

TOWN OF WELLESLEY



MASSACHUSETTS

ZONING BOARD OF APPEALS

888 WORCESTER STREET • SUITE 160 • WELLESLEY, MA 02482

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ZBA 2025-45

Petition of Town of Wellesley/Department of Public Works
55 Rice Street (Hunnewell Field)

2025 OCT - 1 AM 11:10
ZONING BOARD OF APPEALS
TOWN OF WELLESLEY MASS. OFFICE
WELLESLEY, MASS. 02482

INTRODUCTION

Town Of Wellesley, Department of Public Works (DPW), the "Applicant", has requested from the Zoning Board of Appeals (the "Board") the issuance of a site plan approval and a special permit, subject to Section 3.7, Section 5.6 and Section 6.3 of the Zoning Bylaw for a major construction project in a Wetland Buffer Zone and Riverfront Area, and a Flood Plain or Watershed Protection District at 55 Rice Street (Hunnewell Field).

THE PROJECT

Description

The Site consists of 25.55 acres, in a Parks, Recreation & Conservation District. The property is bounded by Washington Street to the north, residential properties to the east, Smith Street to the south, and residential and business properties to the west. The High School Track and Field complex is approximately 6.7 acres of land consisting of athletic facilities, a small parking area, wetlands and access paths. Fuller Brook borders the field to the east and to the west. The proposed building will be located in an existing grass area between the Fuller Brook parking lot and the driveway entrance to the High School Track and Field complex.

The project includes construction of a one-story team room building with men's and women's locker rooms equipped with restroom facilities, stairs to provide access to the three building doors, an asphalt sidewalk, an accessible ramp, and a detached storage container located behind the building to store recreational field equipment. The work will involve minor trenching for utility work associated with sanitary sewer, water and electric connections, and minor tree removal.

RECORD OF DISCUSSIONS

The Board held a public hearing on August 21, 2025 and August 28, 2025. The public hearing was closed and Site Plan Approval was granted on September 11, 2025.

FINDINGS OF FACT

Zoning

The Zoning Bylaw provides, for each zoning district, requirements for the use of land and structures, as well as dimensional requirements for the land and structures erected upon the land.

SECTION 1.3 DEFINITIONS

Major Construction Project – shall mean any Construction Project which involves a change in the outside appearance of a building or buildings or premises, and includes one or more of the following:

1. construction of twenty-five hundred (2,500) or more square feet gross floor area;
2. an increase in gross floor area by fifty (50) percent or more which results in a gross floor area of at least twenty-five hundred (2,500) square feet;
3. any project meeting the definition of an MBTA Community Project;
4. grading or regrading of land to planned elevations, and/or removal or disturbance of the existing vegetative cover, over an area of five thousand (5,000) or more square feet;
5. any activities regulated or restricted under Section 3.7; or
6. any activities regulated under Section 3.8.

SECTION 3.7. FLOOD PLAIN OR WATERSHED PROTECTION DISTRICTS

E. Regulations and Restrictions

1. General Restrictions:

a. In Flood Plain or Watershed Protection Districts, except as provided in Section 3.7.E.4 below, no new building or structure shall be constructed or used in whole or in part, and no existing building or structure lying wholly within a designated Flood Plain or Watershed Protection District shall be altered, enlarged, reconstructed or used in a manner which would increase ground coverage within the Flood Plain or Watershed Protection District; no dumping of trash, rubbish, garbage, junk or other waste materials shall be permitted; no filling, dumping, excavating, removal or transfer of gravel, sand, loam, or other material which will restrict flood water flow or reduce the flood water storage capacity shall be permitted, except the surfacing or resurfacing of any existing parking area.

b. The Town requires a permit for all proposed construction or other development in the Flood Plain District, including new construction or changes to existing buildings, placement of manufactured homes, placement of agricultural facilities, fences, sheds, storage facilities or drilling, mining, and paving.

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WELLESLEY, MA 02481
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- c. All development in the Flood Plain or Watershed Protection District, including structural and non-structural activities, must be in compliance with Chapter 131, Section 40 of the Massachusetts General Laws and the following:
 - i. Sections of the Massachusetts State Building Code (780 CMR) which address floodplain and coastal high hazard areas;
 - ii. Wetlands Protection Regulations, Department of Environmental Protection (310 CMR 10.00);
 - iii. Inland Wetlands Restriction, Department of Environmental Protection (310 CMR 13.00); and
 - iv. Minimum Requirements for the Subsurface Disposal of Sanitary Sewage, Department of Environmental Protection
 - iv. Minimum Requirements for the Subsurface Disposal of Sanitary Sewage, Department of Environmental Protection (310 CMR 15, Title 5).
- d. The portion of any lot delineated as being within a Flood Plain or Watershed Protection District may be used to meet the area and yard requirements for the district in which the remainder of the lot is situated.

SECTION 5.6. PROJECT APPROVAL

A. Scope and Purpose

Minor Construction Projects (as herein defined) and Major Construction Projects (as herein defined) are subject to comprehensive review in accordance with the terms of this section. This section shall not apply to construction, alteration, enlargement or reconstruction of One-Unit Dwellings and Two-Unit Dwellings or structures accessory thereto, unless such One-Unit or Two-Unit Dwelling is located in a Flood Plain or Watershed Protection District.

This section shall be interpreted so as to:

1. Ensure compliance with the Zoning Bylaws of the Town of Wellesley;
2. Protect the safety, convenience and welfare of the public;
3. Minimize additional congestion in public and private ways;
4. Ensure adequate provision for water, sewerage and drainage;
5. Ensure compliance with the provisions of Section 1.4;
6. Ensure compliance with the provisions of Section 5.17; and
7. Ensure compliance with the provisions of Section 5.5.

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SECTION 6.3. SPECIAL PERMIT GRANTING AUTHORITY**A. General Authority and Conditions**

This Zoning Bylaw provides for specific types of uses which shall only be permitted in specified districts upon the granting of a special permit, as provided herein. Special permits may be granted only for uses which are in harmony with the general purpose and intent of this Zoning Bylaw, and shall be subject to general or specific provisions as set forth herein, and such permits may also impose conditions, safeguards, and limitations on time or use, in order to further the objectives of this Zoning Bylaw.

SUBMITTALS FROM THE APPLICANT

- Letter to Zoning Board of Appeals, dated July 7, 2025, from Jesse O'Donnell, P.E., Civil Engineer, and Matt Doyle, Project Manager, re: Site Plan Approval Filing (Major Construction Project) Hunnewell Field Team Room 55 Rice Street, Wellesley, Massachusetts.
- Application for Site Plan Approval and Special Permit
- Site Plan Approval Checklist
- Development Prospectus
- Approved 2015 Wetlands Protection Committee Notice of Intent Documents, including Project Description and C101, Layout and Materials Plan and C102, Grading Plan, dated 10/12/15, revised 11/12/15 and 12/2/15, stamped by John M. Perry, P.E. #47842
- Stormwater Analysis, dated 06/09/2025, stamped by James I. Pearson, P.E. #50675, including Flood Insurance Rate Map, Norfolk County, Massachusetts, Panel 16 of 430, Effective July 17, 2012.
- Geotechnical Boring Logs, including Figure 2, Site Plan, dated 03/25, prepared by Weston & Sampson
- Existing Conditions Site Photographs
- Memorandum, dated September 4, 2025, from Linda Chow, on behalf of the School Committee, re: Hunnewell Track & Field Team Rooms Background and 8/28/25 ZBA Meeting Follow-up
- Memorandum, dated September 4, 2025, from Weston & Sampson Engineers, Inc., re: Proposed High School Team Room: Response to Board Comments

| Plan Number | Drawing Title | Date of Issue | Prepared By | Date of Revision |
|-------------|-------------------------------|---------------|-------------------------------|------------------|
| | Cover Sheet | | | 9/4/25 |
| C001 | Abbreviations, Notes & Legend | 7/7/25 | James I. Pearson, P.E. #50675 | 9/4/25 |
| C100 | Existing Conditions Plan | 7/7/25 | James I. Pearson, P.E. #50675 | 9/4/25 |

| | | | | |
|--------------|---|--------|--|------------|
| C101 | Plot Plan | 7/7/25 | James I. Pearson, P.E. #50675 | 9/4/25 |
| C110 | Site Preparation Plan | 7/7/25 | James I. Pearson, P.E. #50675 | 9/4/25 |
| C120 | Layout & Materials Plan | 7/7/25 | James I. Pearson, P.E. #50675 | 9/4/25 |
| C130 | Grading & Drainage/Utility Plan | 7/7/25 | James I. Pearson, P.E. #50675 | 9/4/25 |
| C152 | Mitigation Area Plan | 7/7/25 | James I. Pearson, P.E. #50675 | 9/4/25 |
| C500 | Details 1 | 7/7/25 | James I. Pearson, P.E. #50675 | 9/4/25 |
| C501 | Details 11 | 7/7/25 | James I. Pearson, P.E. #50675 | 9/4/25 |
| C502 | Details 111 | 7/7/25 | Weston & Sampson | 9/4/25 |
| A100. | 3D Rendering | 7/7/25 | Brian McCusker, R.A. #952455 | 20250311-1 |
| A100 | 3D Rendering | 9/4/25 | Weston & Sampson | 9/4/25 |
| A101. | Overall Floor Plans | 7/7/25 | Brian McCusker, R.A. #952455 | 1 |
| A101. | Overall Floor Plans | 9/4/25 | Weston & Sampson | 9/4/25 |
| A201. | Overall Elevations & 3D Views | 7/7/25 | Brian McCusker, R.A. #952455 | 2 |
| A201. | Overall Elevations & 3D Views | 9/4/25 | Weston & Sampson | 9/4/25 |
| A301. | Building Sections | 7/7/25 | Brian McCusker, R.A. #952455 | 3 |
| A301. | Building Sections | 9/4/25 | Weston & Sampson | 9/4/25 |
| Sheet 1 of 1 | Plot Plan High School Track & Field, High School Teams Room | 7/7/25 | Gerard R. Bruno, P.L.S. #56789 & David J. Hickey Jr., P.E. #37653 | 4 |
| Sheet 1 of 1 | Existing Conditions Plan | 7/7/25 | Gerard R. Bruno, P.L.S. #56789 & David J. Hickey Jr., P.E. #37653 | 5 |

SUBMITTALS ON BEHALF OF THE TOWN OF WELLESLEY:

On June 26, 2025, the Design Review Board reviewed the Project and voted unanimously to accept the application as presented, with recommendations.

On July 31, 2025, the Wetlands Protection Committee issued an Order of Conditions, MassDEP File #:324-1062.

On August 1, 2025, Ian McMakin, Deputy Chief, Town of Wellesley, Fire Resue Department, reviewed and approved the proposed project.

On August 15, 2025, Doug Stewart, Civil Engineer, Town of Wellesley, Department of Public Works, Engineering Division, reviewed the project and submitted comments.

On August 19, 2025, the Planning Board reviewed the project and recommended approval.

WAIVERS

From ZBA Site Plan Approval application form, section 4. (c): Profile showing proposed utilities in relation to the ground surface, as no trunkline or linear roadway utilities are proposed and the only proposed utilities are pipes to plans for services.

From ZBA Site Plan Approval application form, section 6. (h): Plan must be stamped, dated, and signed by a Registered Landscape Architect in the Commonwealth of Massachusetts. as proposed landscaping on the site is limited to loan and seed and minor screening plantings along the rear of the building, per the Design Review Board's recommendation and to the satisfaction of the Public Works' Park and Tree Superintendent. Weston & Sampson's technical engineering lead elected to stamp the plan depicting the proposed minor landscape improvements.

From Section 5.12.E. of the Zoning Bylaw: 1. Information identifying the location, orientation, height and type of outdoor luminaires to be installed; and 3. A photometric plan showing the intensity of illumination expressed in foot-candles and/or lux at ground level within the interior of the property boundaries except that such plans shall not be required for Externally Illuminated Signs. The only proposed luminaires on the site are the wall pack light fixtures adhered to the exterior building walls. The architectural plans identify the locations of the fixtures and Weston & Sampson can confirm they are dark sky compliant. The Design Review Board approved the plans as submitted.

DECISION

The Applicant has requested from the Board the issuance of a site plan approval subject to the Zoning Bylaw Section 5.6, §§ C.2. (a) and (b), authorizing the Applicant to construct the Project.

The Board has made a careful study of the materials submitted and the information presented at the hearing, and has documented the results of the study above. Based on the results of the study, on September 11, 2025, the Board voted unanimously to grant the site plan approval pursuant to Section 5.6 of the Zoning Bylaw for a major construction project subject to site plan review.

The Board's approval of the Site Plan for the Project is premised on the Applicant's and Project's compliance with the following conditions (the "Conditions"). All requirements imposed by the Conditions or this Site Plan Approval shall be applicable to the entity responsible for the administration of the Project regardless of whether the condition specifically identifies the Applicant, the responsible entity, or no entity as having responsibility for a particular condition.

It is the opinion of this Authority that construction of a one-story team room building with men's and women's locker rooms equipped with restroom facilities, stairs to provide access to the three building doors, an asphalt sidewalk, an accessible ramp, and a detached storage container located behind the building in a Flood Plain or Watershed Protection District shall make adequate provision for the protection, preservation and maintenance of the water table and water recharge areas; the preservation of the natural river channel plus sufficient width of overbank areas for the passage of flood flows; the retention of existing floodwater storage capacity; the design of proposed construction in a manner which ensures anchoring to prevent flotation, collapse and/or excessive movement of structures; and the design of public utilities including sewer, water, gas and electrical systems in a manner which will minimize or eliminate flood damage.

Therefore, a Special Permit is granted, as voted unanimously by this Authority at the Public Hearing, for construction of a one-story team room building with men's and women's locker rooms equipped with restroom facilities, stairs to provide access to the three building doors, an asphalt sidewalk, an accessible ramp, and a detached storage container located behind the building, in a Flood Plain or Watershed Protection District.

The Inspector of Buildings is hereby authorized to issue a permit for construction upon receipt and approval of a building application and detailed construction plans.

CONDITIONS

1. By accepting this Site Plan Approval the Applicant agrees to the terms, covenants and conditions and agreements contained herein. This Site Plan Approval shall expire two years from the date hereof unless construction has begun by that date. The Applicant may apply to the Board for reasonable extensions to this Site Plan Approval for good and sufficient reason.
2. Except for the relief granted by the Board as listed in these Conditions, the Applicant shall comply with all provisions of the Zoning Bylaw and general bylaws generally applicable to a project, approved on September 11, 2025.
3. Contract documents, including working drawings and specifications for the Project shall undergo the usual and customary review and approvals of the Building Inspector, the Town Engineer or any other applicable local inspector or board.
4. The Applicant shall establish a website, or use an existing website during the duration of site construction activities, to provide Town officials and residents access to the most current scheduled activities and notification of upcoming Project events that reasonably have the potential to impact the surrounding neighborhood.

Design Conditions

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5. Design and construction of the Project shall fully comply with all applicable federal and state laws and regulations, including, but not limited to, the requirements of the Massachusetts State Building Code (780 CMR) and the Massachusetts Architectural Access Board (521 CMR). The Project shall be designed and constructed on the Site in accordance with the Plans, except as provided in this Site Plan Approval, including these Conditions. Any requirement of consistency with the Plans means as those Plans are modified by the Conditions.

Construction Conditions

6. The Applicant shall implement its Construction Management Plan as specified in its Site Preparation Plans, dated September 4, 2025.
7. During the period of construction, all construction equipment and materials deliveries shall utilize a travel route that has been coordinated with the Police Department prior to its use. Every effort shall be made to avoid streets where schools are located and residential streets.
8. During the period of construction, all deliveries of construction materials and equipment shall be made only on Monday through Friday no earlier than 7:00 am and no later than 4:00 pm. Construction work may be performed on the Site Monday through Friday commencing not earlier than 7:00 am and completing not later than 6:00 pm and on Saturday commencing not earlier than 8:00 am and completing not later than 6:00 pm. Any work before 7:00 am or later than 6:00 pm shall only take place in case of emergency with the permission of the Police.
9. During the period of construction, on-site parking for construction equipment and parking for construction workers at 55 Rice Street is specifically permitted. No vehicles of construction workers and no construction equipment shall be parked on any other public way of the Town. Construction vehicles waiting to access the site shall shut off engines when not in use, or when idling time exceeds five minutes. If a truck comes early, there shall be a plan as to where the truck may wait with its engine shut off.
10. All construction and delivery vehicles exiting the site shall stop at an established construction exit for a wheel wash to prevent mud and debris from falling into the street abutting the site. The Applicant shall cause the street abutting the site to be swept as frequently as required to ensure that dust, dirt and debris not completely removed by the truck wash are not deposited onto the street.
11. All construction waste shall be kept in dumpsters. The dumpsters shall be kept covered and only be picked up during normal working hours, Monday through Friday, 7 am to 4 pm.

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12. The gates to the construction site shall be locked over the weekends and at night.
13. A sign on the outer fence shall have all contact information for the contractor and the Department of Public Works Engineering Division.

Use Conditions

14. Landscaping shall be in conformance with the Landscaping Plan and shall be maintained, repaired, or replaced as needed by the Town.

General Conditions

15. Plans, A100, A101, A201 & A301, dated 9/11/25, as discussed at the Public Hearing on September 11, 2025, that show revisions to remove the stone veneer on the exposed foundation wall of the building and the accessible ramp, and clarifying the accessible ramp to the building as precast concrete, shall be submitted.
16. Buses for teams arriving at the Wellesley High School for games shall pull into the High School parking lot, just to the left of the High School, to drop off the teams. When the teams unload from the bus, they will use the crosswalk directly behind them to cross the street to head to the fields and track. The bus can then park on the far side of the parking lot along the curb, not taking up spectator parking. The buses shall not drop off or pick up the teams on Rice Street, State Street, any neighborhood streets, or in the parking lot that is adjacent to Hunnewell Field on State Street.

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Petition of Town of Wellesley/Department of Public Works
55 Rice Street (Hunnewell Field)

APPEALS FROM THIS DECISION,
IF ANY, SHALL BE MADE PURSUANT
TO GENERAL LAWS, CHAPTER 40A,
SECTION 17, AND SHALL BE FILED
WITHIN 20 DAYS AFTER THE DATE
OF FILING OF THIS DECISION IN THE
OFFICE OF THE TOWN CLERK.

Robert W. Levy (Am)

Robert W. Levy, Acting Chairman

Derek B. Redgate (Am)

Derek B. Redgate

Peter Covo (Am)

Peter Covo

ZBA 2025-45
Applicant Town of Wellesley/Department of Public Works
Address 55 Rice Street (Hunnewell Field)

NOT VALID FOR RECORDING UNTIL CERTIFIED BY TOWN CLERK

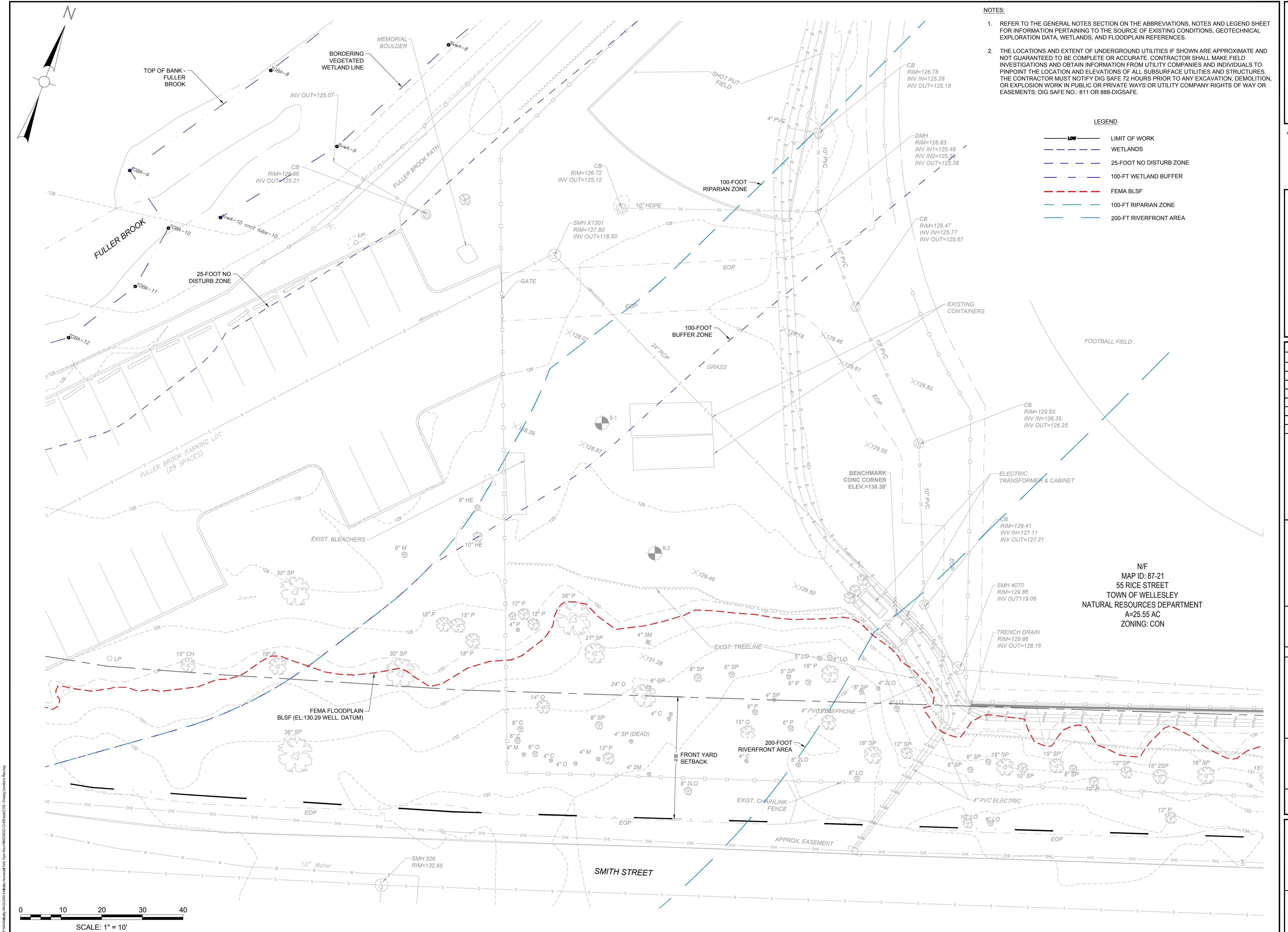
In accordance with Section 11 of Chapter 40A of the Massachusetts General Laws, I hereby certify that twenty (20) days have elapsed after the within decision was filed in the office of the Town Clerk for the Town of Wellesley, and that no appeal has been filed, or that if such appeal has been filed, that it has been dismissed or denied.

Date:

Attest:

Cathryn Jane Kato
Town Clerk

cc: Planning Board
Inspector of Buildings
lrm



Consultants:

The seal is circular with a scalloped outer edge. The words "COMMONWEALTH OF MASSACHUSETTS" are at the top and "REGISTERED PROFESSIONAL ENGINEER" are at the bottom. In the center, it says "JAMES I. PEARSON CIVIL No. 50675". A blue signature is over the bottom left, and the date "07/07/2025" is at the bottom right.

Issued For: **PERMITTING
NOT FOR CONSTRUCTION**

Scale: AS NOTED

Date: JULY 7, 2025

Drawn By: CTP

Reviewed By: JLO

Approved By: JIP

W&S Project No.: ENG25 - 0240

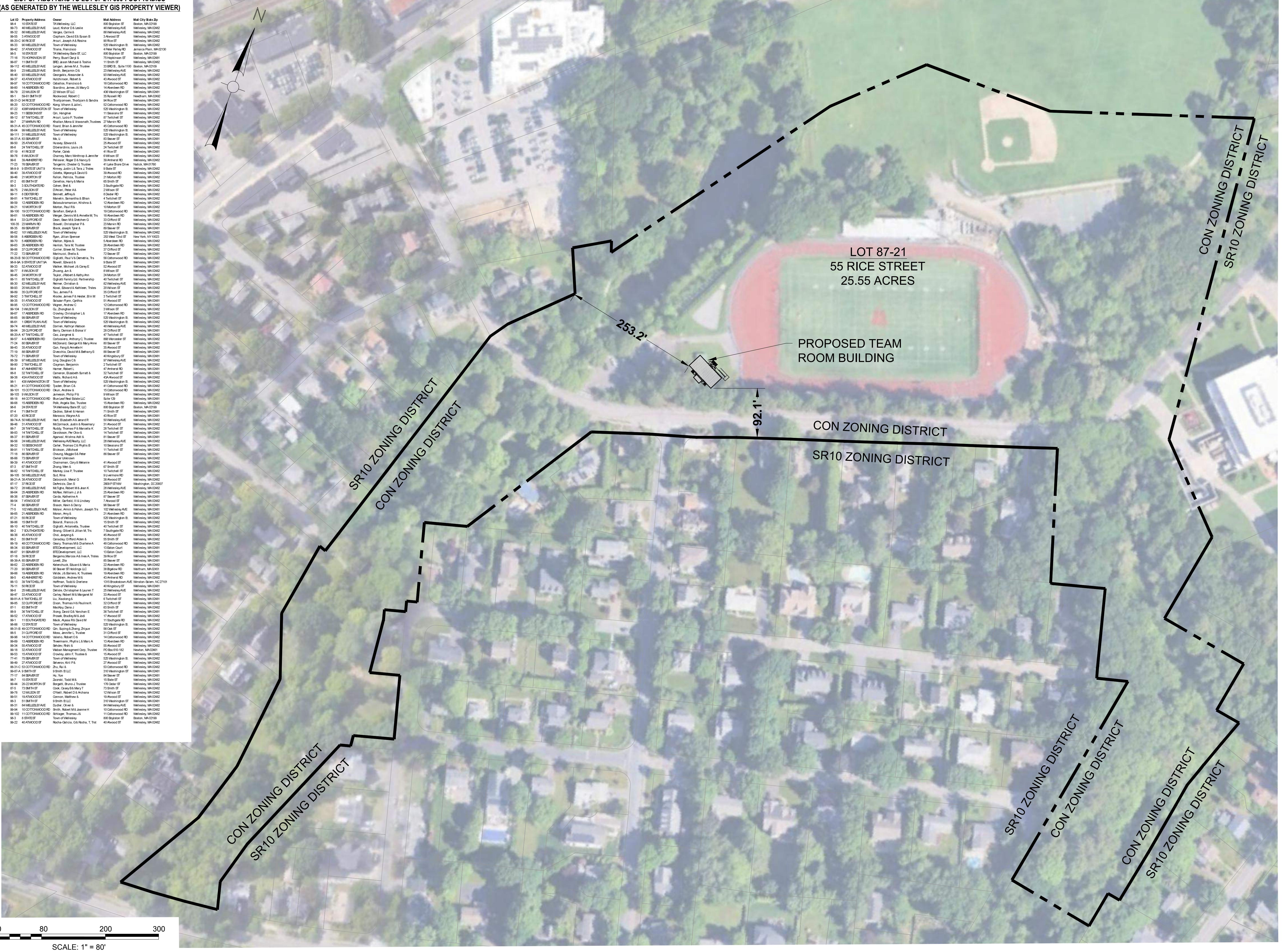
ANSWER

EXISTING CONDITIONS PLAN

Sheet Number:

LIST OF ABUTTERS TO LOT 87-21: 300-FOOT RADIUS
(AS GENERATED BY THE WELLESLEY GIS PROPERTY VIEWER)

| Lot ID | Property Address | Owner | Mail Address | Mail City State Zip |
|---------|--------------------|-------------------------------------|------------------------|-------------------------|
| 99-4 | 10 STATE ST | TA Wellesley, LLC | 800 Boylston ST | Boston, MA 02199 |
| 99-73 | 46 WELLESLEY AVE | Laud, Kishor D & Leslie | 46 Wellesley AVE | Wellesley, MA 02482 |
| 88-32 | 86 WELLESLEY AVE | Vargas, Carrie & | 86 Wellesley AVE | Wellesley, MA 02482 |
| 99-55 | 3 ATWOOD ST | Clapham, David E & Susan B | 3 Atwood ST | Wellesley, MA 02482 |
| 88-20-C | 90 RICE ST | Arcuri, Joseph A & Rosina | 90 Rce ST | Wellesley, MA 02482 |
| 88-33 | 90 WELLESLEY AVE | Town of Wellesley | 525 Washington St. | Wellesley, MA 02482 |
| 99-42 | 37 ATWOOD ST | Triana, Francisco | 4 Peter Parley RD | Jamaica Plain, MA 02130 |
| 99-5 | 16 STATE ST | TA Wellesley State ST, LLC | 800 Boylston ST | Boston, MA 02199 |
| 77-16 | 75 HOPKINSON ST | Perry, Stuart Daryl & | 75 Hopkinson ST | Wellesley, MA 02481 |
| 99-87 | 11 SMITH ST | BRD, Jason Michael & Tosbie | 11 Smith ST | Wellesley, MA 02482 |
| 99-112 | 45 WELLESLEY AVE | Langan, James M Jr, Trustee | 33 BRD St., Suite 1100 | Boston, MA 02109 |
| 99-9 | 23 WELLESLEY AVE | Smith, Benjamin D & | 23 Wellesley AVE | Wellesley, MA 02482 |
| 88-40 | 93 WELLESLEY AVE | Georgakis, Alexander & | 93 Wellesley AVE | Wellesley, MA 02482 |
| 99-37 | 43 ATWOOD ST | Hutchinson, Robert & | 43 Atwood ST | Wellesley, MA 02482 |
| 99-97 | 16 COTTONWOOD RD | Ceballos, Francisco & | 16 Cottonwood RD | Wellesley, MA 02482 |
| 99-60 | 14 ABERDEEN RD | Scardino, James J & Mary G | 14 Aberdeen RD | Wellesley, MA 02482 |
| 99-79 | 22 WILSON ST | 22 Wilson ST LLC | 436 Washington ST | Wellesley, MA 02481 |
| 88-1 | 59-61 SMITH ST | Rockwood, Robert C | 35 Russell RD | Needham, MA 02492 |
| 88-31-D | 94 RICE ST | Thorbjornsen, Thorbjorn & Sandra | 94 Rice ST | Wellesley, MA 02481 |
| 88-20 | 52 COTTONWOOD RD | Kong, Vihann & Julie L | 52 Cottonwood RD | Wellesley, MA 02482 |
| 87-22 | 438R WASHINGTON ST | Town of Wellesley | 525 Washington St. | Wellesley, MA 02482 |
| 99-23 | 11 SESSIONS ST | Qin, Hongmei | 11 Sessions ST | Wellesley, MA 02482 |
| 88-12 | 87 TWITCHELL ST | Arcuri, Lucio P, Trustee | 87 Twitchell ST | Wellesley, MA 02482 |
| 99-7 | 27 MARVIN RD | Khalitan, Mona & Vswanath, Trustees | 27 Marvin RD | Wellesley, MA 02482 |
| 88-31-A | 45 COTTONWOOD RD | Foard, Brian & Jennifer | 45 Cottonwood RD | Wellesley, MA 02482 |
| 88-64 | 99 WELLESLEY AVE | Town of Wellesley | 525 Washington St. | Wellesley, MA 02482 |
| 99-111 | 31 WELLESLEY AVE | Town of Wellesley | 525 Washington St. | Wellesley, MA 02482 |
| 88-37-A | 83 SEAVIER ST | Ma, Li | 83 Seaver ST | Wellesley, MA 02481 |
| 99-50 | 25 ATWOOD ST | Hussey, Edward & | 25 Atwood ST | Wellesley, MA 02482 |
| 88-6 | 24 TWITCHELL ST | D'berardinis, Louis J & | 24 Twitchell ST | Wellesley, MA 02482 |
| 87-19 | 41 RICE ST | Porter, Caleb | 41 Rice ST | Wellesley, MA 02481 |
| 99-76 | 6 WILSON ST | Charney, Marc Wnthrop & Jennifer | 6 Wilson ST | Wellesley, MA 02482 |
| 99-6 | 39 AMHERST RD | Pelissier, Roger D & Nancy S | 39 Amherst RD | Wellesley, MA 02482 |
| 77-23 | 76 SEAVIER ST | Tangerini, Chester G, Trustee | 41 Lake Shore Drive | Natick, MA 01760 |
| 98-8-9 | 9 STATE ST UNIT 9 | Kinney, Justin L & Tara J, Trustees | 9 State ST | Wellesley, MA 02482 |
| 99-40 | 39 ATWOOD ST | Coletta, Myeong & David S | 39 Atwood RD | Wellesley, MA 02482 |
| 99-46 | 21 MORTON ST | Fallon, Patricia, Trustee | 21 Morton RD | Wellesley, MA 02482 |
| 87-2 | 65 SMITH ST | Canellios, Harry & Maria | 65 Smith ST | Wellesley, MA 02482 |
| 99-3 | 3 SOUTHGATERD | Cohen, Bret & | 3 Southgate RD | Wellesley, MA 02482 |
| 99-75 | 2 WILSON ST | D'Arieni, Peter A & | 2 Wilson ST | Wellesley, MA 02482 |
| 99-11 | 8 ABERDEEN RD | Bennett, Jeffrey & | 8 Dexter RD | Wellesley, MA 02482 |
| 99-81 | 4 TWITCHELL ST | Manelin, Samantha & Ehan | 4 Twitchell ST | Wellesley, MA 02482 |
| 99-59 | 12 ABERDEEN RD | Balasubramanian, Krishna & | 12 Aberdeen RD | Wellesley, MA 02482 |
| 99-21 | 10 MORTON ST | Morton, Paul R & | 10 Morton ST | Wellesley, MA 02482 |
| 99-100 | 19 COTTONWOOD RD | Sarafian, Evelyn & | 19 Cottonwood RD | Wellesley, MA 02482 |
| 99-61 | 18 ABERDEEN RD | Werger, Dennis M & Annette M, Trs | 18 Aberdeen RD | Wellesley, MA 02482 |
| 88-4 | 33 CLIFFORD ST | Dean, Sean M & Gretchen G | 33 Clifford ST | Wellesley, MA 02482 |
| 100-35 | 23 MARVIN RD | Stowell, Christopher P & | 23 Marvin RD | Wellesley, MA 02482 |
| 88-35 | 89 SEAVIER ST | Black, Joseph Tyler & | 89 Seaver ST | Wellesley, MA 02481 |
| 88-62 | 101 WELLESLEY AVE | Town of Wellesley | 525 Washington St. | Wellesley, MA 02482 |
| 99-58 | 8 ABERDEEN RD | Ryan, Jillian Spenser | 253 West 72nd ST | New York, NY 10023 |
| 99-70 | 5 ABERDEEN RD | Walton, Myles & | 5 Aberdeen RD | Wellesley, MA 02482 |
| 99-63 | 26 ABERDEEN RD | Hanlon, Tara M, Trustee | 26 Aberdeen RD | Wellesley, MA 02482 |
| 99-88 | 37 CLIFFORD ST | Currier, Eileen M, Trustee | 37 Clifford ST | Wellesley, MA 02482 |
| 77-22 | 72 SEAVIER ST | Marinucci, Sheila & | 72 Seaver ST | Wellesley, MA 02481 |
| 88-20-B | 56 COTTONWOOD RD | Gigliotti, Paul V & Demetria, Trs | 56 Cottonwood RD | Wellesley, MA 02482 |
| 98-8-9A | 9 STATE ST UNIT 9A | Rowell, Edward & | 9 State ST | Wellesley, MA 02481 |
| 99-33 | 52 ATWOOD ST | Walker, Michael J & Corey E | 52 Atwood ST | Wellesley, MA 02481 |
| 99-77 | 8 WILSON ST | Zhuang, Jun & | 8 Wilson ST | Wellesley, MA 02482 |
| 99-45 | 24 MORTON ST | Taylor, J Robert & Kathy Ann | 24 Morton ST | Wellesley, MA 02482 |
| 88-11 | 85 TWITCHELL ST | Gigliotti Family Ltd. Partnership | 40 Twitchell ST | Wellesley, MA 02482 |
| 88-30 | 82 WELLESLEY AVE | Reimer, Christian & | 82 Wellesley AVE | Wellesley, MA 02482 |
| 99-32 | 20 WILSON ST | Koval, Edward & Kathleen, Trustees | 20 Wilson ST | Wellesley, MA 02482 |
| 99-89 | 35 CLIFFORD ST | Tau, James F & | 35 Clifford ST | Wellesley, MA 02482 |
| 99-92 | 3 TWITCHELL ST | Klocke, James F & Hester, Erin M | 3 Twitchell ST | Wellesley, MA 02481 |
| 99-35 | 51 ATWOOD ST | Salazar-Flynn, Cynthia | 51 Atwood ST | Wellesley, MA 02481 |
| 99-95 | 12 COTTONWOOD RD | Wigren, Andrew C | 12 Cottonwood RD | Wellesley, MA 02482 |
| 99-104 | 3 WILSON ST | Gu, Zhonghan & | 3 Wilson ST | Wellesley, MA 02482 |
| 99-67 | 17 ABERDEEN RD | Crowley, Christopher L & | 17 Aberdeen RD | Wellesley, MA 02482 |
| 88-65 | 99 SEAVIER ST | Town of Wellesley | 525 Washington St. | Wellesley, MA 02482 |
| 88-61 | 1 GREAT PLAIN AVE | Town of Wellesley | 525 Washington St. | Wellesley, MA 02482 |
| 99-74 | 48 WELLESLEY AVE | Dorrien, Kathryn Watson | 48 Wellesley AVE | Wellesley, MA 02482 |
| 99-84 | 28 CLIFFORD ST | Barry, Damian & Boisa V | 28 Clifford ST | Wellesley, MA 02481 |
| 88-20-A | 47 TWITCHELL ST | Cao, Jangmei & | 47 Twitchell ST | Wellesley, MA 02482 |
| 99-57 | 4-6 ABERDEEN RD | Corbosiero, Anthony C, Trustee | 868 Worcester ST | Wellesley, MA 02482 |
| 77-24 | 80 SEAVIER ST | McDonald, George K & Mary Anne | 80 Seaver ST | Wellesley, MA 02481 |
| 99-43 | 35 ATWOOD ST | Qin, Fang & Annette H | 35 Atwood ST | Wellesley, MA 02482 |
| 77-19 | 88 SEAVIER ST | D'vecchia, David M & Bethany S | 88 Seaver ST | Wellesley, MA 02481 |
| 76-72 | 71 SEAVIER ST | Town of Wellesley | 40 Kingsbury ST | Wellesley, MA 02481 |
| 88-39 | 97 WELLESLEY AVE | Ling, Douglas C & | 97 Wellesley AVE | Wellesley, MA 02482 |
| 99-80 | 2 TWITCHELL ST | Clayman, Benjamin | 2 Twitchell ST | Wellesley, MA 02482 |
| 99-44 | 47 AMHERST RD | Hamer, Robert L | 47 Amherst RD | Wellesley, MA 02481 |
| 88-8 | 32 TWITCHELL ST | Cameron, Elizabeth Surratt & | 32 Twitchell ST | Wellesley, MA 02482 |
| 99-38 | 43A ATWOOD ST | Watts, Richard A & | 43A Atwood ST | Wellesley, MA 02482 |
| 99-1 | 43 WASHINGTON ST | Town of Wellesley | 525 Washington St. | Wellesley, MA 02482 |
| 88-21 | 41 COTTONWOOD RD | Tjaden, Brian C & | 41 Cottonwood RD | Wellesley, MA 02482 |
| 99-101 | 15 COTTONWOOD RD | Okun, Andrew & | 15 Cottonwood RD | Wellesley, MA 02482 |
| 99-103 | 9 WILSON ST | Jameson, Philip P & | 9 Wilson ST | Wellesley, MA 02482 |
| 88-18 | 44 COTTONWOOD RD | Bee Leaf Real Estate LLC | Suite 129 | Wellesley, MA 02481 |
| 99-68 | 15 ABERDEEN RD | Polk, Angela Soo, Trustee | 15 Aberdeen RD | Wellesley, MA 02482 |
| 98-6 | 24 STATE ST | TA Wellesley State ST, LLC | 800 Boylston ST | Boston, MA 02199 |
| 87-4 | 71 SMITH ST | Dadras, Soheil & Hanan | 71 Smith ST | Wellesley, MA 02481 |
| 87-20 | 43 RICE ST | Marasco, Wayne A & | 43 Rice ST | Wellesley, MA 02481 |
| 99-74-A | 50 WELLESLEY AVE | Hart, Elizabeth A & Jerard R | 50 Wellesley AVE | Wellesley, MA 02482 |
| 99-48 | 31 ATWOOD ST | McCormack, Justin R & Rosemary | 31 Atwood ST | Wellesley, MA 02482 |
| 88-7 | 28 TWITCHELL ST | Ruddy, Thomas P & Marcella K | 28 Twitchell ST | Wellesley, MA 02482 |
| 99-83 | 14 TWITCHELL ST | Davidsson, Per Olov & | 14 Twitchell ST | Wellesley, MA 02481 |
| 88-37 | 81 SEAVIER ST | Agarwal, Krishna Adit & | 81 Seaver ST | Wellesley, MA 02481 |
| 99-56 | 24 WELLESLEY AVE | Wellesley A/E/Realty, LLC | 28 Wellesley AVE | Wellesley, MA 02482 |
| 99-32 | 10 SESSIONS ST | Carter, Thomas C & Phyllis B | 10 Sessions ST | Wellesley, MA 02481 |
| 99-91 | 11 TWITCHELL ST | Erickson, JMichael | 11 Twitchell ST | Wellesley, MA 02482 |
| 77-18 | 86 SEAVIER ST | Davidsson, Per Olov & | 86 Seaver ST | Wellesley, MA 02481 |
| 88-66 | 73 SEAVIER ST | Owner Unknown | 102 Wellesley AVE | Wellesley, MA 02482 |
| 99-39 | 41 ATWOOD ST | Chainsman, Cory & Melanie | 21 Aberdeen RD | Wellesley, MA 02482 |
| 87-3 | 67 SMITH ST | Zhang, Wen & | 525 Washington St. | Wellesley, MA 02482 |
| 99-82 | 10 TWITCHELL ST | Markey, Lisa P, Trustee | 15 Smith ST | Wellesley, MA 02482 |
| 99-105 | 58 WELLESLEY AVE | Sud, Rina | 40 Twitchell ST | Wellesley, MA 02482 |
| 99-21-A | 38 ATWOOD ST | Dabovich, Meral G | 7 Southgate RD | Wellesley, MA 02482 |
| 87-17 | 37 RICE ST | DeAmicis, Don S | 45 Atwood ST | Wellesley, MA 02482 |
| 99-72 | 28 WELLESLEY AVE | McTighe, Robert M & Jean K | 55 Smith ST | Wellesley, MA 02482 |
| 99-64 | 25 ABERDEEN RD | McRae, William J, Jr & | 48 Cottonwood RD | Wellesley, MA 02482 |
| 88-36 | 87 SEAVIER ST | Carda, Katherine A | 13 Eaton Court | Wellesley, MA 02481 |
| 99-54 | 7 ATWOOD ST | Miller, Garfield, III & Lindsey | 13 Eaton Court | Wellesley, MA 02481 |
| 77-4 | 96 SEAVIER ST | Sisson, Kevin & Darcy | 39 Rice ST | Wellesley, MA 02481 |
| 77-5 | 102 WELLESLEY AVE | Molavi, Armin & Potvin, Joseph Trs | 85 Seaver ST | Wellesley, MA 02481 |
| 99-65 | 21 ABERDEEN RD | Moran, Amy & | 22 Aberdeen RD | Wellesley, MA 02482 |
| 87-21 | 55 RICE ST | Town of Wellesley | 25 Aberdeen RD | Wellesley, MA 02482 |
| 99-86 | 15 SMITH ST | Boiardi, Franco J & | 38 Belvoir RD | Wellesley, MA 02451 |
| 88-10 | 40 TWITCHELL ST | Gigliotti, Antonietta, Trustee | 19 Aberdeen RD | Wellesley, MA 02482 |
| 99-92 | 7 SOUTHGATERD | Strang, Gilbert, M & Jillian M, Trs | 43 Amherst RD | Wellesley, MA 02482 |
| 99-36 | 45 ATWOOD ST | Choi, Jayeong & | 1315 Brookstown AVE | Winston-Salem, NC 27107 |
| 88-2 | 55 SMITH ST | Canaday, Clifford Alden & | 28 Wellesley AVE | Wellesley, MA 02482 |
| 88-19 | 48 COTTONWOOD RD | Geary, Thomas M & Charlene A | 33 Atwood ST | Wellesley, MA 02482 |
| 99-34 | 93 SEAVIER ST | BTEDevelopment, LLC | 6 Twitchell ST | Wellesley, MA 02481 |
| 88-67 | 91 SEAVIER ST | BTEDevelopment, LLC | 32 Clifford ST | Wellesley, MA 02482 |
| 87-18 | 39 RICE ST | Bergamo, Marcos A & Ines A, Trstes | 63 Smith ST | Wellesley, MA 02482 |
| 88-36-A | 85 SEAVIER ST | Lovett, Zita | 36 Twitchell ST | Wellesley, MA 02481 |
| 99-62 | 22 ABERDEEN RD | Klenchuk, Edward & Maria | 17 Atwood ST | Wellesley, MA 02482 |
| 77-20 | 90 SEAVIER ST | 90 Seaver ST Holdings LLC | 11 Southgate RD | Wellesley, MA 02482 |
| 99-66 | 19 ABERDEEN RD | Wilde, J & Borro, K, Trustees | 525 Washington St. | Wellesley, MA 02482 |
| 99-5 | 43 AMHERST RD | Goldstein, Andrew W & | 56 Oak ST | Wellesley, MA 02482 |
| 88-13 | 39 TWITCHELL ST | Hoffman, Todd & Chelene | 31 Clifford ST | Wellesley, MA 02482 |
| 76-11 | 50 RICE ST | Town of Wellesley | 14 Cottonwood RD | Wellesley, MA 02482 |
| 99-8 | 25 WELLESLEY AVE | Delisle, Christopher & Lauren T | 13 Aberdeen RD | Wellesley, MA 02482 |
| 99-47 | 33 ATWOOD ST | Carley, Robert M & Margaret M | 55 Atwood ST | Wellesley, MA 02482 |
| 99-81-A | 6 TWITCHELL ST | Li, Xiaolong & | PO Box 610-182 | Newton, MA 02461 |
| 99-85 | 32 CLIFFORD ST | Dixon, Thomas H & Pauline K | 15 Atwood ST | Wellesley, MA 02482 |
| 87-1 | 63 SMITH ST | MacKay, Dana J | 525 Washington St. | Wellesley, MA 02482 |
| 89-9 | 36 TWITCHELL ST | Xiong, David G & Yanchan E | 27 Atwood ST | Wellesley, MA 02482 |
| 99-52 | 17 ATWOOD ST | Prosek, Bradley M & Jodi | 53 Cottonwood RD | Wellesley, MA 02482 |
| 99-1 | 11 SOUTHGATERD | Mack, Alyssa R & David M | 310 Washington ST | Wellesley, MA 02481 |
| 99-66 | 12 STATE ST | Town of Wellesley | 84 Seaver ST | Wellesley, MA 02481 |
| 88-31-B | 49 COTTONWOOD RD | Qin, Suping & Zhang, Zhiyue | 15 State ST | Wellesley, MA 02482 |
| 88-5 | 31 CLIFFORD ST | Moss, Jennifer L, Trustee | 17 Cedar ST | Wellesley, MA 02482 |
| 99-96 | 14 COTTONWOOD RD | Valerio, Robert O & | 73 Smith ST | Wellesley, MA 02482 |
| 99-69 | 13 ABERDEEN RD | Theermark, Phyllis L & Marc A | 12 Wilson ST | Wellesley, MA 02482 |
| 99-34 | 55 ATWOOD ST | Shdev, Rishi & | 19 Atwood ST | Wellesley, MA 02482 |
| 99-18 | 32 ATWOOD ST | Waban Management Corp, Trustee | 310 Washington ST | Wellesley, MA 02481 |
| 99-53 | 15 ATWOOD ST | Crowley, John F, Trustee & | 84 Wellesley AVE | Wellesley, MA 02482 |
| 77-41 | 75 SEAVIER ST | Town of Wellesley | 10 Cottonwood RD | Wellesley, MA 02482 |
| 99-49 | 27 ATWOOD ST | Silverov, Krial P & | 11 Cottonwood RD | Wellesley, MA 02482 |
| 88-31-C | 53 COTTONWOOD RD | Zhu, Rui & | 12 Wilson ST | Wellesley, MA 02482 |
| 99-87-A | 9 SMITH ST | 9 Smith St LLC | 19 Atwood ST | Wellesley, MA 02482 |
| 77-17 | 84 SEAVIER ST | Hu, Yue | 310 Washington ST | Wellesley, MA 02481 |
| 99-7 | 15 STATE ST | Zaorski, Todd M & | 56 Oak ST | Wellesley, MA 02482 |
| 99-44 | 20-22 MORTON ST | Borgatti, Bruno J, Trustee | 31 Clifford ST | Wellesley, MA 02482 |
| 87-5 | 73 SMITH ST | Cook, Casey B & Mary T | 14 Cottonwood RD | Wellesley, MA 02482 |
| 99-78 | 12 WILSON ST | O'Neill, Robert D & Archana | 13 Aberdeen RD | Wellesley, MA 02482 |
| 99-51 | 19 ATWOOD ST | Connon, Matthew & | 55 Atwood ST | Wellesley, MA 02482 |
| 88-3 | 51 SMITH ST | 9 Smith St LLC | PO Box 610-182 | Newton, MA 02461 |
| 88-31 | 84 WELLESLEY AVE | Dudler, Oliver & | 15 Atwood ST | Wellesley, MA 02482 |
| 99-94 | 10 COTTONWOOD RD | Smith, Robert M & Joanne H | 525 Washington St. | Wellesley, MA 02482 |
| 99-102 | 11 COTTONWOOD RD | Slager, Thomas J & | 84 Wellesley AVE | Wellesley, MA 02482 |
| 99-102 | 11 COTTONWOOD RD | Shlager, Thomas J & | 10 Cottonwood RD | Wellesley, MA 02482 |



project:
WELLESLEY HUNNEWELL FIELD
TEAM ROOM



TOWN OF WELLESLEY MASSACHUSETTS

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| Revisions: | | |
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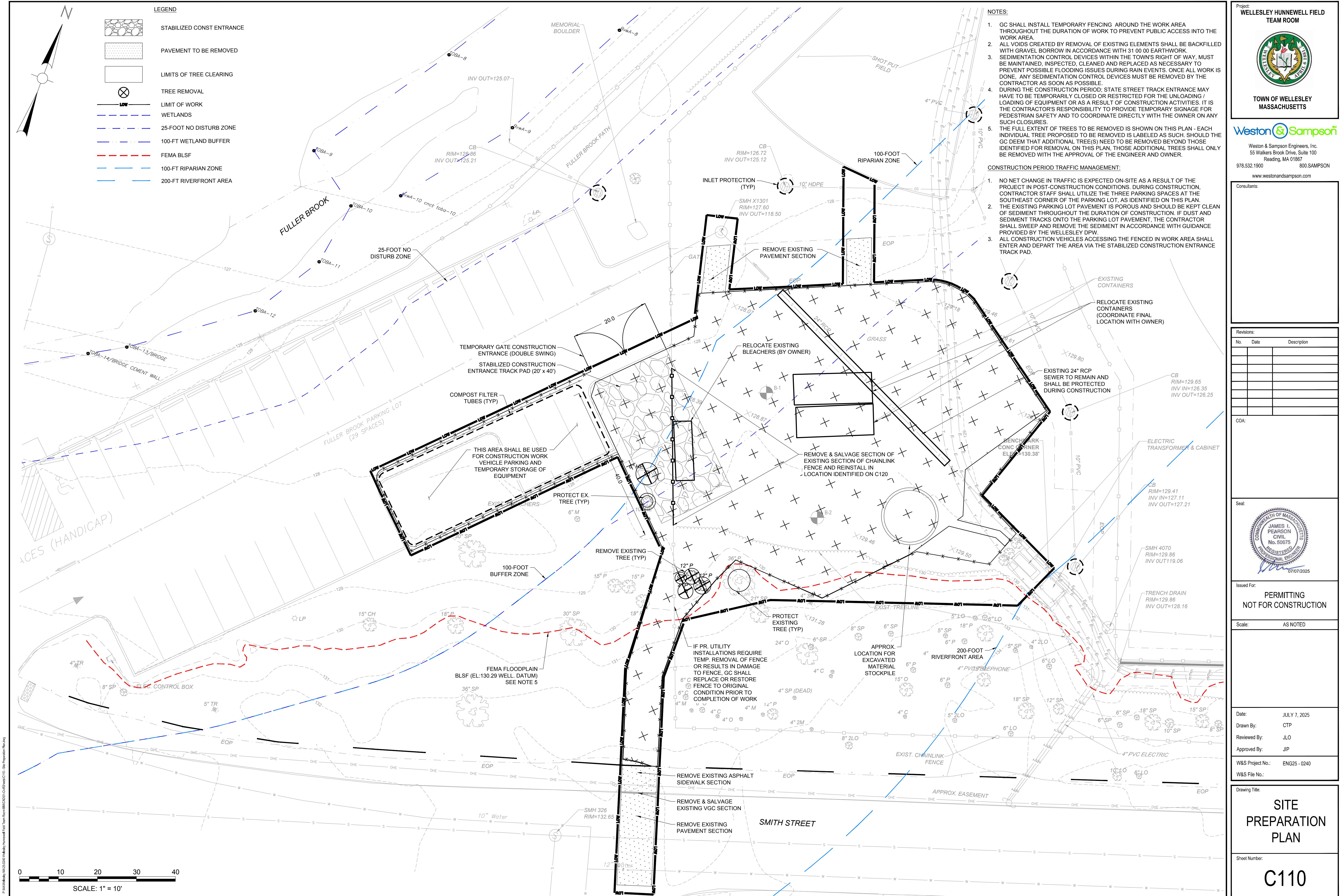
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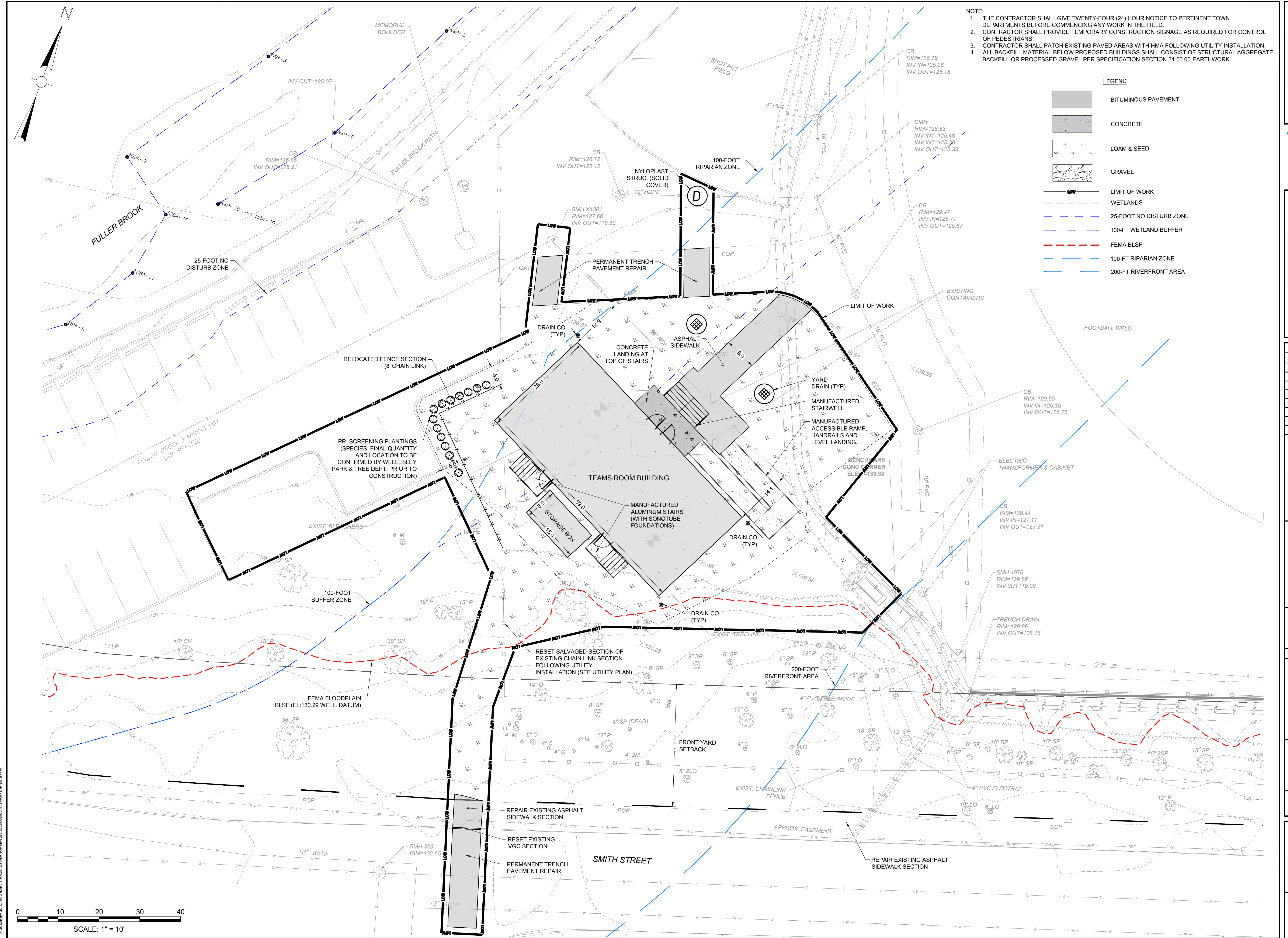
11. **What is the primary purpose of the *Journal of Clinical Endocrinology and Metabolism*?**

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| Date: | JULY 7, 2025 |
| Drawn By: | CTP |
| Reviewed By: | JLO |
| Approved By: | JIP |
| W&S Project No.: | ENG25 - 0240 |

Drawing Title:

Sheet Number:





project:
WELLESLEY HUNNEWELL FIELD
TEAM ROOM



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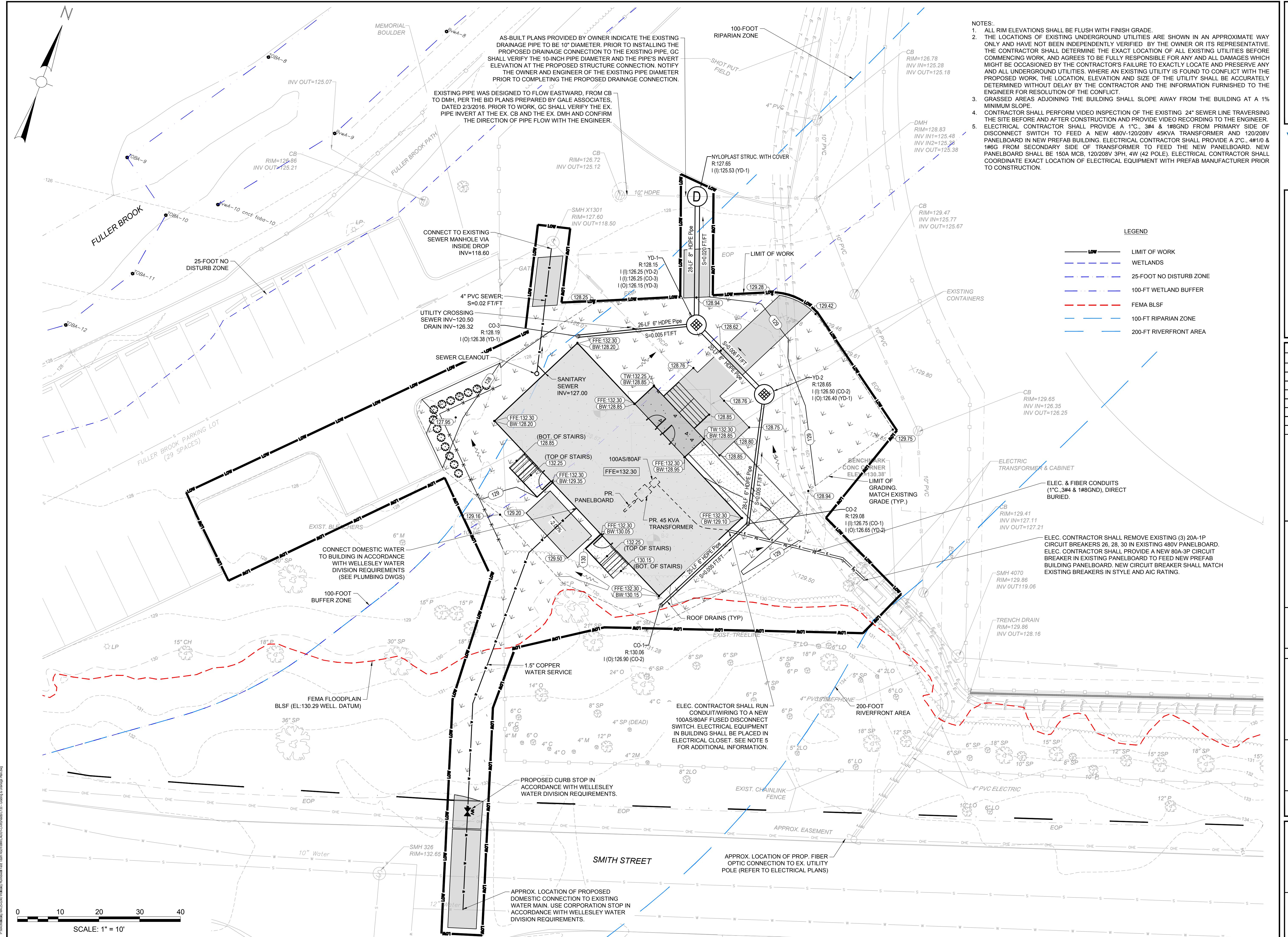
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| Date: | JULY 7, 2025 |
| Drawn By: | CTP |
| Reviewed By: | JLO |
| Approved By: | JIP |
| V&S Project No.: | ENG25 - 0240 |
| V&S File No.: | |

drawing Title:

LAYOUT & MATERIALS PLAN

heet Number:

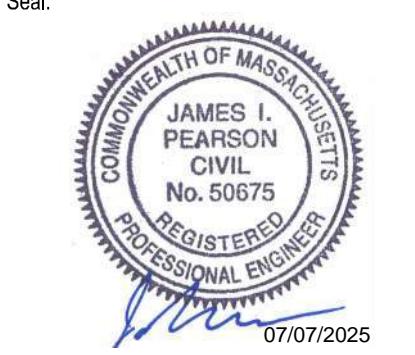
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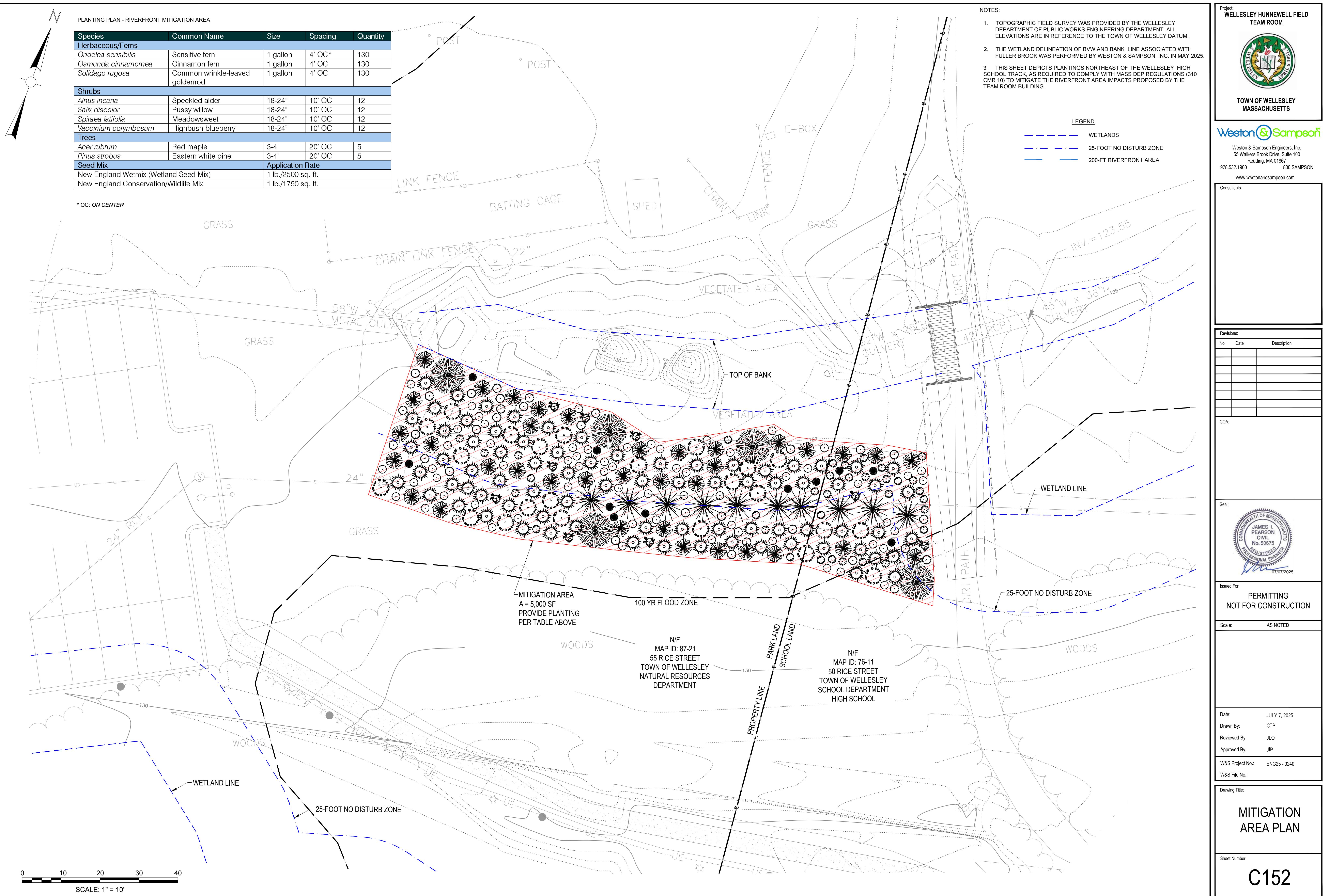
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| Date: | JULY 7, 2025 |
| Drawn By: | CTP |
| Reviewed By: | JLO |
| Approved By: | JIP |
| W&S Project No.: | ENG25 - 0240 |
| W&S File No.: | |

Drawing Title:

GRADING & DRAINAGE / UTILITY PLAN

Sheet Number:





① 3D RENDERING - FRONT
1/4" = 1'-0"

Project:
HUNNEWELL FIELD TEAM ROOM
BUILDING
55 RICE STREET WELLESLEY, MA 02481

TOWN OF WELLESLEY

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Comments:

Revision:
No. Date Description
1 09/11/25 PER ZBA COMMENTS

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Scale: NGR = 1'-0"
Key Plan:

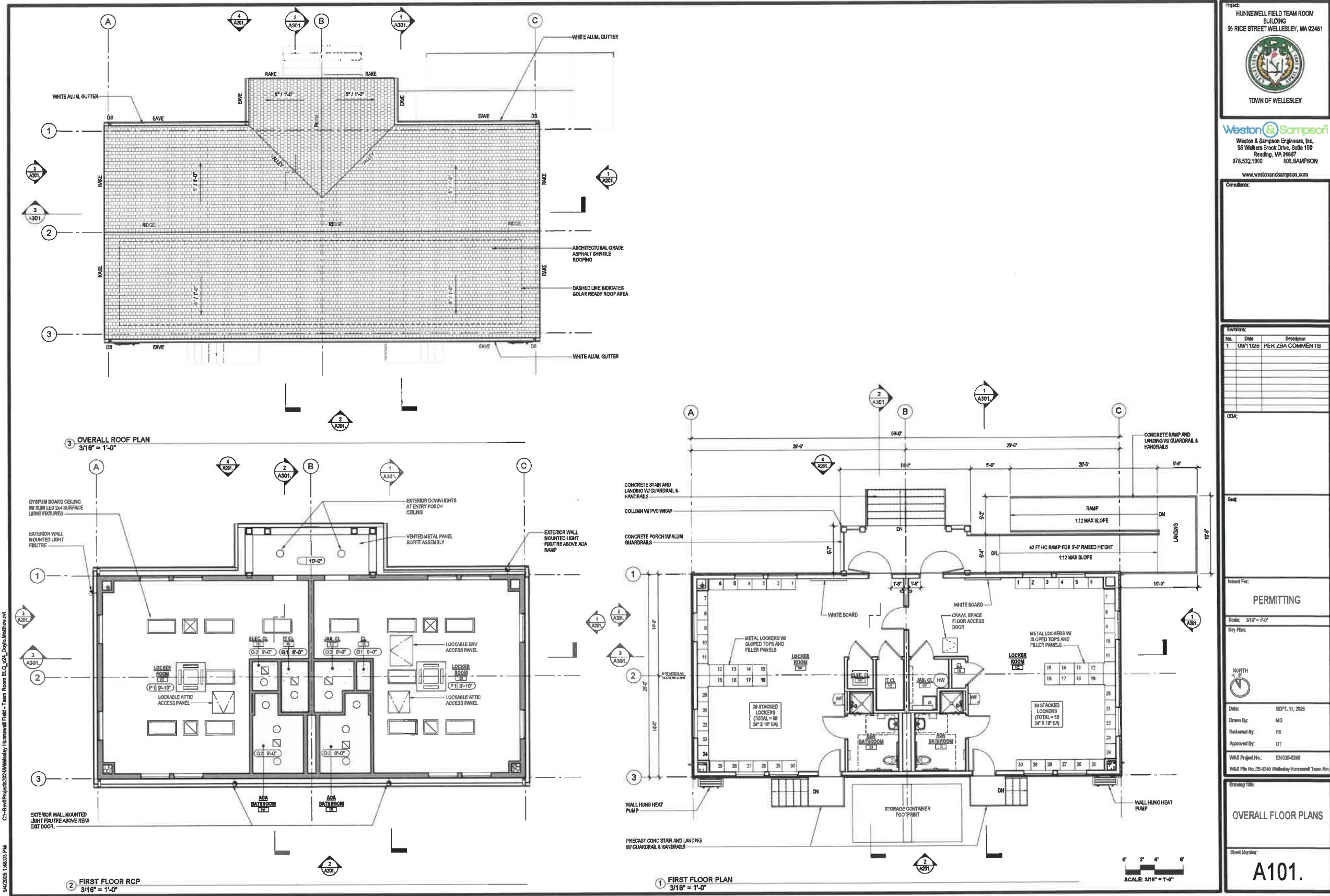


Date: SEPT. 11, 2025
Drawn By: ND
Reviewed By: FB
Approved By: DT
WES Project No.: EN0325-0249
WES File No.: 25-0249 Wellesley Hunnewell Team Rm

Drawing 18c

3D RENDERING

Sheet Number:
A100.



Project:
HUNNEWELL FIELD TEAM ROOM
BUILDING
55 RICE STREET WELLESLEY, MA 02481



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Consultant:

Review:
No. Date Description
1 08/11/25 PER ZBA COMMENTS

COA:

Seal:

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Scale: 3/16" = 1'-0"
Key Plan:

Date: SEPT. 11, 2025
Draw By: MD
Reviewed By: FS
Approved By: DT

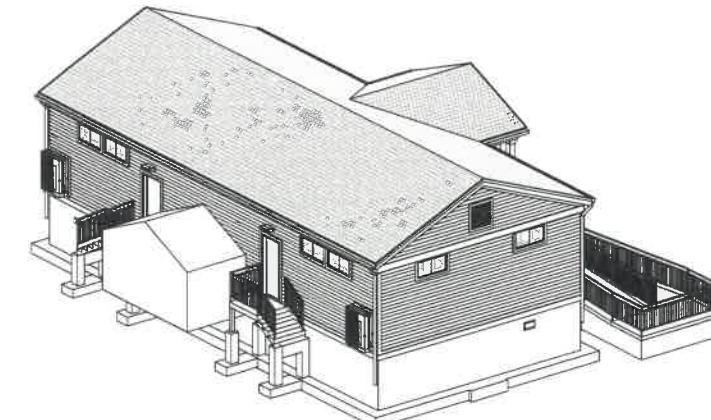
W&S Proj No.: EN525-0240
W&S File No.: 25-0240 Wellesley Hunnewell Team Rm

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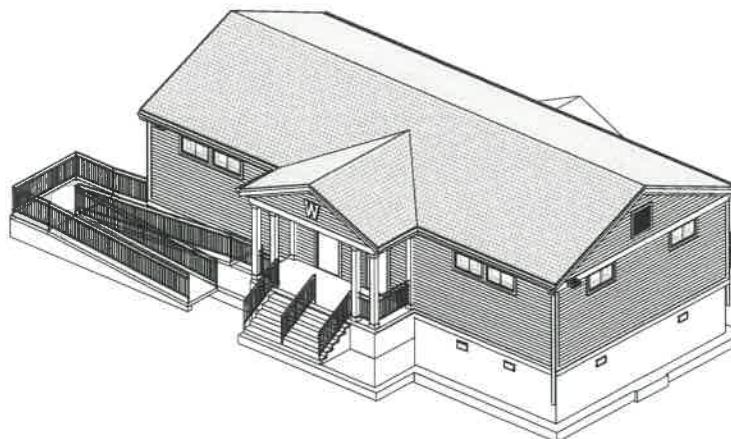
**OVERALL ELEVATIONS &
3D VIEWS**

Sheet Number:

A201.



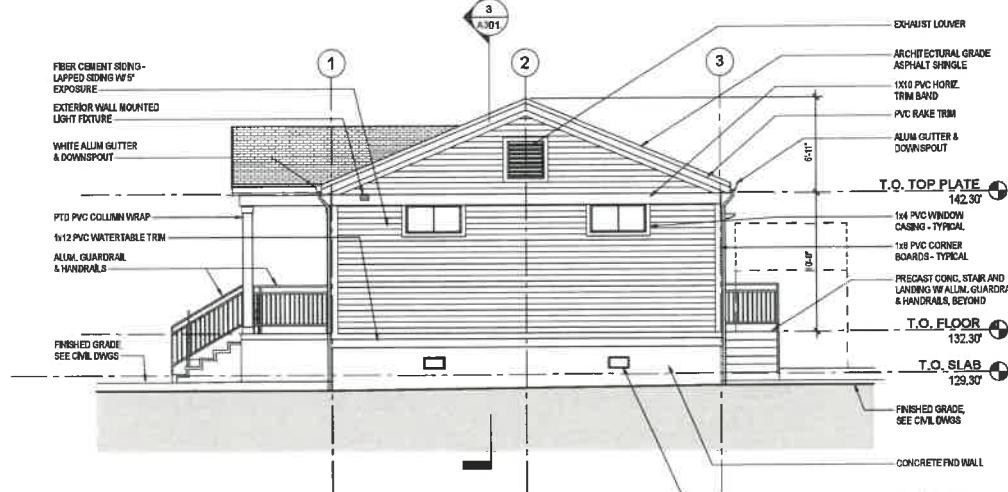
⑥ 3D VIEW 1



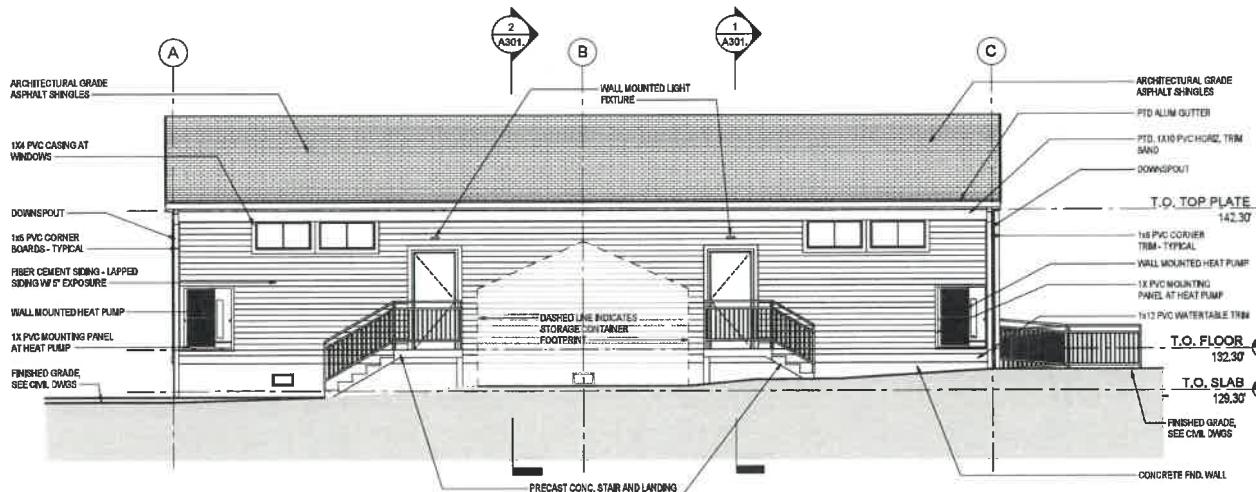
⑤ 3D VIEW 2



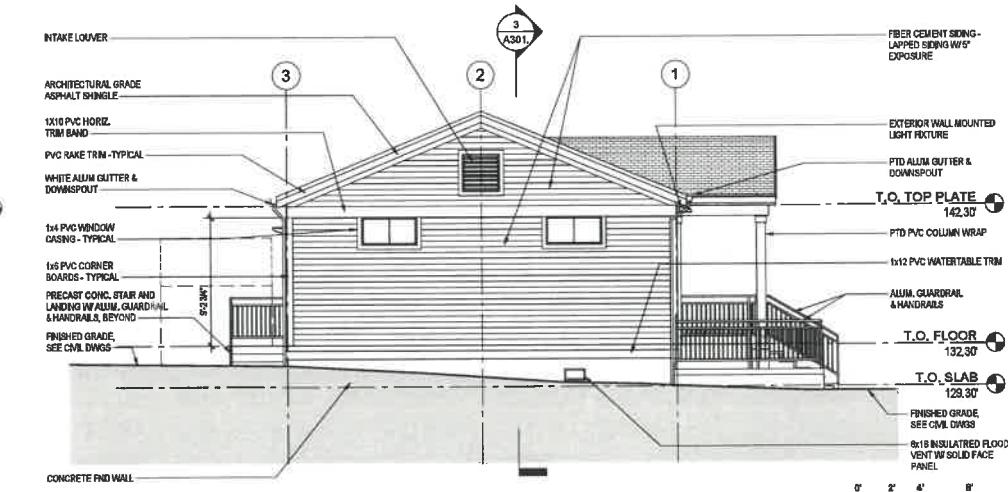
④ FRONT ELEVATION
3/16" = 1'-0" 1/A1 R-1



③ RIGHT ELEVATION
3/16" = 1'-0" 1/A1 R-1



② REAR ELEVATION
3/16" = 1'-0" 1/A1 R-1



① LEFT ELEVATION
3/16" = 1'-0" 1/A1 R-1

Project:
HUNNEWELL FIELD TEAM ROOM
BUILDING
35 RICE STREET WELLESLEY, MA 02461

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Reviewed By: FS
Approved By: DT
W&S Project No.: ENG25-0240
W&S File No.: 25-0240 Wellesley Hunnewell Team Rm

Drawing Title:

BUILDING SECTIONS

Sheet Number:

A301.

