN THE FIELD.
 2. CONTRACTOR SHALL PROVIDE TEMPORARY CONSTRUCTION SIGNAGE AS REQUIRED FOR CONTROL OF PEDESTRIANS.
 3. CONTRACTOR SHALL PATCH EXISTING PAVED AREAS WITH HMA FOLLOWING UTILITY INSTALLATION.
 4. ALL BACKFILL MATERIAL BELOW PROPOSED BUILDINGS SHALL CONSIST OF STRUCTURAL AGGREGATE BACKFILL OR PROCESSED GRAVEL PER SPECIFICATION SECTION 31 00 00-EARTHWORK.

LEGEND

[Symbol]	BITUMINOUS PAVEMENT
[Symbol]	CONCRETE
[Symbol]	LOAM & SEED
[Symbol]	GRAVEL
[Symbol]	LIMIT OF WORK
[Symbol]	WETLANDS
[Symbol]	25-FOOT NO DISTURB ZONE
[Symbol]	100-FT WETLAND BUFFER
[Symbol]	FEMA BLSF
[Symbol]	100-FT RIPARIAN ZONE
[Symbol]	200-FT RIVERFRONT AREA

Project:
**WELLESLEY HUNNEWELL FIELD
TEAM ROOM**



**TOWN OF WELLESLEY
MASSACHUSETTS**

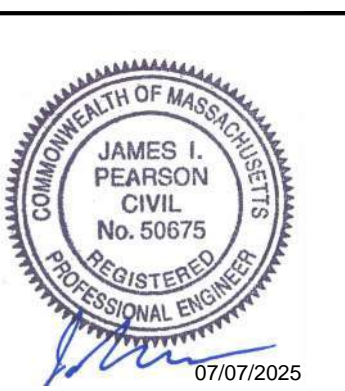
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Date:

JULY 7, 2025

Drawn By:

CTP

Reviewed By:

JLO

Approved By:

JJP

W&S Project No.:

ENG25 - 0240

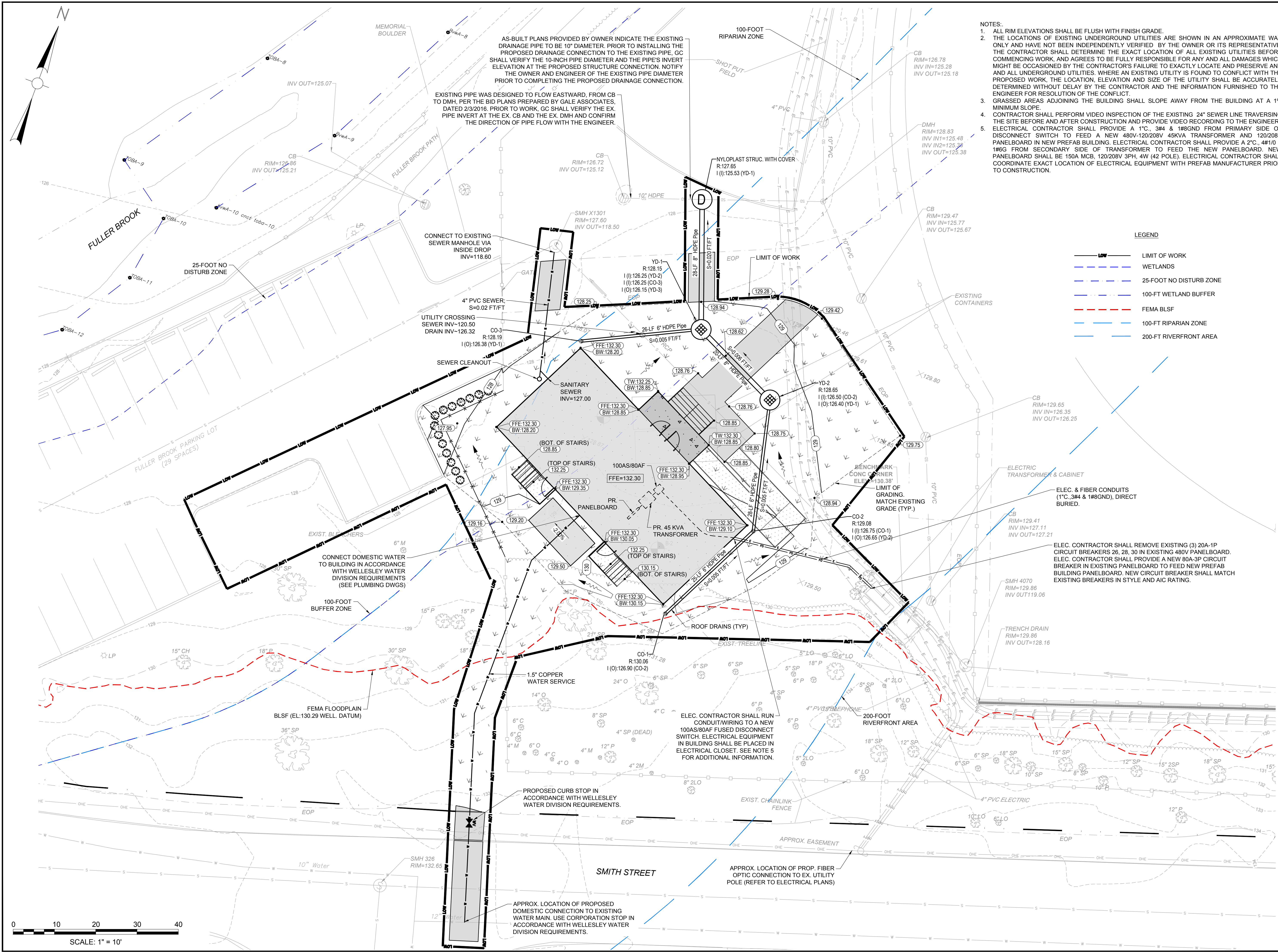
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Drawing Title:

**LAYOUT &
MATERIALS
PLAN**


Sheet Number:

C120



- NOTES:
1. ALL RIM ELEVATIONS SHALL BE FLUSH WITH FINISH GRADE.
 2. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.
 3. GRASSED AREAS ADJOINING THE BUILDING SHALL SLOPE AWAY FROM THE BUILDING AT A 1% MINIMUM SLOPE.
 4. CONTRACTOR SHALL PERFORM VIDEO INSPECTION OF THE EXISTING 24" SEWER LINE TRAVERSING THE SITE BEFORE AND AFTER CONSTRUCTION AND PROVIDE VIDEO RECORDING TO THE ENGINEER. ELECTRICAL CONTRACTOR SHALL PROVIDE A 1" C, 3#4 & 1#8GND FROM PRIMARY SIDE OF DISCONNECT SWITCH TO FEED A NEW 480V-120/208V 45KVA TRANSFORMER AND 120/208V PANELBOARD IN NEW PREFAB BUILDING. ELECTRICAL CONTRACTOR SHALL PROVIDE A 2"C, 4#1/0 & 1#6G FROM SECONDARY SIDE OF TRANSFORMER TO FEED THE NEW PANELBOARD. NEW PANELBOARD SHALL BE 150A MCB, 120/208V 3PH, 4W (42 POLE). ELECTRICAL CONTRACTOR SHALL COORDINATE EXACT LOCATION OF ELECTRICAL EQUIPMENT WITH PREFAB MANUFACTURER PRIOR TO CONSTRUCTION.

Project:
**WELLESLEY HUNNEWELL FIELD
TEAM ROOM**



**TOWN OF WELLESLEY
MASSACHUSETTS**

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Date: JULY 7, 2025
Drawn By: CTP
Reviewed By: JLO
Approved By: JJP

W&S Project No.: ENG25 - 0240
W&S File No.:

Drawing Title:

**GRADING &
DRAINAGE /
UTILITY PLAN**

Sheet Number:

C130

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① 3D RENDERING - FRONT
1/4" = 1'-0"

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9/4/2025 1:48:02 PM

Project:
HUNNEWELL FIELD TEAM ROOM
BUILDING
55 RICE STREET WELLESLEY, MA 02461



TOWN OF WELLESLEY

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Revisions:		
No.	Date	Description
1	09/11/25	PER ZBA COMMENTS

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Scale: NGS = 1/4"

Key Plan:

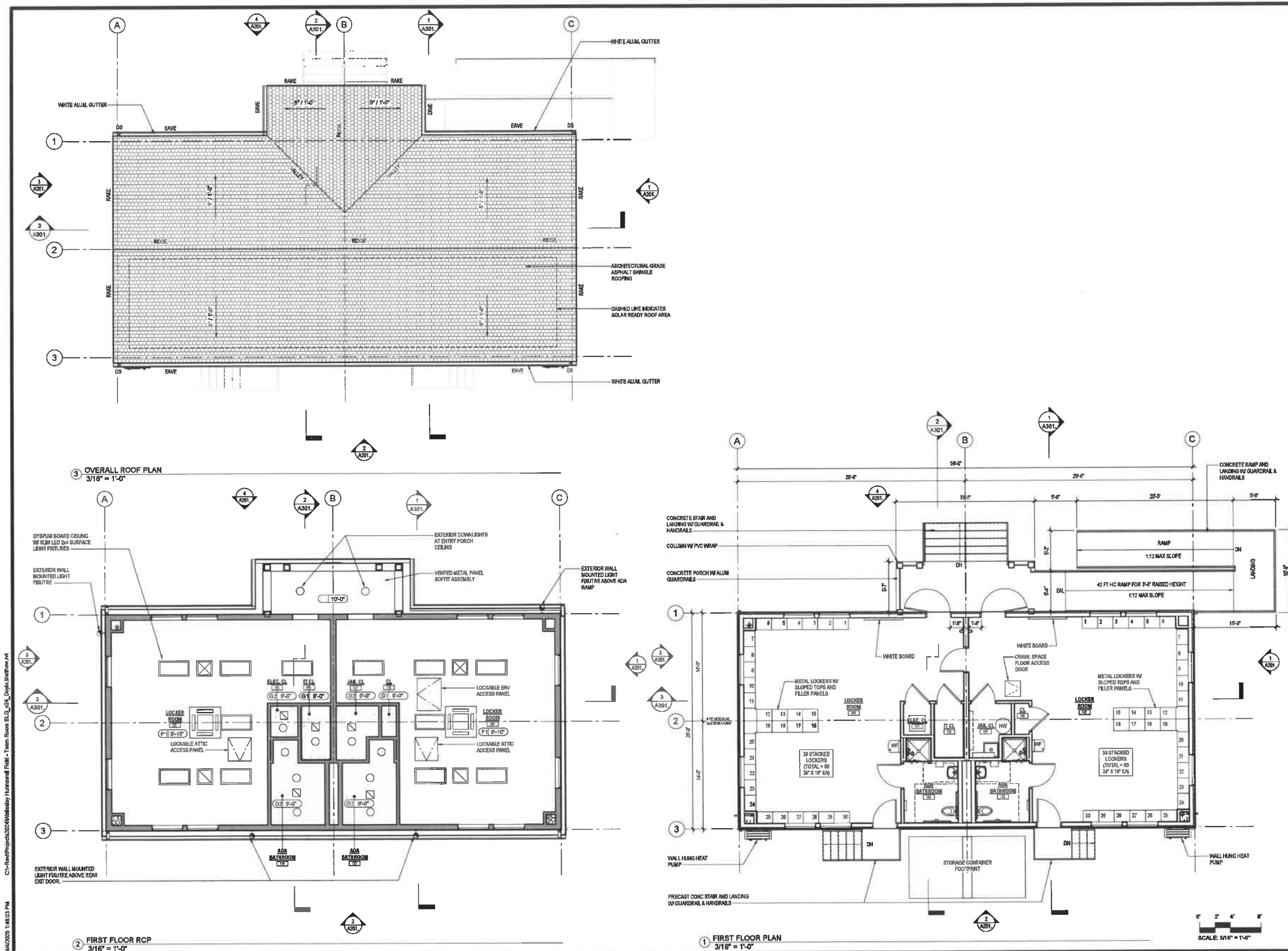


Date: SEPT. 11, 2025
Drawn By: MD
Reviewed By: FS
Approved By: DT


W&S Project No.: EN0325-0040
W&S File No.: 25-0540 Wellesley Hunnewell Team Rm

Drawing Title:
3D RENDERING

Sheet Number:
A100.



Project:
HUNNEWELL FIELD TEAM ROOM
BUILDING
55 RICE STREET WELLESLEY, MA 02461



TOWN OF WELLESLEY

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Revisions:

No.	Date	Description
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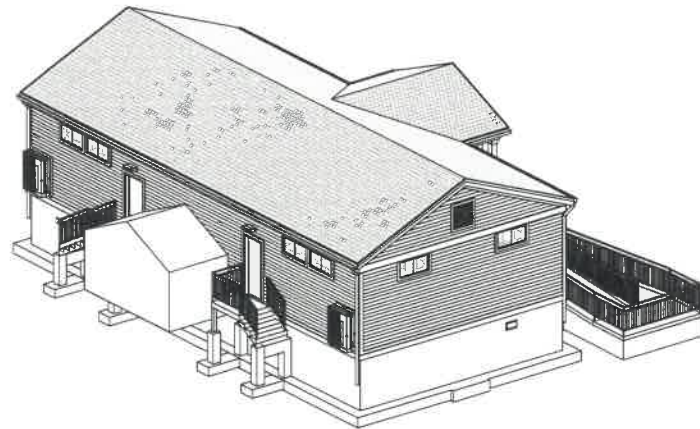
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Key Plan:

North Arrow

Overall Floor Plans

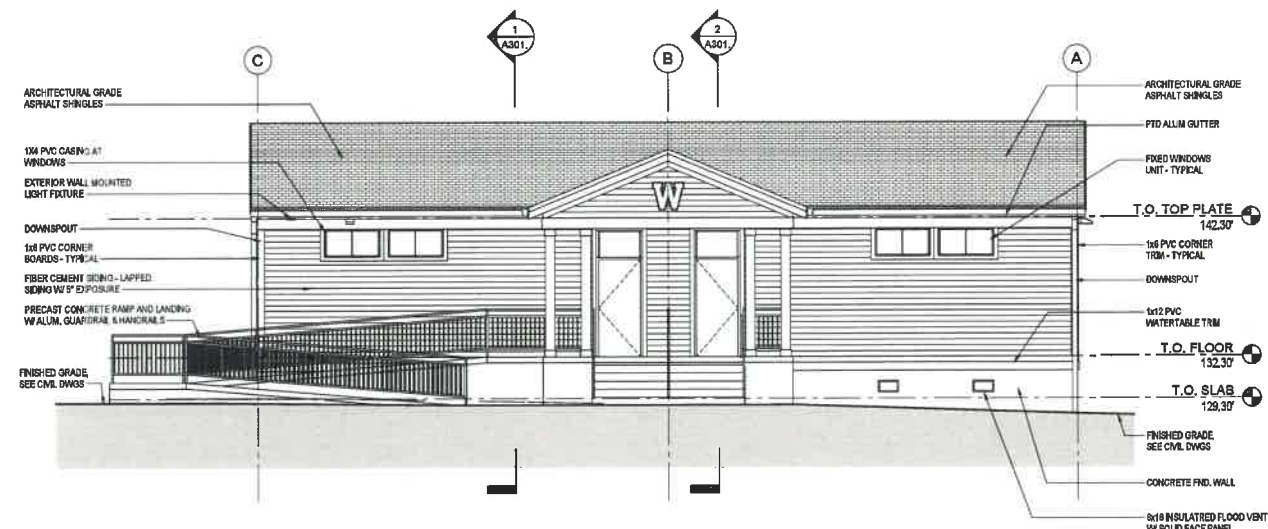
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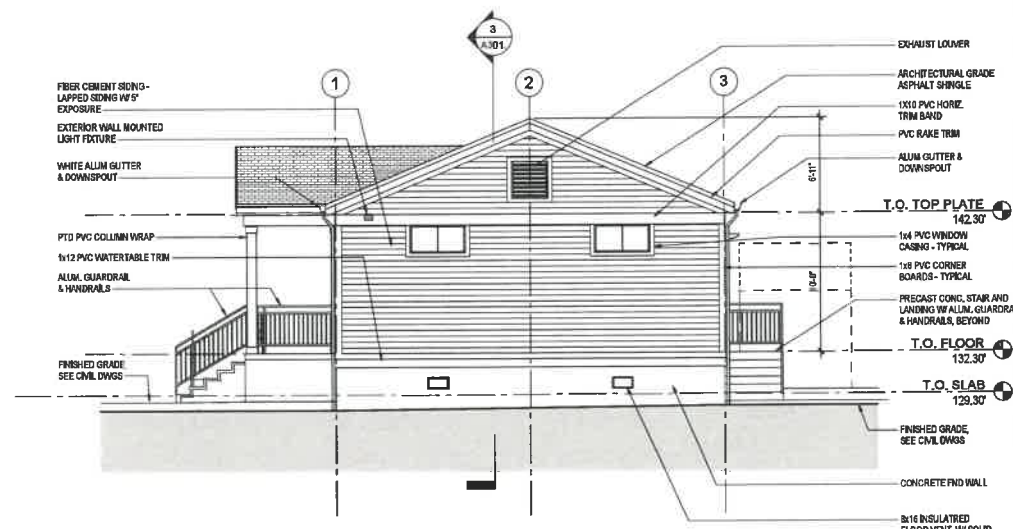
6 3D VIEW 1



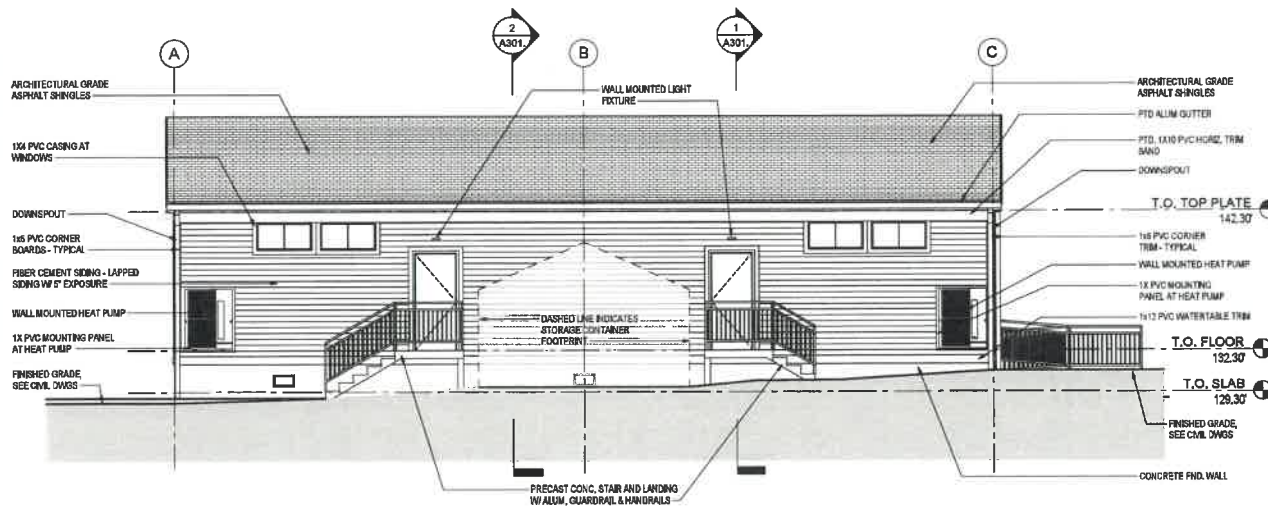
5 3D VIEW 2



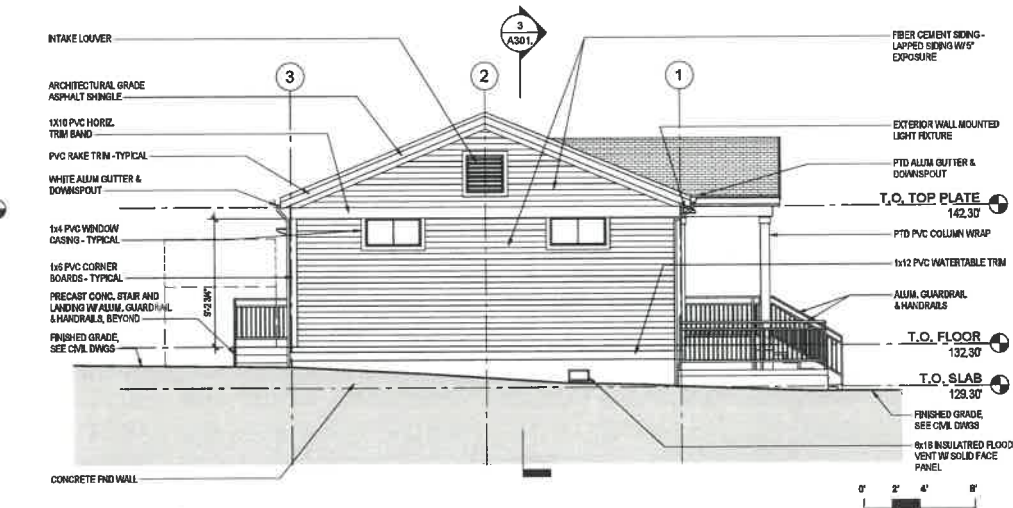
4 FRONT ELEVATION
3/16\"/>



3 RIGHT ELEVATION
3/16\"/>



2 REAR ELEVATION
3/16\"/>



1 LEFT ELEVATION
3/16\"/>

Project:
HUNNEWELL FIELD TEAM ROOM
BUILDING
55 RICE STREET WELLESLEY, MA 02461

TOWN OF WELLESLEY

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Consent:

No.	Date	Description
1	09/11/25	PER ZBA COMMENTS

Revised:

No.	Date	Description
1	09/11/25	PER ZBA COMMENTS

Scale:

Scale:	3/16" = 1'-0"
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Key Plan:

Key Plan:

North Arrow:

North Arrow

Overall Elevations & 3D Views

Overall Elevations & 3D Views

Sheet Number:

A201.

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