

TOWN OF WELLESLEY



MASSACHUSETTS

ZONING BOARD OF APPEALS

888 WORCESTER STREET • SUITE 160 • WELLESLEY, MA 02482

J. RANDOLPH BECKER, CHAIRMAN
ROBERT W. LEVY, VICE CHAIRMAN
DAVID G. SHEFFIELD

LENORE R. MAHONEY
EXECUTIVE SECRETARY
TELEPHONE
(781) 489-7450

WALTER B. ADAMS
DEREK B. REDGATE
PETER COVO

ZBA 2025-65

Petition of Town of Wellesley
169 Great Plain Avenue (RDF)

2025 DEC 17 PM 12:16
TOWN CLERK'S OFFICE
WELLESLEY MA 02482

INTRODUCTION

Town Of Wellesley, the "Applicant", has requested from the Zoning Board of Appeals (the "Board") the issuance of a site plan approval, subject to Section 5.6 of the Zoning Bylaw for a major construction project at 169 Great Plain Avenue.

THE PROJECT

Description

The Site consists of 78.3 acres, in a 20,000 square foot Single Residence District. The project site is accessed via Great Plain Avenue near the Town Line with Needham. The property is bounded by Great Plain Avenue to the east, Cartwright Road to the west, the Sudbury Aqueduct and Eisenhower Circle to the north, and the Town of Needham to the south.

The project includes partial demolition of the existing Administration and Scale Office Building, with 550 square feet to remain, and construction of a new one-story Administration Building, approximately 106 feet by 32 feet, with a footprint area of approximately 3,660 square feet on a currently paved and landscaped area. There will be 7 standard, 1 handicapped and 2 EV charging parking spaces. Lot coverage will increase from 1.1 percent to 1.2 percent. Drives and parking will increase from 10 percent to 10.1 percent. Landscaped areas will remain at 2 percent and natural areas will remain at 88 percent. The surface drainage runoff rate will not increase because the impervious/pervious ratio will not be changed or will be improved.

RECORD OF DISCUSSIONS

The Board held a public hearing on November 20, 2025 and December 4, 2025. The public hearing was closed and Site Plan Approval was granted on December 4 2025.

FINDINGS OF FACT

Zoning

The Zoning Bylaw provides, for each zoning district, requirements for the use of land and structures, as well as dimensional requirements for the land and structures erected upon the land.

SECTION 1.3 DEFINITIONS

Major Construction Project – shall mean any Construction Project which involves a change in the outside appearance of a building or buildings or premises, and includes one or more of the following:

1. construction of twenty-five hundred (2,500) or more square feet gross floor area;
2. an increase in gross floor area by fifty (50) percent or more which results in a gross floor area of at least twenty-five hundred (2,500) square feet;
3. any project meeting the definition of an MBTA Community Project;
4. grading or regrading of land to planned elevations, and/or removal or disturbance of the existing vegetative cover, over an area of five thousand (5,000) or more square feet;
5. any activities regulated or restricted under Section 3.7; or
6. any activities regulated under Section 3.8.

SECTION 5.6. PROJECT APPROVAL

A. Scope and Purpose

Minor Construction Projects (as herein defined) and Major Construction Projects (as herein defined) are subject to comprehensive review in accordance with the terms of this section. This section shall not apply to construction, alteration, enlargement or reconstruction of One-Unit Dwellings and Two-Unit Dwellings or structures accessory thereto, unless such One-Unit or Two-Unit Dwelling is located in a Flood Plain or Watershed Protection District.

This section shall be interpreted so as to:

1. Ensure compliance with the Zoning Bylaws of the Town of Wellesley;
2. Protect the safety, convenience and welfare of the public;
3. Minimize additional congestion in public and private ways;
4. Ensure adequate provision for water, sewerage and drainage;
5. Ensure compliance with the provisions of Section 1.4;
6. Ensure compliance with the provisions of Section 5.17; and
7. Ensure compliance with the provisions of Section 5.5.

RECEIVED
TOWN ENGINEER'S OFFICE
WELLESLEY MA 02462
2025 DEC 17 PM 12:17

SUBMITTALS FROM THE APPLICANT

- Application for Site Plan Approval
- Site Plan Approval Checklist
- Development Prospectus
- Geotechnical Report, dated 5/27/2025, prepared by Lahlaf Geotechnical Consulting, Inc.
- Response to Memorandum from Doug Stewart, Civil Engineer, dated 11/5/25, re: Town of Wellesley Recycling and Disposal Facility Administration Building at 169 Great Plain Avenue

Plan Number	Drawing Title	Date of Issue	Prepared By	Date of Revision
	Cover Sheet			9/9/25
Sheet 1 of 1	RDF Scale Pad Existing Conditions	9/23/25	David J. Hickey, Jr., P.E. #37653	
Sheet 1 of 1	Plot Plan	9/11/25	David J. Hickey, Jr., P.E. #37653	
C1-01	Location Plan	8/27/25	Peter M. Blaisdell, Jr., P.E. #41613	11/24/25
C2-01	Existing Condition Plan	8/27/25	Peter M. Blaisdell, Jr., P.E. #41613	11/24/25
C3-01	Site Plan	8/27/25	Peter M. Blaisdell, Jr., P.E. #41613	11/24/25
C4-01	Utility Plan	8/27/25	Peter M. Blaisdell, Jr., P.E. #41613	11/24/25
C5-01	Construction Details	8/27/25	Peter M. Blaisdell, Jr., P.E. #41613	11/24/25
C6-01	Construction Management Plan	11/18/25	Socotec	11/24/25
A1-00	Exist. Building Demo & Proposed Plans	8/27/25	Maria R. Donovan, R.A., #8738	
A1-01	First Floor Plan	8/27/25	Maria R. Donovan, R.A., #8738	
A1-02	Roof Plan	8/27/25	Maria R. Donovan, R.A. #8738	
A2-01	Building Elevations	8/27/25	Maria R. Donovan, R.A. #8738	
A3-01	Building Sections	8/27/25	Maria R. Donovan, R.A. #8738	
A3-10	Wall Sections	8/27/25	Maria R. Donovan, R.A. #8738	
P1-00	Underground Plan	8/27/25	Michael Denommee, P.E. #49888	

P1-01	Floor Plans	8/27/25	Michael Denommee, P.E. #49888	
E0-02	Site Plan	8/27/25	Dan Koustovoles, P.E. #54345	
E0-04	Details	8/27/25	Dan Koustovoles, P.E. #54345	
A301.	Building Sections	9/4/25	Weston & Sampson	9/4/25
Sheet 1 of 1	Plot Plan High School Track & Field, High School Teams Room	7/7/25	Gerard R. Bruno, P.L.S. #56789 & David J. Hickey Jr., P.E. #37653	
Sheet 1 of 1	Existing Conditions Plan	7/7/25	Gerard R. Bruno, P.L.S. #56789 & David J. Hickey Jr., P.E. #37653	

SUBMITTALS ON BEHALF OF THE TOWN OF WELLESLEY:

On August 21, 2025, the Design Review Board reviewed the Project and voted unanimously to accept the application as presented, with recommendations.

On October 24, 2025, Ian McMakin, Deputy Chief, Town of Wellesley, Fire Rescue Department, reviewed the proposed project and had no objections to it moving forward. Further approval will be needed for fire protection systems as the project proceeds. The Fire Department reserves the right for final approval at the time of issuing a building permit with further review of the complete set of building documents.

On November 5, 2025 and November 19, 2025, Doug Stewart, Civil Engineer, Town of Wellesley, Department of Public Works, Engineering Division, reviewed the project and submitted comments.

On November 18, 2025, the Planning Board reviewed the project and recommended approval.

DECISION

The Applicant has requested from the Board the issuance of a site plan approval subject to the Zoning Bylaw Section 5.6, §§ C.2. (a) and (b), authorizing the Applicant to construct the Project.

The Board has made a careful study of the materials submitted and the information presented at the hearing and has documented the results of the study above. Based on the results of the study, on December 4, 2025, the Board voted unanimously to grant the site plan approval pursuant to Section 5.6 of the Zoning Bylaw for a major construction project subject to site plan review.

The Board's approval of the Site Plan for the Project is premised on the Applicant's and Project's compliance with the following conditions (the "Conditions"). All requirements imposed by the Conditions or this Site Plan Approval shall be applicable to the entity responsible for the administration of the Project regardless of whether the condition specifically identifies the Applicant, the responsible entity, or no entity as having responsibility for a particular condition.

The Inspector of Buildings is hereby authorized to issue a permit for construction upon receipt and approval of a building application and detailed constructions plans.

CONDITIONS

1. By accepting this Site Plan Approval the Applicant agrees to the terms, covenants and conditions and agreements contained herein. This Site Plan Approval shall expire two years from the date hereof unless construction has begun by that date. The Applicant may apply to the Board for reasonable extensions to this Site Plan Approval for good and sufficient reason.
2. Except for the relief granted by the Board as listed in these Conditions, the Applicant shall comply with all provisions of the Zoning Bylaw and general bylaws generally applicable to a project. approved on December 4, 2025.
3. Contract documents, including working drawings and specifications for the Project shall undergo the usual and customary review and approvals of the Building Inspector, the Town Engineer or any other applicable local inspector or board.
4. The Applicant shall establish a website, or use an existing website during the duration of site construction activities, to provide Town officials and residents access to the most current scheduled activities and notification of upcoming Project events that reasonably have the potential to impact the surrounding neighborhood.

Design Conditions

5. Design and construction of the Project shall fully comply with all applicable federal and state laws and regulations, including, but not limited to, the requirements of the Massachusetts State Building Code (780 CMR) and the Massachusetts Architectural Access Board (521 CMR). The Project shall be designed and constructed on the Site in accordance with the Plans, except as provided in this Site Plan Approval, including these Conditions. Any requirement of consistency with the Plans means as those Plans are modified by the Conditions.

2025 DEC 17 PM 12:17
TOWN CLERK'S OFFICE
WELLESLEY, MA 02459

Construction Conditions

6. The Applicant shall implement its Construction Management Plan as specified in Plan C6-01, dated November 18, 2025, revised November 24, 2025.
7. During the period of construction, all construction equipment and materials deliveries shall utilize a travel route that has been coordinated with the Police Department prior to its use. Every effort shall be made to avoid streets where schools are located and residential streets.
8. During the period of construction, all deliveries of construction materials and equipment shall be made only on Monday through Friday no earlier than 7:00 am and no later than 4:00 pm. Construction work may be performed on the Site Monday through Friday commencing not earlier than 7:00 am and completing not later than 6:00 pm and on Saturday commencing not earlier than 8:00 am and completing not later than 6:00 pm. Any work before 7:00 am or later than 6:00 pm shall only take place in case of emergency with the permission of the Police.
9. No vehicles of construction workers and no construction equipment shall be parked on any other public way of the Town. Construction vehicles waiting to access the site shall shut off engines when not in use, or when idling time exceeds five minutes. If a truck comes early, there shall be a plan as to where the truck may wait with its engine shut off.
10. All construction and delivery vehicles exiting the site shall stop at an established construction exit for a wheel wash to prevent mud and debris from falling into the street abutting the site. The Applicant shall cause the street abutting the site to be swept as frequently as required to ensure that dust, dirt and debris not completely removed by the truck wash are not deposited onto the street.
11. All construction waste shall be kept in dumpsters. The dumpsters shall be kept covered and only be picked up during normal working hours, Monday through Friday, 7 am to 4 pm.
12. The gates to the construction site shall be locked over the weekends and at night.
13. A sign on the outer fence shall have all contact information for the contractor and the Department of Public Works Engineering Division.

Use Conditions

14. Landscaping shall be in conformance with the Landscaping Plan and shall be maintained, repaired, or replaced as needed by the Town.

2025 DEC 17 PM 12:17

RECEIVED
TOWN ENGINEERING OFFICE
WELLESLEY MA 02461

ZBA 2025-65
Petition of Town of Wellesley
169 Great Plain Avenue (RDF)

APPEALS FROM THIS DECISION,
IF ANY, SHALL BE MADE PURSUANT
TO GENERAL LAWS, CHAPTER 40A,
SECTION 17, AND SHALL BE FILED
WITHIN 20 DAYS AFTER THE DATE
OF FILING OF THIS DECISION IN THE
OFFICE OF THE TOWN CLERK.

J. Randolph Becker (2m)
J. Randolph Becker, Chairman

Robert W. Levy (2m)
Robert W. Levy

David G. Sheffield (2m)
David G. Sheffield

RECEIVED
TOWN CLERK'S OFFICE
WELLESLEY MA 02460
2025 DEC 17 PM 12:17

ZBA 2025-45
Applicant Town of Wellesley/Department of Public Works
Address 55 Rice Street (Hunnewell Field)

NOT VALID FOR RECORDING UNTIL CERTIFIED BY TOWN CLERK

In accordance with Section 11 of Chapter 40A of the Massachusetts General Laws, I hereby certify that twenty (20) days have elapsed after the within decision was filed in the office of the Town Clerk for the Town of Wellesley, and that no appeal has been filed, or that if such appeal has been filed, that it has been dismissed or denied.

Date:

Attest:

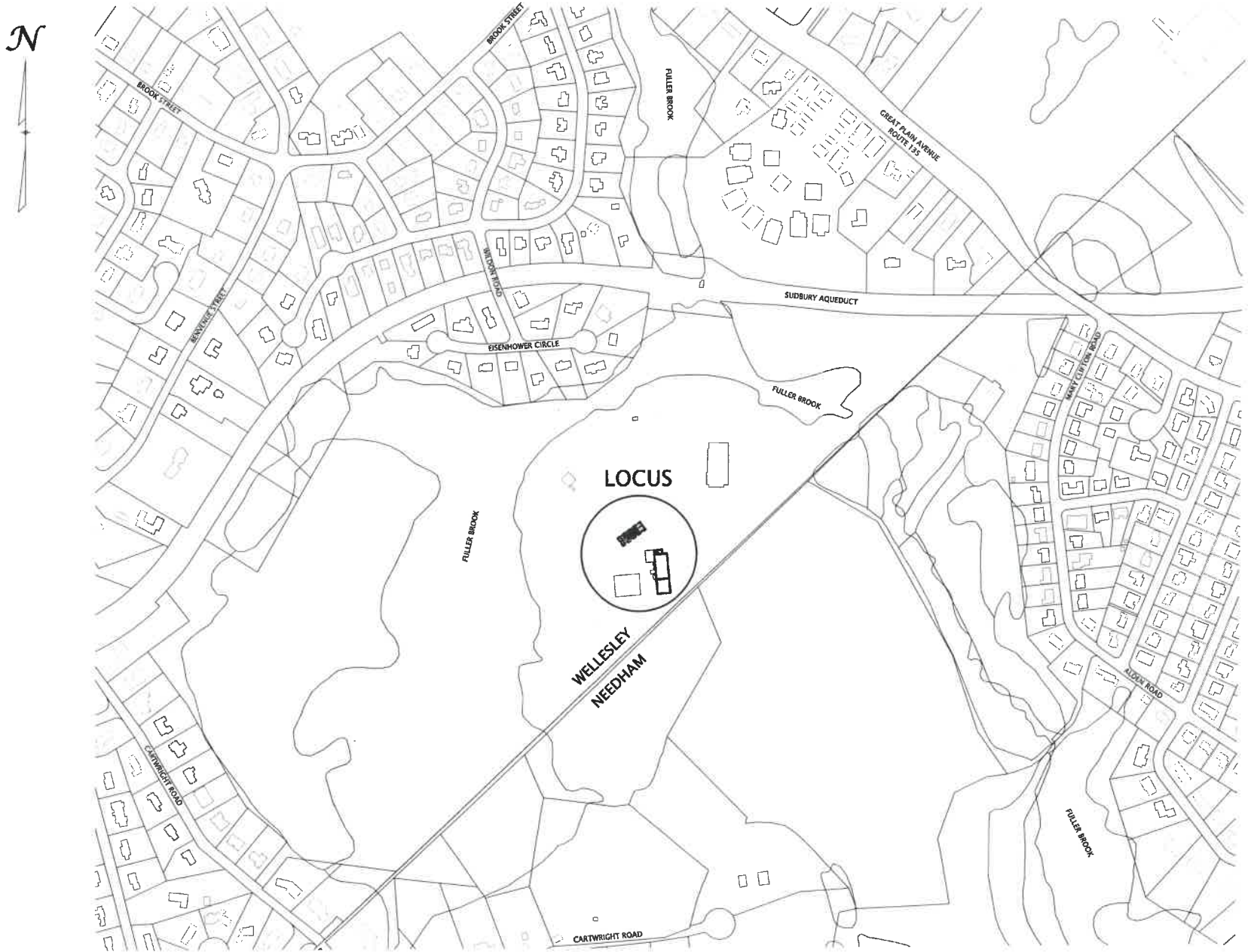
Cathryn Jane Kato
Town Clerk

cc: Planning Board
Inspector of Buildings
lrm

PLAN INDEX		
SHEET DESIGNATION	DRAWING	SHEET
LOCATION PLAN	C1-01	1
EXISTING CONDITION PLAN	C2-01	2
SITE PLAN	C3-01	3
UTILITY PLAN	C4-01	4
CONSTRUCTION DETAILS	C5-01	5
CONSTRUCTION MANAGEMENT PLAN	C6-01	6

SITE PLAN SET
PROPOSED DPW/RDF BUILDING
169 GREAT PLAIN AVENUE
WELLESLEY, MA 02482

LEGEND OF SYMBOLS AND ABBREVIATIONS			
GAS GATE	⊕	DRAIN MANHOLE	Ⓢ
MONITORING WELL	⊕	TEL./ELEC. MANHOLE	Ⓢ
FIRE HYDRANT	⊕	SEWER MANHOLE	Ⓢ
WATER GATE	⊕	CONC = CONCRETE	
CATCH BASIN	⊕	SBDH = STONE BOUND DRILL HOLE	
UTILITY POLE	⊕	FND = FOUND	
LIGHT POLE	⊕	WCR = WHEEL CHAIR RAMP	
DH = DRILL HOLE		N/F = NOW OR FORMERLY	
PROP = PROPOSED		IROD = IRON ROD	
PROP SPOT ELEVATION	+247.25	MJ = MECHANICAL JOINT	
CB = CATCH BASIN		BIT = BITUMINOUS	
DMH = DRAIN MANHOLE		FLOW DIRECTION ARROW	→
UP = UTILITY POLE		INV = INVERT	
C.O. = CLEAN OUT		CLOI = CEMENT LINED DUCTILE IRON	
		C.V. = CHECK VALVE	
		OVERHEAD POWER	— DP —
		TREE	⊕
		EXISTING CONTOUR	--- 1.3 ---
		EDGE OF PAVEMENT	--- EP ---
		MASS HIGHWAY BOUND	MHB
		EDGE OF PAVEMENT	EP
		SLOPED GRANITE CURB	SOC
		VERTICAL GRANITE CURB	VOC
		WATER MAIN	— W —
		NATURAL GAS MAIN	— G —
		GUARDRAIL	— GR —
		PROPOSED CONTOUR	--- 1.3 ---
		CONC = CONCRETE	
		PROPOSED CONSTRUCTION FENCE	— X —
		PROPOSED 12" MULCH SOCK	— O —



- PROJECT NOTES:
1. TOPOGRAPHIC INFORMATION SHOWN IS THE RESULT OF COMPILED PLANS PROVIDED BY THE TOWN OF WELLESLEY DEPARTMENT OF PUBLIC WORKS (DPW).
 2. ALL ELEVATIONS REFER TO THE TOWN OF WELLESLEY BASE BENCHMARK SYSTEM.
 3. A PORTION OF PROPERTY LIES WITHIN A ZONE A AND BASE FLOOD ELEVATION (ESTABLISHED) AS SHOWN ON FLOOD INSURANCE RATE MAP NUMBER 25021C0017E, EFFECTIVE DATE: JULY 17, 2012.
 4. THERE ARE NO PROPOSED WETLAND ALTERATIONS ASSOCIATED WITH THIS PROJECT.
 5. WETLANDS DELINEATED BY OTHERS.
 6. THERE ARE NO PROPOSED WETLAND ALTERATIONS ASSOCIATED WITH THIS PROJECT.
 7. EXISTING UTILITIES SHOWN ARE THE RESULT OF AN ACTUAL INSTRUMENT SURVEY PERFORMED BY THE TOWN OF WELLESLEY DPW. NO REPRESENTATION OR WARRANTY IS MADE REGARDING THE ACCURACY OF THE LOCATION OR PRESENCE OF SUBSURFACE UTILITIES AND THOSE UTILITIES SHOWN SHOULD BE CONSIDERED APPROXIMATE.
 8. ALL UTILITIES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION AND SHALL NOTIFY THE OWNER'S REPRESENTATIVE IF EXISTING CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN THAT WILL PREVENT THE PROPOSED WORK FROM BEING COMPLETED AS INTENDED.
 9. IF DURING CONSTRUCTION A CONFLICT SHOULD ARISE BETWEEN AN EXISTING UTILITY AND PROPOSED WORK THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE IN WRITING FOR RESOLUTION OF THE CONFLICT.
 10. CONTRACTOR TO CALL DISSAFE PRIOR TO CONSTRUCTION (411), TO UPDATE TICKET AND/OR VERIFY TICKET VALIDATION. DISSAFE TICKET IS VALID 30 DAYS FROM THE DATE OF ISSUE. BEYOND THIS POINT, TICKETS ARE VALID INDEFINITELY, PROVIDED THAT 1) THE MARKS ARE MAINTAINED, AND 2) THE WORK IS CONTINUOUS.
 11. THE PROPOSED WATER CONNECTION SIZE, TYPE & LOCATION ARE TO BE DESIGNED IN ACCORDANCE WITH 245 CMR 10.00: UNIFORM STATE PLUMBING CODE.
 12. ALL PROPOSED DRAIN PIPES ARE TO BE HDPE OR APPROVED EQUIVALENT UNLESS OTHERWISE SPECIFIED.
 13. THE INSTALLATION OF DRAINAGE STRUCTURES, ESPECIALLY THE HDPE PIPE AND UNDERGROUND DETENTION SYSTEM, SHALL ADHERE STRICTLY TO THE MANUFACTURERS INSTALLATION REQUIREMENTS TO MEET AASHTO LOADING REQUIREMENTS.
 14. WHENEVER FEASIBLE, SEWERS WILL BE LAID AT A MINIMUM OF 10 FEET, HORIZONTALLY, FROM ANY EXISTING OR PROPOSED WATER MAIN. SHOULD LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET TO A WATER MAIN THE SEWER MAIN WILL BE LAID IN A SEPARATE TRENCH AND THE ELEVATION OF THE CROWN OF THE SEWER PLACED AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER MAIN. WHENEVER SEWERS MUST CROSS UNDER WATER MAINS, THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE CROWN OF THE SEWER IS AT LEAST 18 INCHES BELOW THE WATER MAIN. WHEN IT IS IMPOSSIBLE TO OBTAIN HORIZONTAL OR VERTICAL SEPARATION AS STIPULATED ABOVE, BOTH THE WATER MAIN AND SEWER SHOULD BE ENCASED IN CONCRETE FOR 10 FEET EITHER SIDE OF THE CROSSING.
 15. THE APPLICANT SHALL COORDINATE WITH THE WELLESLEY WATER & SEWER DIVISION TO ENSURE PROPER DOMESTIC AND FIRE FLOWS PRIOR TO BUILDING PERMIT.
 16. EXISTING CATCH BASINS TO BE FITTED WITH SILT SACK OR APPROVED EQUAL WHEN INSTALLED AND REMOVED AFTER FINAL PAVEMENT COURSE IS LAID IF REQUIRED BY THE TOWN.
 17. ALL PROPOSED ELECTRICAL CONNECTIONS SHALL BE UNDERGROUND.

Designed By: PMB
Drawn By: PMB
Reviewed By: PMB
Project Manager: PMB
Job File Number: WELL-0020
Drawing File Folder: WELL20

☐ Drawing Issued for Review
☒ Drawing Issued for Permit
☐ Drawing Issued for Construction



SOCOTEC
75 HOOD PARK DRIVE
CHARLESTOWN, MA 02129
WWW.SOCOTEC.US

CLIENT NAME
TOWN OF WELLESLEY
20 MUNICIPAL WAY
WELLESLEY, MA 02481

Project Title

**WELLESLEY
DPW/RDF
ADMINISTRATION
BUILDING**

Socotec Project Number

AE234571.2

No.	Description	Date
1	ADDENDUM #2	09/19/2025

Stamp

Drawing Title

**LOCATION PLAN
169 GREAT PLAIN AVENUE
ASSESSORS PROPERTY ID: 69-1**

Submission

PERMIT DOCUMENTS

Date

NOVEMBER 18, 2025

Drawing Scale

1" = 200'

0' 100' 200' 400'

Drawn By: PMB

Project Manager: MFD

Drawing Number:

C1-01



SOCOTEC

75 HOOD PARK DRIVE
CHARLESTOWN, MA 02129
WWW.SOCOTEC.US



CLIENT NAME
TOWN OF WELLESLEY
30 WASHINGTON WAY
WELLESLEY, MA 02481

Project Title

**WELLESLEY
DPW/RDF
ADMINISTRATION
BUILDING**

Socotec Project Number
AE234571.2

Revision
No. Description Date
1 ADDENDUM #2 09/18/2025

Stamp

Drawing Title

**EXISTING CONDITION PLAN
169 GREAT PLAIN AVENUE
ASSESSORS PROPERTY ID: 69-1**

Submission

PERMIT DOCUMENTS

Date
NOVEMBER 18, 2025

Drawing Scale:
1" = 20'

Drawn By: **PMB** Project Manager: **MFD**

Drawing Number:
C2-01

- PROJECT NOTES:**
1. TOPOGRAPHIC INFORMATION SHOWN IS THE RESULT OF COMPILED PLANS PROVIDED BY THE TOWN OF WELLESLEY DEPARTMENT OF PUBLIC WORKS (DPW).
 2. ALL ELEVATIONS REFER TO THE TOWN OF WELLESLEY BASE BENCHMARK SYSTEM.
 3. A PORTION OF PROPERTY LIES WITHIN A ZONE A 100 BASE FLOOD ELEVATION ESTABLISHED AS SHOWN ON FLOOD INSURANCE RATE MAP NUMBER 25021C0017E, EFFECTIVE DATE: JULY 17, 2012.
 4. THERE ARE NO PROPOSED WETLAND ALTERATIONS ASSOCIATED WITH THIS PROJECT.
 5. WETLANDS DELINEATED BY OTHERS.
 6. EXISTING UTILITIES SHOWN ARE THE RESULT OF AN ACTUAL INSTRUMENT SURVEY PERFORMED BY THE TOWN OF WELLESLEY DPW. NO REPRESENTATION OR WARRANTY IS MADE REGARDING THE ACCURACY OF THE LOCATION OR PRESENCE OF SUBSURFACE UTILITIES AND THOSE UTILITIES SHOWN SHOULD BE CONSIDERED APPROXIMATE.
 7. ALL UTILITIES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION AND SHALL NOTIFY THE OWNER'S REPRESENTATIVE IF EXISTING CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN THAT WILL PREVENT THE PROPOSED WORK FROM BEING COMPLETED AS INTENDED.
 8. IF DURING CONSTRUCTION A CONFLICT SHOULD ARISE BETWEEN AN EXISTING UTILITY AND PROPOSED WORK THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE IN WRITING FOR RESOLUTION OF THE CONFLICT.
 9. CONTRACTOR TO CALL DISADVANTAGE PRIOR TO CONSTRUCTION (411), TO UPDATE TICKET AND/OR VERIFY TICKET VALIDATION. DISADVANTAGE TICKET IS VALID 30 DAYS FROM THE DATE OF ISSUE. BEYOND THIS POINT, TICKETS ARE VALID INDEFINITELY, PROVIDED THAT 1) THE MARKS ARE MAINTAINED, AND 2) THE WORK IS CONTINUOUS.
 10. THE PROPOSED WATER CONNECTION SIZE, TYPE & LOCATION ARE TO BE DESIGNED IN ACCORDANCE WITH 248 CMR 10.00: UNIFORM STATE PLUMBING CODE.
 11. ALL PROPOSED DRAIN PIPES ARE TO BE HOPE OR APPROVED EQUIVALENT UNLESS OTHERWISE SPECIFIED.
 12. THE INSTALLATION OF DRAINAGE STRUCTURES, ESPECIALLY THE HOPE PIPE AND UNDERGROUND DETENTION SYSTEM, SHALL ADHERE STRICTLY TO THE MANUFACTURERS INSTALLATION REQUIREMENTS TO MEET AASHTO LOADING REQUIREMENTS.
 13. WHENEVER FEASIBLE, SEWERS WILL BE LAID AT A MINIMUM OF 10 FEET, HORIZONTALLY, FROM ANY EXISTING OR PROPOSED WATER MAIN. SHOULD LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET TO A WATER MAIN THE SEWER MAIN WILL BE LAID IN A SEPARATE TRENCH AND THE ELEVATION OF THE CROWN OF THE SEWER PLACED AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER MAIN. WHENEVER SEWERS MUST CROSS UNDER WATER MAINS, THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE CROWN OF THE SEWER IS AT LEAST 18 INCHES BELOW THE WATER MAIN. WHEN IT IS IMPOSSIBLE TO OBTAIN HORIZONTAL OR VERTICAL SEPARATION AS STIPULATED ABOVE, BOTH THE WATER MAIN AND SEWER SHOULD BE ENCASED IN CONCRETE FOR 10 FEET EITHER SIDE OF THE CROSSING.
 14. THE APPLICANT SHALL COORDINATE WITH THE WELLESLEY WATER & SEWER DIVISION TO ENSURE PROPER DOMESTIC AND FIRE FLOWS PRIOR TO BUILDING PERMIT.
 15. EXISTING CATCH BASINS TO BE FITTED WITH SILT SACK OR APPROVED EQUAL WHEN INSURED AND REMOVED AFTER FINAL PAVEMENT COURSE IS LAID IF REQUIRED BY THE TOWN.
 16. ALL PROPOSED ELECTRICAL CONNECTIONS SHALL BE UNDERGROUND.

Designed By: **PMB**
Drawn By: **PMB**
Reviewed By: **PMB**
Project Manager: **PMB**
Job File Number: **WELL-0020**
Drawing File Folder: **WELL20**

☐ Drawing Issued for Review
☒ Drawing Issued for Permit
☐ Drawing Issued for Construction





**WELLESLEY
DPW/RDF
ADMINISTRATION
BUILDING**

Socotec Project Number
AE234571.2

No.	Description	Date
1	ADDENDUM #2	09/19/

Stamp

Drawing Tip

SITE PLAN
169 GREAT PLAIN AVENUE
ASSESSORS' PROPERTY ID: 60-4

Submission

PERMIT DOCUMENT

Date NOVEMBER 18, 2025

Drawing Scale:
1" = 20'

0' 10' 20' 40'

Drawn By: _____ Project Manager: _____

PMB	MFD
Drawing Number	

C3-01

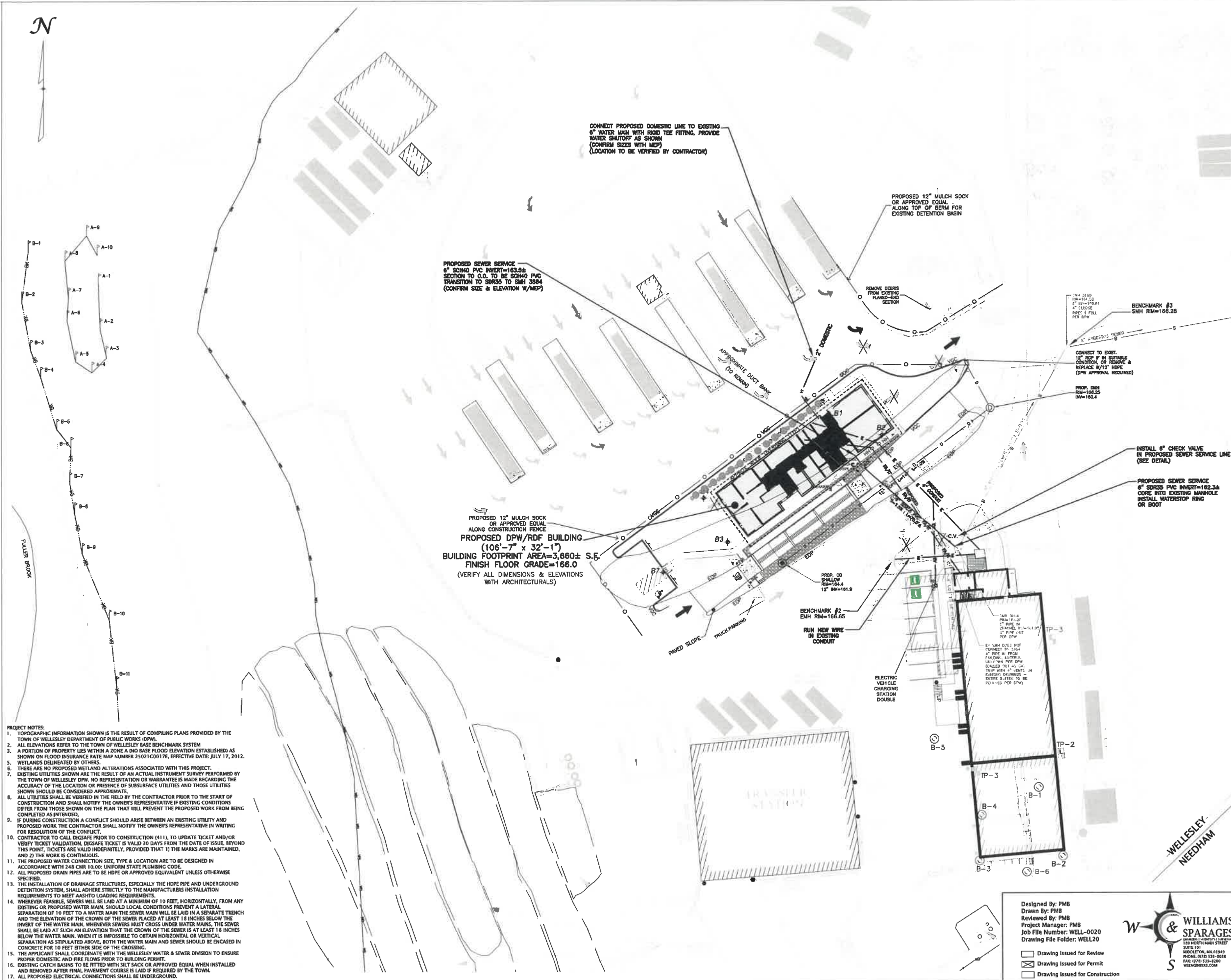
1. TOPOGRAPHIC INFORMATION SHOWN IS THE RESULT OF COMPILED PLANS PREPARED BY THE TOWN OF WILLESLEY. THE DEPARTMENT OF PUBLIC WORKS (DPW)
2. ALL ELEVATIONS REFER TO THE TOWN OF WILLESLEY BASE BENCHMARK SURVEY.
3. A PORTION OF PROPERTY LIES WITHIN A ZONE A (NO BASE FLOOD ELEVATION ESTABLISHED) AS SHOWN ON FLOOD INSURANCE RATE MAP NUMBER 25021C0017E, EFFECTIVE DATE: JULY 17, 2012.
4. ANYTHING CREATED BY THIS CONTRACTOR SHALL BE CONSIDERED APPROXIMATE.
5. THERE ARE NO PROPOSED WETLAND ALTERATIONS ASSOCIATED WITH THIS PROJECT.
6. EXISTING UTILITIES SHOWN ARE THE RESULT OF AN ACTUAL INSTRUMENT SURVEY PERFORMED BY THE TOWN OF WILLESLEY DPW. NO REPRESENTATION OR WARRANTIES ARE MADE REGARDING THE ACCURACY OF THE LOCATION OR DEPTH OF EXISTING UTILITIES AND THOSE UTILITIES SHOWN SHOULD BE CONSIDERED APPROXIMATE.
7. ALL UTILITIES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. IF ANY DISCREPANCY OR REPRESENTATIVE IS EXISTING CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN THAT WILL PREVENT THE PROPOSED WORK FROM BEING COMPLETED AS INTENDED.
8. IF DURING CONSTRUCTION A CONFLICT SHOULD ARISE BETWEEN AN EXISTING UTILITY AND PROPOSED WORK, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE IN WRITING FOR RESOLUTION OF THE CONFLICT.
9. CONTRACTOR TO CALL GCS&F PRIOR TO CONSTRUCTION (411). TO UPDATE TICKET AND/OR FOR VALUATION OF DAMAGE TO EXISTING UTILITIES. IF THE ISSUE IS NOT RESOLVED BY THIS POINT, TICKETS ARE VALID INDEFINITELY, PROVIDED THAT 1) THE MARKS ARE MAINTAINED, AND 2) THE WORK IS CONTINUOUS.
10. 1) THE PROPOSED WATER CONNECTION SIZE, TYPE & LOCATION ARE TO BE DESIGNED IN ACCORDANCE WITH 248 CMR 12.00 UNIFORM STATE PLUMBING CODE.
11. ALL PROPOSED DRAIN PIPES ARE TO BE HDPE OR APPROVED EQUIVALENT UNLESS OTHERWISE SPECIFIED.
12. THE INSTALLATION OF DRAINAGE STRUCTURES, ESPECIALLY THE HDPE PIPE AND UNDERGROUND DRAINAGE SYSTEM, SHALL ADHERE STRICTLY TO THE MANUFACTURERS INSTALLATION REQUIREMENTS TO MEET ASHRAE LOADING REQUIREMENTS.
13. WHENEVER FEASIBLE, SEWERS WILL BE LAID AT A MINIMUM OF 10 FEET, HORIZONTALLY, FROM ANY EXISTING OR PROPOSED WATER MAIN. WHEREVER FEASIBLE, SEWERS WILL BE LAID IN A SEPARATE TRENCH.
14. SEPARATION OF 10 FEET TO A WATER MAIN, SEWER MAIN WILL BE LAID IN A SEPARATE TRENCH AND THE ELEVATION OF THE CROWN OF THE SEWER PLACED AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER MAIN. WHENEVER SEWERS MUST CROSS UNDER WATER MAINS, THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE CROWN OF THE SEWER IS AT LEAST 18 INCHES BELOW THE WATER MAIN. WHEN IT IS IMPOSSIBLE TO OBTAIN HORIZONTAL OR VERTICAL SEPARATION AS STIPULATED ABOVE, BOTH THE WATER MAIN AND SEWER SHOULD BE ENCASED IN 18 INCHES OF CONCRETE OR EQUIVALENT.
15. THE APPLICANT SHALL COORDINATE WITH THE WILLESLEY WATER & SEWER DIVISION TO ENSURE PROPER DOMESTIC AND FIRE FLOWS PRIOR TO BUILDING PERMIT.
16. EXISTING CHALK BASINS TO BE FITTED WITH SALT SACK OR APPROVED EQUAL WHEN INSTALLED TO BE REMOVED AFTER FINAL PAVING OF THE DRIVEWAY BY THE TOWN.
17. ALL PROPOSED ELECTRICAL CONNECTIONS SHALL BE UNDERGROUND.

Designed By: PMB
 Drawn By: PMB
 Reviewed By: PMB
 Project Manager: PMB
 Job File Number: WELL-0020
 Drawing File Folder: WELL20

☐ Drawing Issued for Review
☒ Drawing Issued for Permit
☐ Drawing Issued for Construction



N



- PROJECT NOTES:**
1. TOPOGRAPHIC INFORMATION SHOWN IS THE RESULT OF COMPILED PLANS PROVIDED BY THE TOWN OF WELLESLEY DEPARTMENT OF PUBLIC WORKS (DPW).
 2. ALL ELEVATIONS REFER TO THE TOWN OF WELLESLEY BASE BENCHMARK SYSTEM.
 3. A PORTION OF PROPERTY LIES WITHIN A ZONE A AND BASE FLOOD ELEVATION ESTABLISHED AS SHOWN ON FLOOD INSURANCE RATE MAP NUMBER 25021C00176, EFFECTIVE DATE: JULY 17, 2012.
 4. THERE ARE NO PROPOSED WETLAND ALTERATIONS ASSOCIATED WITH THIS PROJECT.
 5. WETLANDS DELINEATED BY OTHERS.
 6. EXISTING UTILITIES SHOWN ARE THE RESULT OF AN ACTUAL INSTRUMENT SURVEY PERFORMED BY THE TOWN OF WELLESLEY DPW. NO REPRESENTATION OR WARRANTY IS MADE REGARDING THE ACCURACY OF THE LOCATION OR PRESENCE OF SUBSURFACE UTILITIES AND THOSE UTILITIES SHOWN SHOULD BE CONSIDERED APPROXIMATE.
 7. ALL UTILITIES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION AND SHALL NOTIFY THE OWNER'S REPRESENTATIVE IF EXISTING CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN THAT WILL PREVENT THE PROPOSED WORK FROM BEING COMPLETED AS INTENDED.
 8. IF DURING CONSTRUCTION A CONFLICT SHOULD ARISE BETWEEN AN EXISTING UTILITY AND PROPOSED WORK THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE IN WRITING FOR RESOLUTION OF THE CONFLICT.
 9. CONTRACTOR TO CALL DIGSAFE PRIOR TO CONSTRUCTION (411), TO UPDATE TICKET AND/OR VERIFY TICKET VALIDATION. DIGSAFE TICKET IS VALID 30 DAYS FROM THE DATE OF ISSUE. BEYOND THIS POINT, TICKETS ARE VALID INDEFINITELY, PROVIDED THAT 1) THE MARKS ARE MAINTAINED, AND 2) THE WORK IS CONTINUOUS.
 10. THE PROPOSED WATER CONNECTION SIZE, TYPE & LOCATION ARE TO BE DESIGNED IN ACCORDANCE WITH 248 CMR 10.00: UNIFORM STATE PLUMBING CODE.
 11. ALL PROPOSED DRAIN PIPES ARE TO BE HDPE OR APPROVED EQUIVALENT UNLESS OTHERWISE SPECIFIED.
 12. THE INSTALLATION OF DRAINAGE STRUCTURES, ESPECIALLY THE HDPE PIPE AND UNDERGROUND DETENTION SYSTEM, SHALL ADHERE STRICTLY TO THE MANUFACTURER'S INSTALLATION REQUIREMENTS TO MEET AASHTO LOADING REQUIREMENTS.
 13. WHENEVER FEASIBLE, SEWERS WILL BE LAID AT A MINIMUM OF 10 FEET, HORIZONTALLY, FROM ANY EXISTING OR PROPOSED WATER MAIN. SHOULD LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET TO A WATER MAIN THE SEWER MAIN WILL BE LAID IN A SEPARATE TRENCH AND THE ELEVATION OF THE CROWN OF THE SEWER PLACED AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER MAIN. WHENEVER SEWERS MUST CROSS UNDER WATER MAINS, THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE CROWN OF THE SEWER IS AT LEAST 18 INCHES BELOW THE WATER MAIN. WHEN IT IS IMPOSSIBLE TO OBTAIN HORIZONTAL OR VERTICAL SEPARATION AS STIPULATED ABOVE, BOTH THE WATER MAIN AND SEWER SHOULD BE ENCASED IN CONCRETE FOR 10 FEET EITHER SIDE OF THE CROSSING.
 14. THE APPLICANT SHALL COORDINATE WITH THE WELLESLEY WATER & SEWER DIVISION TO ENSURE PROPER DOMESTIC AND FIRE FLOW PRIOR TO BUILDING PERMIT.
 15. EXISTING CATCH BASINS TO BE FITTED WITH SILT SACK OR APPROVED EQUAL WHEN INSTALLED AND REMOVED AFTER FINAL PAVEMENT COURSE IS LAID IF REQUIRED BY THE TOWN.
 16. ALL PROPOSED ELECTRICAL CONNECTIONS SHALL BE UNDERGROUND.



SOCOTEC

75 HOOD PARK DRIVE
CHARLESTOWN, MA 02129
WWW.SOCOTEC.US



CLIENT NAME

TOWN OF WELLESLEY
30 MUNICIPAL WAY,
WELLESLEY, MA 02151

Project Title

**WELLESLEY
DPW/RDF
ADMINISTRATION
BUILDING**

Socotec Project Number

AE234571.2

ISSUANCE

No.	Description	Date
1	ADDENDUM #2	09/19/2025

No.	Description	Date
1	ADDENDUM #2	09/19/2025

Stamp

Drawing Title

**UTILITY PLAN
169 GREAT PLAIN AVENUE
ASSESSORS PROPERTY ID: 69-1**

Submission

PERMIT DOCUMENTS

Date: NOVEMBER 18, 2025

Drawing Scale:

1" = 20'

0' 10' 20' 40'

Drawn By: PMB Project Manager:

PMB MFD

Drawing Number:

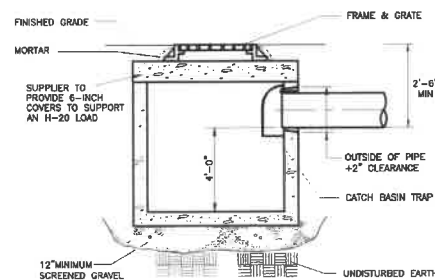
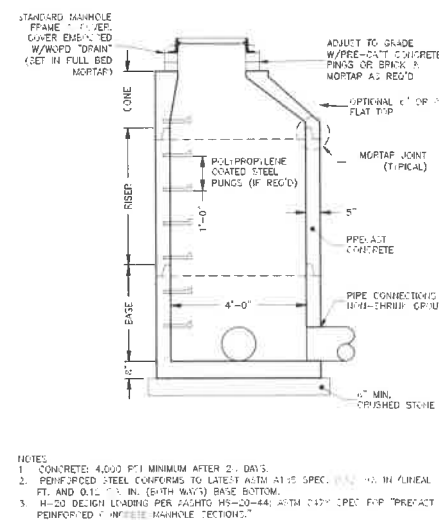
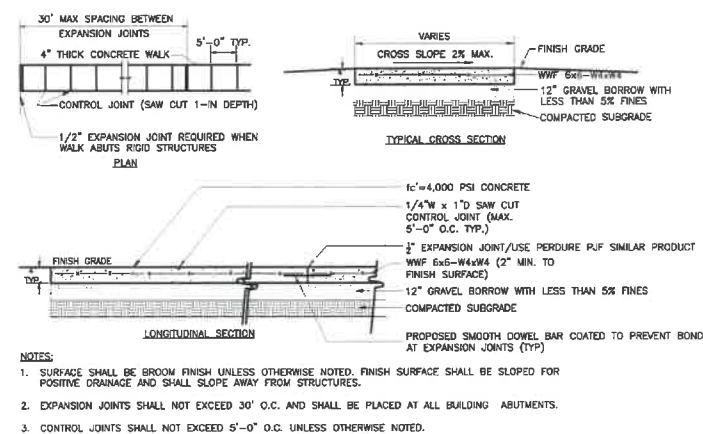
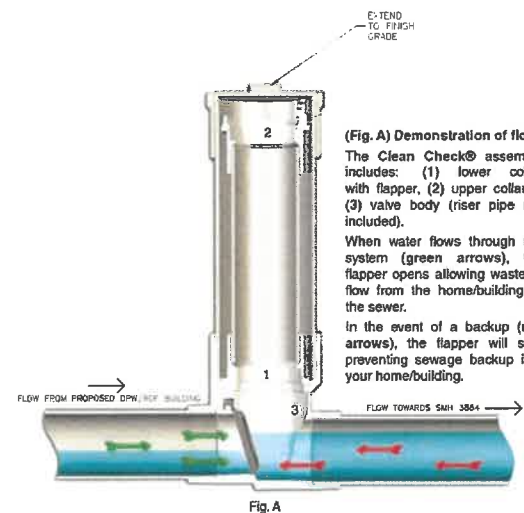
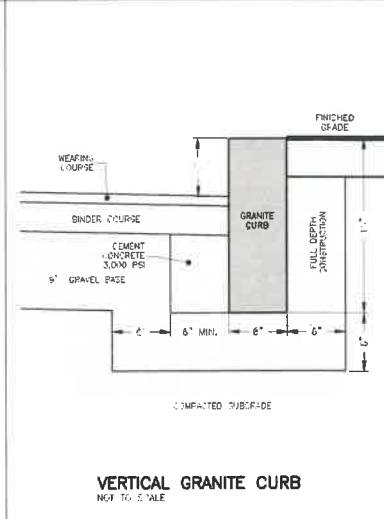
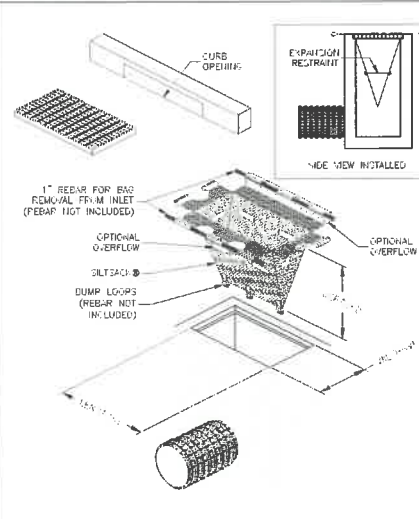
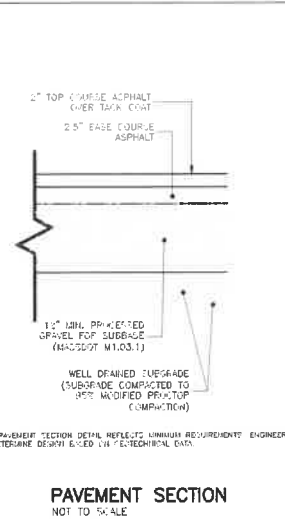
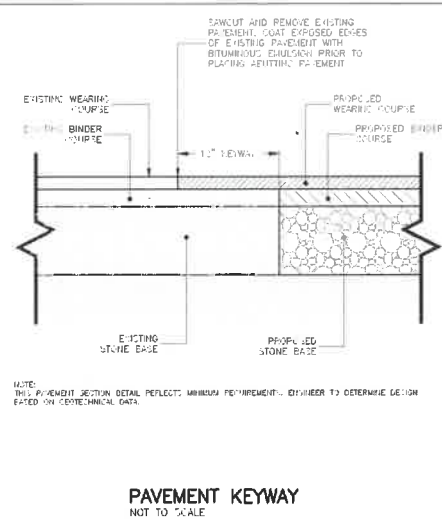
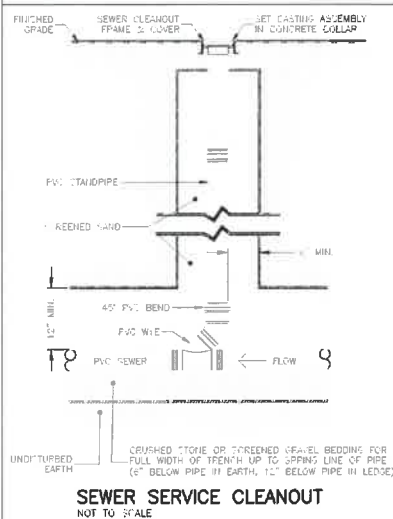
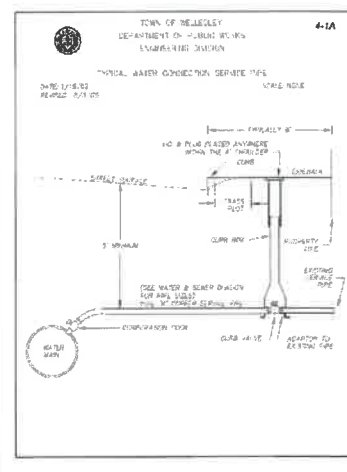
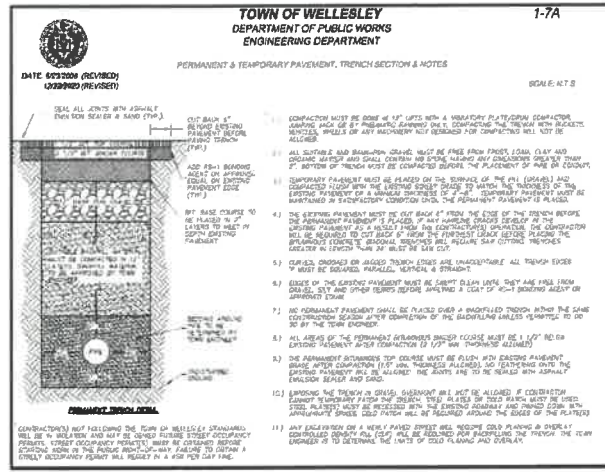
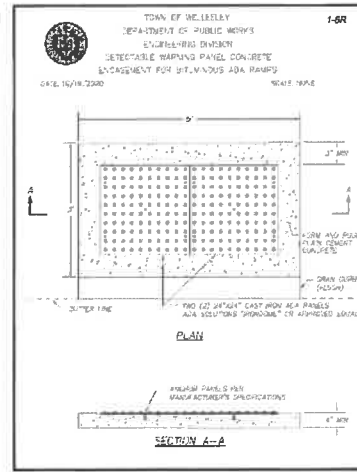
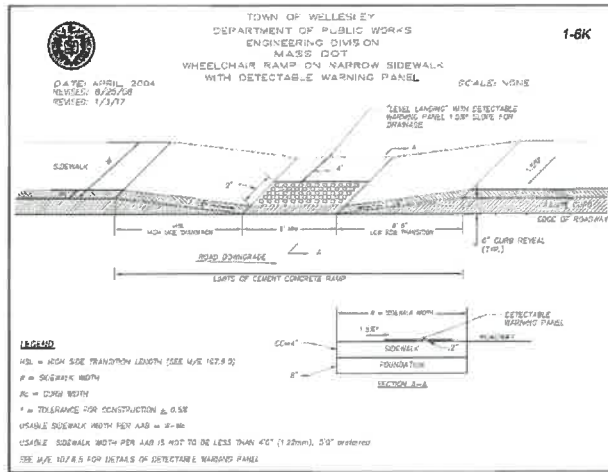
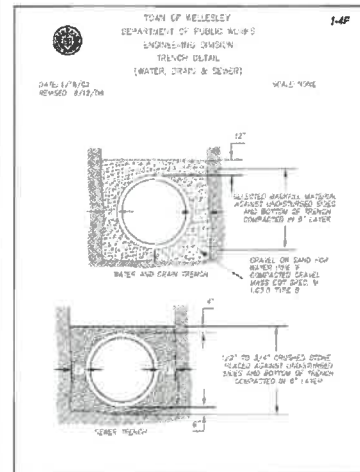
C4-01

Designed By: PMB
Drawn By: PMB
Reviewed By: PMB
Project Manager: PMB
Job File Number: WELL-0020
Drawing File Folder: WELL20

- ☐ Drawing Issued for Review
☐ Drawing Issued for Permit
☐ Drawing Issued for Construction



**WILLIAMS
&
SPARGES**
DESIGN-BUILD-OPERATE
180 STATE STREET
SUITE 100
BOSTON, MA 02109
PHONE: (617) 538-8058
FAX: (617) 538-8200
WWW.WSAGROUP.COM



SOCOTEC
75 HOOD PARK DRIVE
CHARLESTOWN, MA 02129
WWW.SOCOTEC.US



CLIENT NAME
TOWN OF WELLESLEY
20 MUNICIPAL WAY,
WELLESLEY MA 02481

[illegible]

Drawing Title

CONSTRUCTION DETAILS
169 GREAT PLAIN AVENUE
ASSESSORS PROPERTY ID: 69-1

Submission

PERMIT DOCUMENTS

Date NOVEMBER 10, 2020

Drawing Scale
1" = N.T.S.

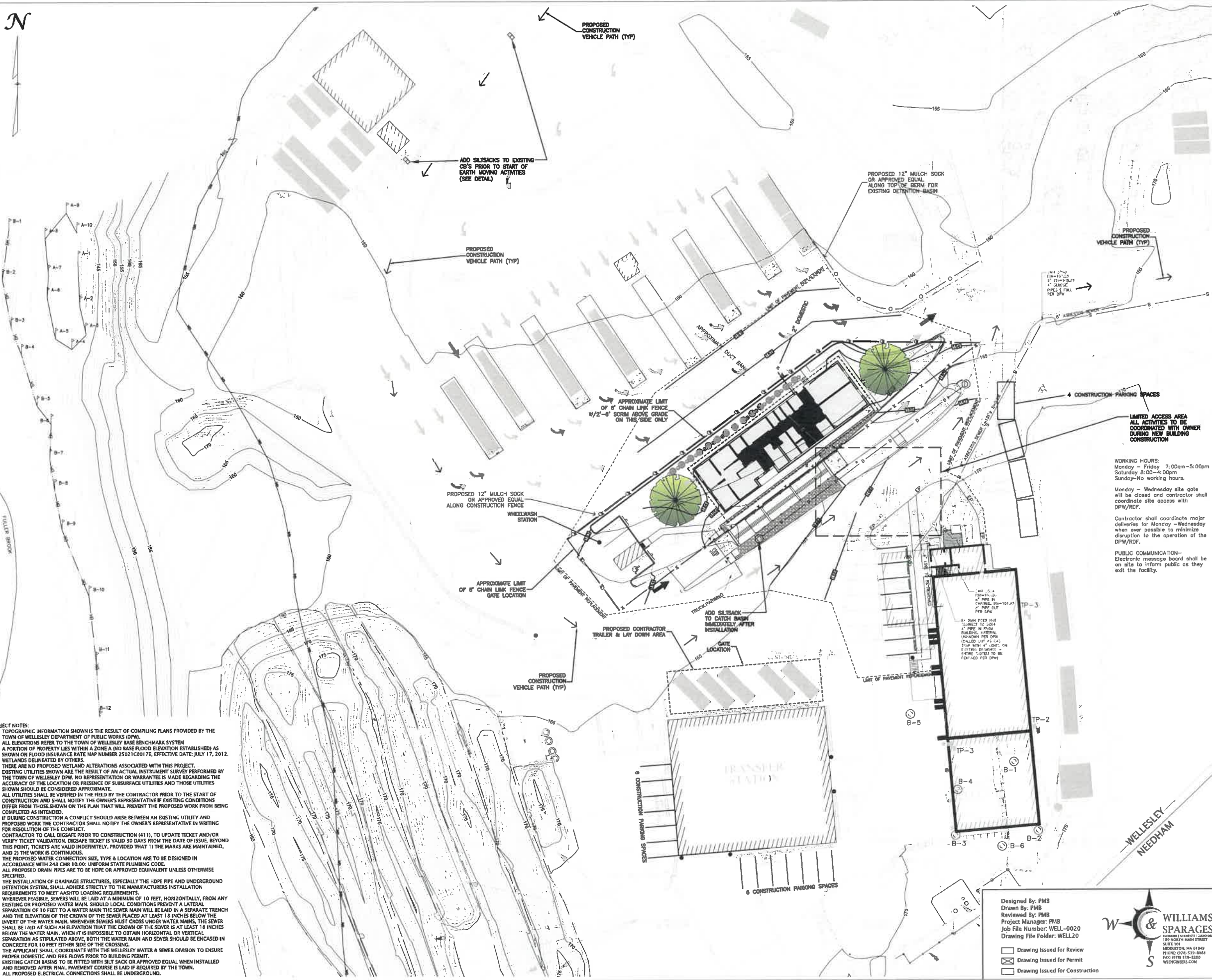
Drawn By: _____ Project Manager: _____

PMB
Drawing Num:

1

C5-01

N



- PROJECT NOTES:
1. TOPOGRAPHIC INFORMATION SHOWN IS THE RESULT OF COMPILING PLANS PROVIDED BY THE TOWN OF WELLESLEY DEPARTMENT OF PUBLIC WORKS (DPW).
 2. ALL ELEVATIONS REFER TO THE TOWN OF WELLESLEY BASE BENCHMARK SYSTEM.
 3. A PORTION OF PROPERTY LIES WITHIN A ZONE A AND BASE FLOOD ELEVATION (ESTABLISHED) AS SHOWN ON FLOOD INSURANCE RATE MAP NUMBER 25021C0017E, EFFECTIVE DATE: JULY 17, 2012.
 4. THERE ARE NO PROPOSED WETLAND ALTERATIONS ASSOCIATED WITH THIS PROJECT.
 5. WETLANDS DELINEATED BY OTHERS.
 6. EXISTING UTILITIES SHOWN ARE THE RESULT OF AN ACTUAL INSTRUMENT SURVEY PERFORMED BY THE TOWN OF WELLESLEY DPW. NO REPRESENTATION OR WARRANTY IS MADE REGARDING THE ACCURACY OF THE LOCATION OR PRESENCE OF SUBSURFACE UTILITIES AND THOSE UTILITIES SHOWN SHOULD BE CONSIDERED APPROXIMATE.
 7. ALL UTILITIES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION AND SHALL NOTIFY THE OWNER'S REPRESENTATIVE IF EXISTING CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN THAT WILL PREVENT THE PROPOSED WORK FROM BEING COMPLETED AS INTENDED.
 8. IF DURING CONSTRUCTION A CONFLICT SHOULD ARISE BETWEEN AN EXISTING UTILITY AND PROPOSED WORK THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE IN WRITING FOR RESOLUTION OF THE CONFLICT.
 9. CONTRACTOR TO CALL DIGSAFE PRIOR TO CONSTRUCTION (411), TO UPDATE TICKET AND/OR VERIFY TICKET VALIDATION. DIGSAFE TICKET IS VALID 30 DAYS FROM THE DATE OF ISSUE. BEYOND THIS POINT, TICKETS ARE VALID INDEFINITELY, PROVIDED THAT 1) THE MARKS ARE MAINTAINED, AND 2) THE WORK IS CONTINUOUS.
 10. THE PROPOSED WATER CONNECTION SIZE, TYPE & LOCATION ARE TO BE DESIGNED IN ACCORDANCE WITH 245 CMR 10.00: UNIFORM STATE PLUMBING CODE.
 11. ALL PROPOSED DRAIN PIPES ARE TO BE HDPE OR APPROVED EQUIVALENT UNLESS OTHERWISE SPECIFIED.
 12. THE INSTALLATION OF DRAINAGE STRUCTURES, ESPECIALLY THE HDPE PIPE AND UNDERGROUND DETENTION SYSTEM, SHALL ADHERE STRICTLY TO THE MANUFACTURER'S INSTALLATION REQUIREMENTS TO MEET AASHTO LOADING REQUIREMENTS.
 13. WHENEVER FEASIBLE, SEWERS WILL BE LAID AT A MINIMUM OF 10 FEET, HORIZONTALLY, FROM ANY EXISTING OR PROPOSED WATER MAIN. SHOULD LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET TO A WATER MAIN THE SEWER MAIN WILL BE LAID IN A SEPARATE TRENCH AND THE ELEVATION OF THE CROWN OF THE SEWER PLACED AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER MAIN. WHENEVER SEWERS MUST CROSS UNDER WATER MAINS, THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE CROWN OF THE SEWER IS AT LEAST 18 INCHES BELOW THE WATER MAIN. WHEN IT IS IMPOSSIBLE TO OBTAIN HORIZONTAL OR VERTICAL SEPARATION AS STIPULATED ABOVE, BOTH THE WATER MAIN AND SEWER SHOULD BE ENCASED IN CONCRETE FOR 10 FEET EITHER SIDE OF THE CROSSING.
 14. THE APPLICANT SHALL COORDINATE WITH THE WELLESLEY WATER & SEWER DIVISION TO ENSURE PROPER DOMESTIC AND RRIE FLOW PRIOR TO BUILDING PERMIT.
 15. EXISTING CATCH BASINS TO BE FITTED WITH SILT SACK OR APPROVED EQUAL WHEN INSTALLED AND REMOVED AFTER FINAL PAVEMENT COURSE IS LAID IF REQUIRED BY THE TOWN.
 16. ALL PROPOSED ELECTRICAL CONNECTIONS SHALL BE UNDERGROUND.



CLIENT NAME
TOWN OF WELLESLEY
20 MUNICIPAL HWY
WELLESLEY MA 02481

Project Title

**WELLESLEY
DPW/RDF
ADMINISTRATION
BUILDING**

Socotec Project Number
AE234571.2

Issuance

No.	Description	Date
1	ADDENDUM #2	09/19/2025

Stamp

Drawing Title

**CONSTRUCTION MANAGEMENT PLAN
169 GREAT PLAIN AVENUE
ASSESSORS PROPERTY ID: 69-1**

WORKING HOURS:
Monday - Friday 7:00am - 5:00pm
Saturday 8:00am - 4:00pm
Sunday - No working hours.

Monday - Wednesday site gate
will be closed and contractor shall
coordinate site access with
DPW/RDF.

Contractor shall coordinate major
deliveries for Monday - Wednesday
when ever possible to minimize
disruption to the operation of the
DPW/RDF.

PUBLIC COMMUNICATION -
Electronic message board shall be
on site to inform public as they
exit the facility.

Designed By: PMB
Drawn By: PMB
Reviewed By: PMB
Project Manager: PMB
Job File Number: WELL-0020
Drawing File Folder: WELL20

- ☐ Drawing Issued for Review
☒ Drawing Issued for Permit
☐ Drawing Issued for Construction



Substation
PERMIT DOCUMENTS

Date

NOVEMBER 18, 2025

Drawing Scale:

1" = 20'

0' 10' 20' 40'

Drawn By: PMB Project Manager: MFD

Drawing Number:

C6-01