

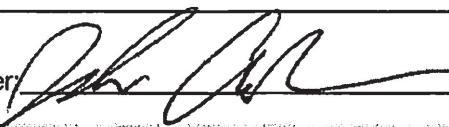
Application for Preservation Determination

Based on the Eligibility Notice issued for the subject property noted on **Side 1** of this form, pursuant to Article 46C of the Town Bylaws, a Preservation Determination must be made by the Historical Commission (and any imposed Delay Period shall have expired or been waived) before issuance of a permit to demolish (or remove or envelope more than 50%).

Application Authorization:

As Owner of the subject property identified on **Side 1** of this form, the structure(s) located thereon determined to be an *Eligible Building*, I am requesting that the Wellesley Historical Commission make a *Preservation Determination* for the applicable structure(s); if I am making this request at the same time that I am seeking an Eligibility Notice, I am acknowledging that the structure is an Eligible Building and waiving my right to appeal such a determination:

Property Owner Name: 202 Cedar LLC

Signature of Property Owner: 

Date: 11/10/2025

Documentation Requirements:

Please submit the following additional information for consideration by the Historical Commission, as applicable:

- **In the case of partial demolition**, plans showing the use or development of the site after such demolition, if known, and a statement identifying all zoning variances and/or special permits which may be required in order to implement the proposed use or development, if known; and
- **In the case of ANY demolition**, photographs of all existing façade elevations of the Building

For Town Use Only

Documentation Submission Date: _____ Received By: _____

Fee Paid: \$ _____ WHC Public Hearing Date: _____

Historical Commission Determination (refer to issued Notice of Preservation Determination):

Not Preferably Preserved

Date Issued: _____

Preferably Preserved

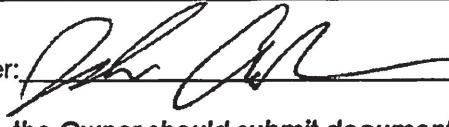
Expiration of Delay Period (if applicable): _____

Request to Reduce Delay Period (Waiver)*

*May not be sought until a Preservation Determination is made by the Historical Commission

As Owner of the subject property identified on **Side 1** of this form, the structure(s) located thereon determined to be an *Eligible Building* and Determined to be *Preferably Preserved*, I am requesting that the Wellesley Historical Commission make a determination as to whether or not to reduce or modify the Delay Period.

Property Owner Name: 202 Cedar LLC

Signature of Property Owner: 

Date: 01/14/2026

To accompany this request, the Owner should submit documentation evidencing any attempts to sell the property or plans and elevations for proposed construction to follow any Demolition.

Robert H. Williamson, Architect
RHWA, LLC.
78 Cochrane Street
Melrose, MA 02176
www.rhwarchitect.com

January 14, 2026

Wellesley Historic Commission
Town of Wellesley Planning Department
888 Worcester Street
Suite 160
Wellesley, MA 02482

Dear Members of the Historic Commission

On behalf of the John Anderson of Blue Cedar Property Group, I am submitting the application for a demolition waiver for the structure at 202 Cedar Street. The existing property is unique because of the close proximity to a gravel road in a neighborhood with a variety of architectural styles and sizes of both homes and lots. We have determined that the right move on the site is to build a new home within the setback constraints of the current zoning bylaw, rather than seek special permits because of the existing non-conforming condition.

The new home meets all zoning bylaws for lot dimensions, setbacks, coverage and TLAG area limitations. We explored different design options, and found that a Dutch Colonial style worked well with our architectural goals and within the context of the neighborhood at large. This classic revival style of residential architecture is a staple in many New England communities and will serve us well for this new home.

Sincerely,

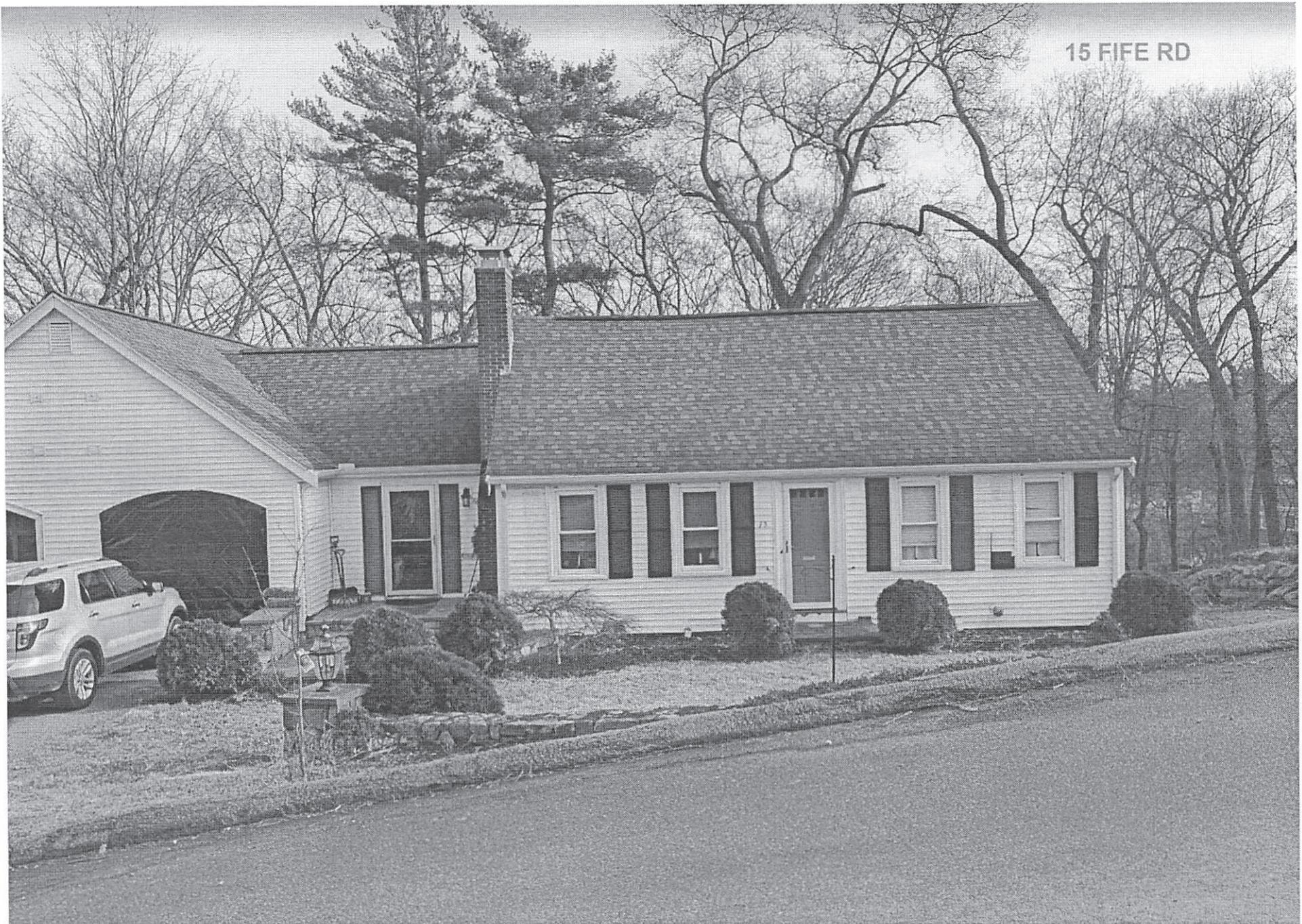


Robert H. Williamson, Architect





















EXISTING WEST FACADE



EXISTING SOUTH FACADE



EXISTING EAST FACADE



EXISTING NORTH FACADE

New Construction Residence for Blue Cedar Property Group

202 Cedar St, Wellesley, MA 02481

HISTORIC COMMISSION SET
ARCHITECTURAL DRAWINGS
JANUARY 14, 2026

SHEET LIST

SHEET NUMBER	SHEET NAME
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T0.01	TITLE PAGE
T0.02	3D VIEWS
T0.03	NEIGHBORHOOD PLAN

A0.01	ARCHITECTURAL SITE PLAN
A0.02	TLAG PLANS

A1.01	PROPOSED FLOOR PLANS
A1.02	PROPOSED FLOOR PLANS
A1.03	PROPOSED FLOOR PLANS
A1.04	PROPOSED FLOOR PLANS

A4.01	EXTERIOR ELEVATIONS
A4.02	EXTERIOR ELEVATIONS

Architect:
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79 Cochrane Street
Melrose, MA 02176
802-342-2502
www.rhwaarchitect.com

Consultant:

Project Name:
NEW RESIDENCE AT
202 CEDAR ST FOR
BLUE CEDAR
PROPERTY GROUP

Client: Blue Cedar Property Group
Location: 202 Cedar St, Wellesley, MA 02481
Sheet Name:

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Revision:

Issue Date:
JANUARY 14, 2026

Project No.: 25022

Scale:

Sheet Number:

T0.01



SITE LOCATION PLAN

NOTE: 3D VIEWS DO NOT SHOW ALL LANDSCAPE DETAIL. THESE DRAWINGS ARE PROVIDED TO REPRESENT THE ARCHITECTURAL DESIGN ONLY.



Architect:
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802-342-2502
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Consultant:

Project Name:
NEW RESIDENCE AT
202 CEDAR ST FOR
BLUE CEDAR
PROPERTY GROUP

Client: Blue Cedar Property Group
Location: 202 Cedar St, Melrose, MA 02176
Sheet Name:
3D VIEWS

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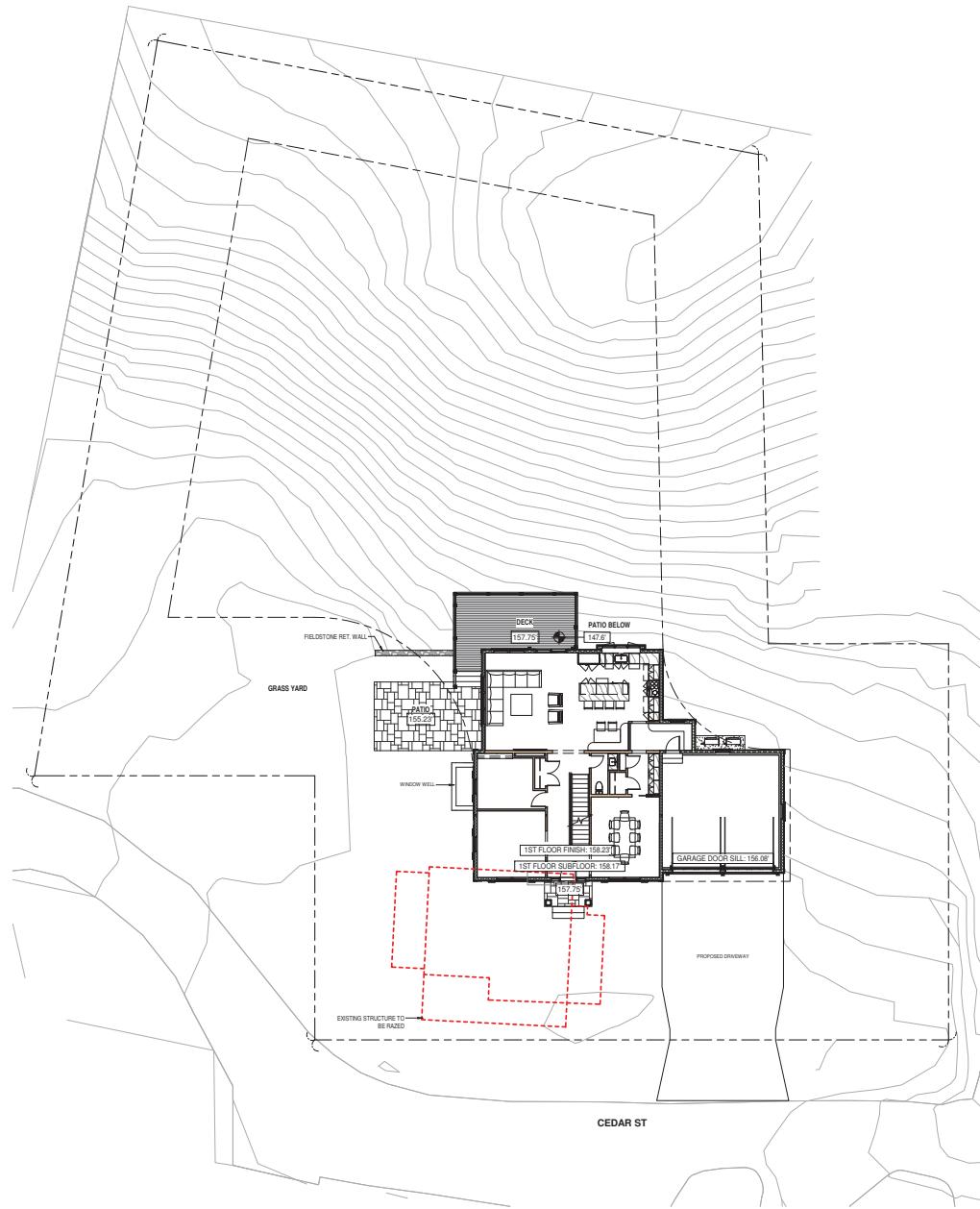
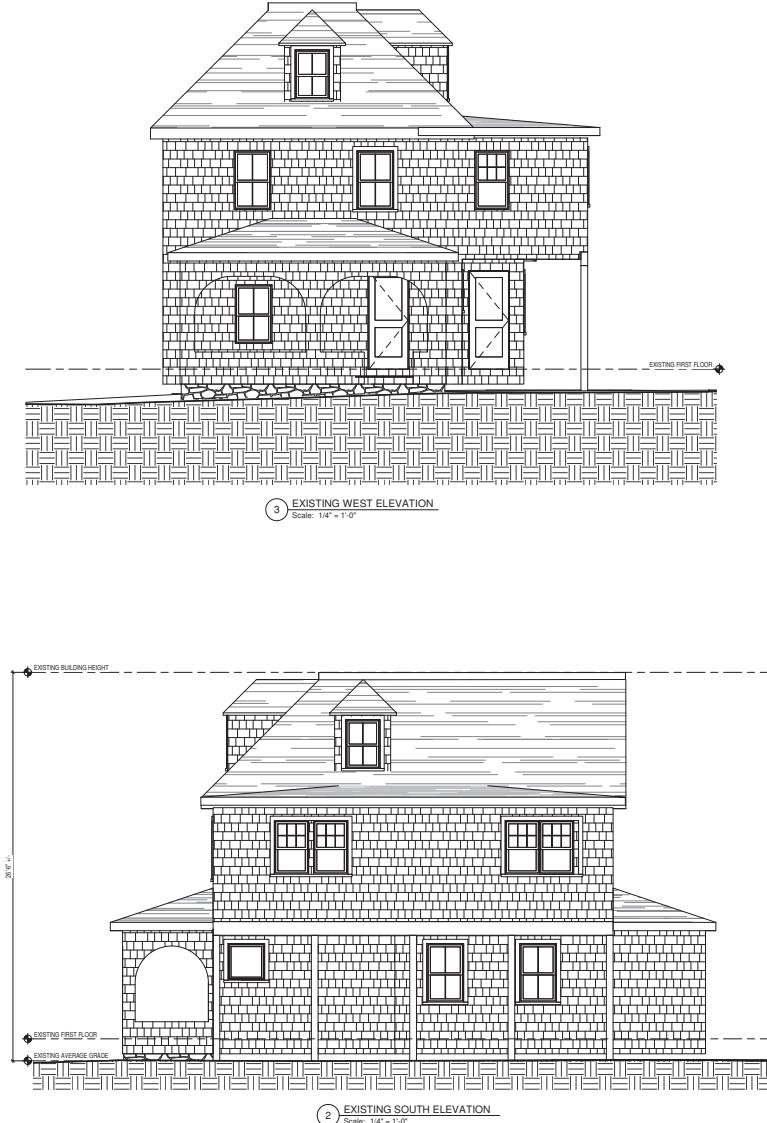
Issue Date:
JANUARY 14, 2026

Project No.: 25022

Scale:

Sheet Number:

T0.02



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Consultant:

Project Name:
NEW RESIDENCE AT
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BLUE CEDAR
PROPERTY GROUP

Client: Blue Cedar Property Group
Location: 202 Cedar St, Wellesley, MA 02481
Sheet Name:
ARCHITECTURAL SITE PLAN

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Revision:

Issue Date:
JANUARY 14, 2026

Project No.: 25022

Scale: As indicated

Sheet Number:

A0.01

Architect:
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Project Name:
NEW RESIDENCE AT
202 CEDAR ST FOR
BLUE CEDAR
PROPERTY GROUP

Client: Blue Cedar Property Group
Location: 202 Cedar St, Wellesley, MA 02481
Sheet Name: TLAG PLANS

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ON THE SITE AS AGREED.



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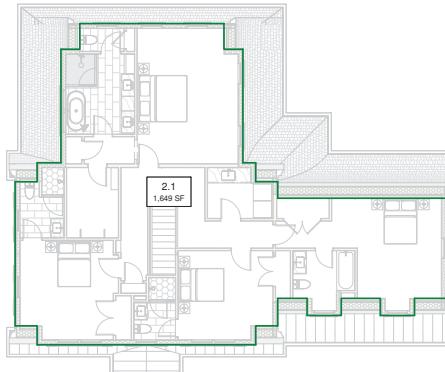
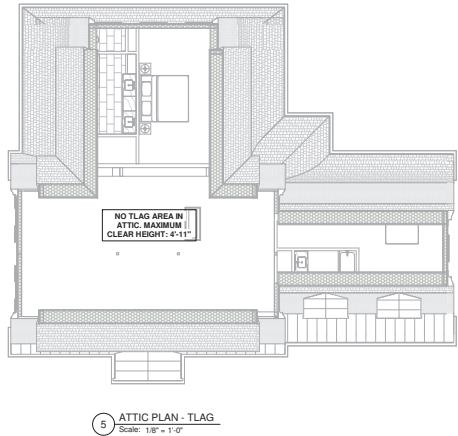
Issue Date:
JANUARY 14, 2026

Project No.: 25022

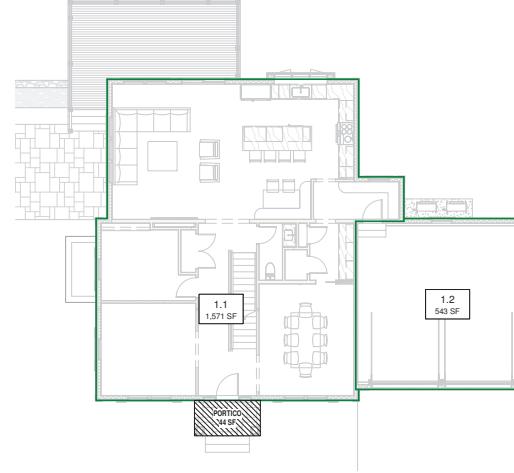
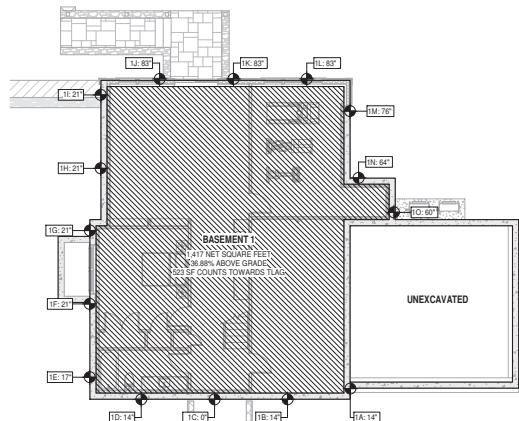
Scale: As indicated

Sheet Number:

A0.02



3 2ND FLOOR PLAN - TLAG
Scale: 1/8" = 1'-0"



ZONING DISTRICT: SR-15

EXISTING TLAG SUMMARY

BASEMENT: 0 SF
1ST FLOOR: 730 SF
2ND FLOOR: 791 SF
ATTIC: 235 SF
TOTAL: 1,756 SF

PROPOSED TLAG SUMMARY

BASEMENT: 523 SF
1ST FLOOR: 2,114 SF
2ND FLOOR: 1,649 SF
ATTIC: 0 SF
TOTAL: 4,286 SF

GROSS AREA SCHEDULE			
LEVEL	NAME	AREA	COMMENTS
BASEMENT	0.1	523 SF	PROPOSED
FIRST FLOOR	1.1	1,571 SF	PROPOSED
FIRST FLOOR	1.2	543 SF	PROPOSED
SECOND FLOOR	2.1	1,649 SF	PROPOSED
		4,286 SF	

NOTE: TLAG BOUNDARIES ARE MEASURED TO THE FINISH FACE OF EXTERIOR WALLS AND OTHER SURFACES AND NOT TO THE FLOOR BELOW SLOPED ROOFS, IF APPLICABLE. ARE MEASURED TO THE 8 FT VERTICAL LINE PER SECTION 5.9 OF THE WELLESLEY BY LAWS.

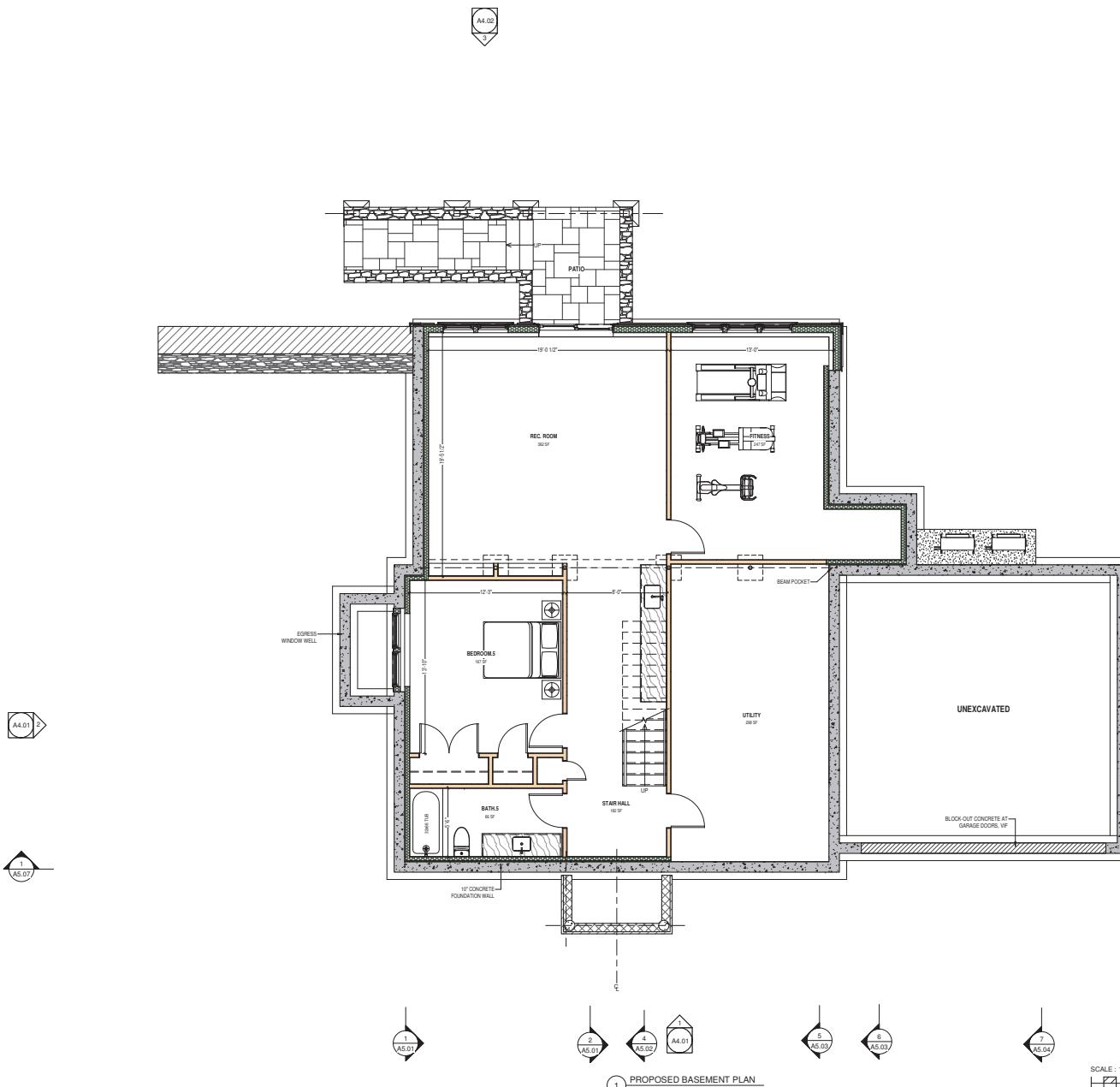


FLOOR PLAN NOTES:

1. EXTERIOR WALL DIMENSIONS ARE TO THE OUTSIDE FACE OF STUD AND INSULATION.
2. INTERIOR PARTITION DIMENSIONS ARE TO THE FINISH FACE OF THE WALL, NOT THE CENTERLINE.
3. WINDOWS ARE DIMENSIONED TO THE CENTERLINE OF THE ROUGH OPENING.
4. DOORS ARE DIMENSIONED TO THE CENTERLINE OF THE ROUGH OPENING.
5. INTERIOR SQUARE FOOTAGES LISTED ON PLANS IS NOT SQUARE FOOTAGE. USE AREA SCHEDULES FOR CLOSETS. USE OTHERWISE NOTED. SEE AREA SCHEDULES FOR SQUARE FOOTAGE.

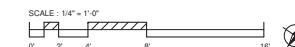
GENERAL NOTES - CONCRETE

- 1. ALL CONCRETE WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF ACI 318, "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE".
- 2. EXTERIOR FOUNDATIONS SHALL BE A MINIMUM OF 4 FT. BELOW FINISH GRADE. DO NOT EXCAVATE DEEPER THAN 4 FT. DO NOT EXCAVATE DEEPER THAN 12 FT. DOWN INTO UNDISTURBED SOIL WITH A MINIMUM BEARING CAPACITY OF 2 TONS PER SQUARE FOOT, UNLESS OTHERWISE NOTED.
- 3. FOUNDATION WALLS SHALL BE 10" THICK AND HAVE (2) #4 REINFORCEMENT RODS TOP & BOTTOM, RUNNING CONTINUOUSLY UNLESS OTHERWISE NOTED.
- 4. PROVIDE 1/2" MINIMUM CONCRETE COVER OVER ALL STEEL REINFORCEMENT.
- 5. PROVIDE 10 MIL POLY VAPOR BARRIER ON GRADE, OVER MAXIMUM AGGREGATE SIZE OF 1" AND SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI.
- 6. DO NOT PLACE CONCRETE IN WATER OR ON FROZEN SUBGRADE.
- 7. ALL CONCRETE FOUNDATIONS WITH EXPOSED SURFACES SHALL HAVE BITUMINOUS DAMPROOFING FROM THE TOP OF THE FLOORING TO FINISHED GRADE.
- 8. FOUNDATION WATERPROOFING MAY BE REQUIRED WHERE A HIGH-WATER TABLE OR OTHER SEVERE SOIL/WATER CONDITIONS ARE KNOWING TO EXIST. THIS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CODES DISCOVERED.
- 9. PROVIDE PERIMETER FLOOR-DRAN DRAINED BY PIPE, P.D. TO THE EXTERIOR. THE CENTER OF THE PERIMETER FOUNDATION WALLS FLOOR-DRAN PIPE SHALL DRAIN TOWARDS DAYLIGHT. COMPACTED STRUCTURAL FILL BELOW ALL FOUNDATIONS AND CONCRETE SLABS.
- 10. PROVIDE 10 MIL POLY VAPOR BARRIER ON GRADE, OVER MAXIMUM AGGREGATE SIZE OF 1" AND SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI.
- 11. REQUIRE RADON MITIGATION SYSTEM AND/OR UNDERSLAB DRAWDOWN SYSTEM IN ACCORDANCE WITH THE REQUIREMENTS OF THE CODES DISCOVERED.
- 12. PROVIDE 10 MIL POLY VAPOR BARRIER BELOW CONCRETE SLABS ON GRADE.
- 13. PROVIDE 1/2" PERIMETER JOINT FILLER AT THE EDGE OF ALL CONCRETE SLABS ON GRADE.
- 14. PROVIDE CONSTRUCTION CONTRA Joints IN CONCRETE SLABS ON GRADE AT 20' BOTH DIRECTIONS, UNLESS OTHERWISE NOTED.
- 15. CONCRETE FOUNDATION WALLS SHALL BE REINFORCED WITH 6x10 GA. WELDED WIRE MESH IN THE MIDDLE OF THE SLAB.
- 16. CONCRETE WALLS SHALL BE ATTACHED TO CONCRETE FOUNDATION WITH 10 GA. GALVANIZED BOLTS AT 32" O.C.



PROPOSED BASEMENT PLAN

Scale: 1/4" = 1'-0"



A1.01

Architect:
RHWA, LLC
79 Cochane Street
Melrose, MA 02176
802-342-2502
www.rhwaarchitect.com

Consultant:

Project Name:
NEW RESIDENCE AT
202 CEDAR ST FOR
BLUE CEDAR
PROPERTY GROUP

Client: Blue Cedar Property Group
Location: 202 Cedar St, Melrose, MA 02176
Sheet Name: PROPOSED FLOOR PLANS

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CONSTRUCT A SINGLE PROJECT
ON THE SITE AS INDICATED.

Revision:

Issue Date:
JANUARY 14, 2026

Project No.: 25022

Scale: 1/4" = 1'-0"

Sheet Number:

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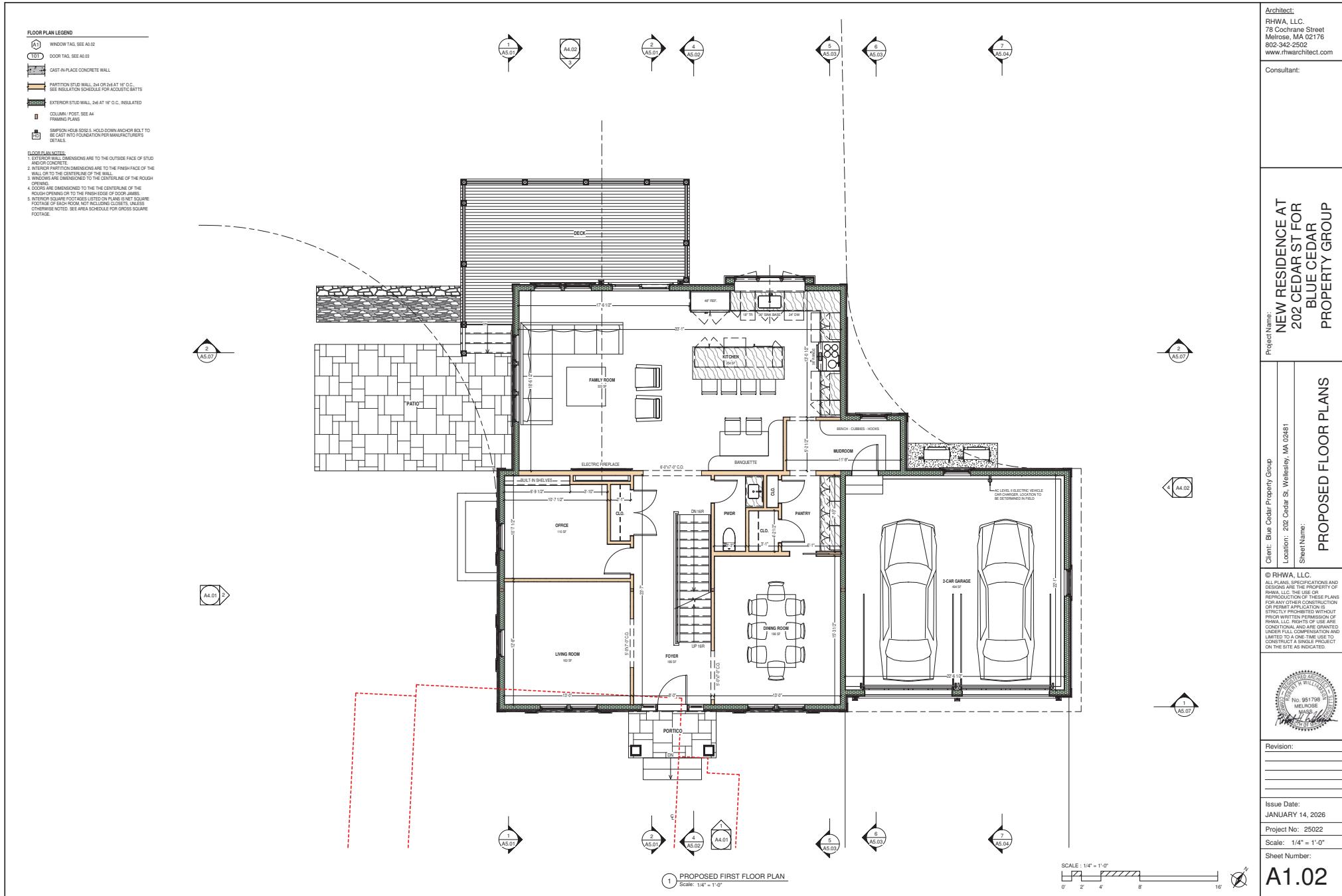
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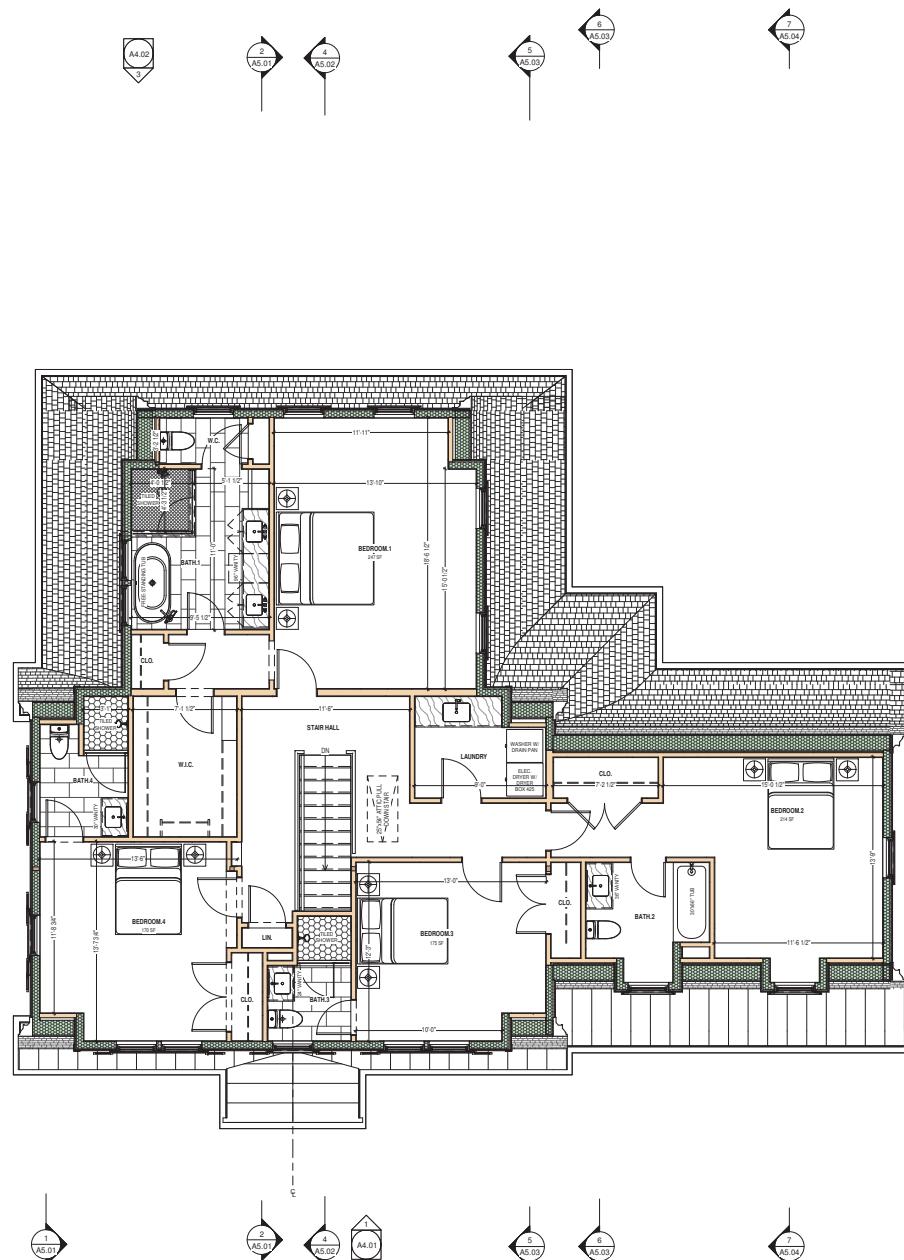
FLOOR PLAN LEGEND

- WINDOW TAG. SEE A0.02
- DOOR TAG. SEE A0.03
- CAST-IN-PLACE CONCRETE WALL
- PARTITION STUD WALL. 24 OR 26 AT 16" O.C. SEE INSULATION SCHEDULE FOR ACOUSTIC BATT'S
- EXTERIOR STUD WALL. 26 AT 16" O.C. INSULATED
- COLUMN / POST. SEE A4
- FRAMING PLANS
- SIMPSON HOU.SD25. HOLD-DOWN ANCHOR BOLT TO BE CAST INTO FOUNDATION PER MANUFACTURER'S DETAILS

NOTES:

- 1 EXTERIOR WALL DIMENSIONS ARE TO THE OUTSIDE FACE OF STUD AND CONCRETE.
- 2 INTERIOR PARTITION DIMENSIONS ARE TO THE FINISH FACE OF THE WALL OR TO THE CENTRELINE OF THE WALL.
- 3 WIDTH DIMENSIONS ARE TO THE OUTSIDE EDGE OF THE ROUGH OPENING.
- 4 DOORS ARE DIMMED TO THE CENTERLINE OF THE ROUGH OPENING TO THE FINISH EDGE OF DOOR JAMBS.
- 5 INTERIOR DOOR LOCATIONS LISTED ON PLANS ARE NET. INSURE FOLIAGE OF EACH DOOR IS PROPERLY LOCATED. DOORS ARE TO OPEN OUTWARD UNLESS OTHERWISE NOTED. SEE AREA SCHEDULE FOR GROSS SQUARE FOOTAGE.

1 PROPOSED SECOND FLOOR PLAN
Scale: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"
0' 2' 4' 6' 8' 10' 12' 14' 16'

A1.03

Architect:
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79 Cochran Street
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802-342-2502
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Consultant:

Project Name:
NEW RESIDENCE AT
202 CEDAR ST FOR
BLUE CEDAR
PROPERTY GROUP

Client: Blue Cedar Property Group
Location: 202 Cedar St, Wellesley, MA 02481
Sheet Name:
PROPOSED FLOOR PLANS

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Revision:

Issue Date:
JANUARY 14, 2026

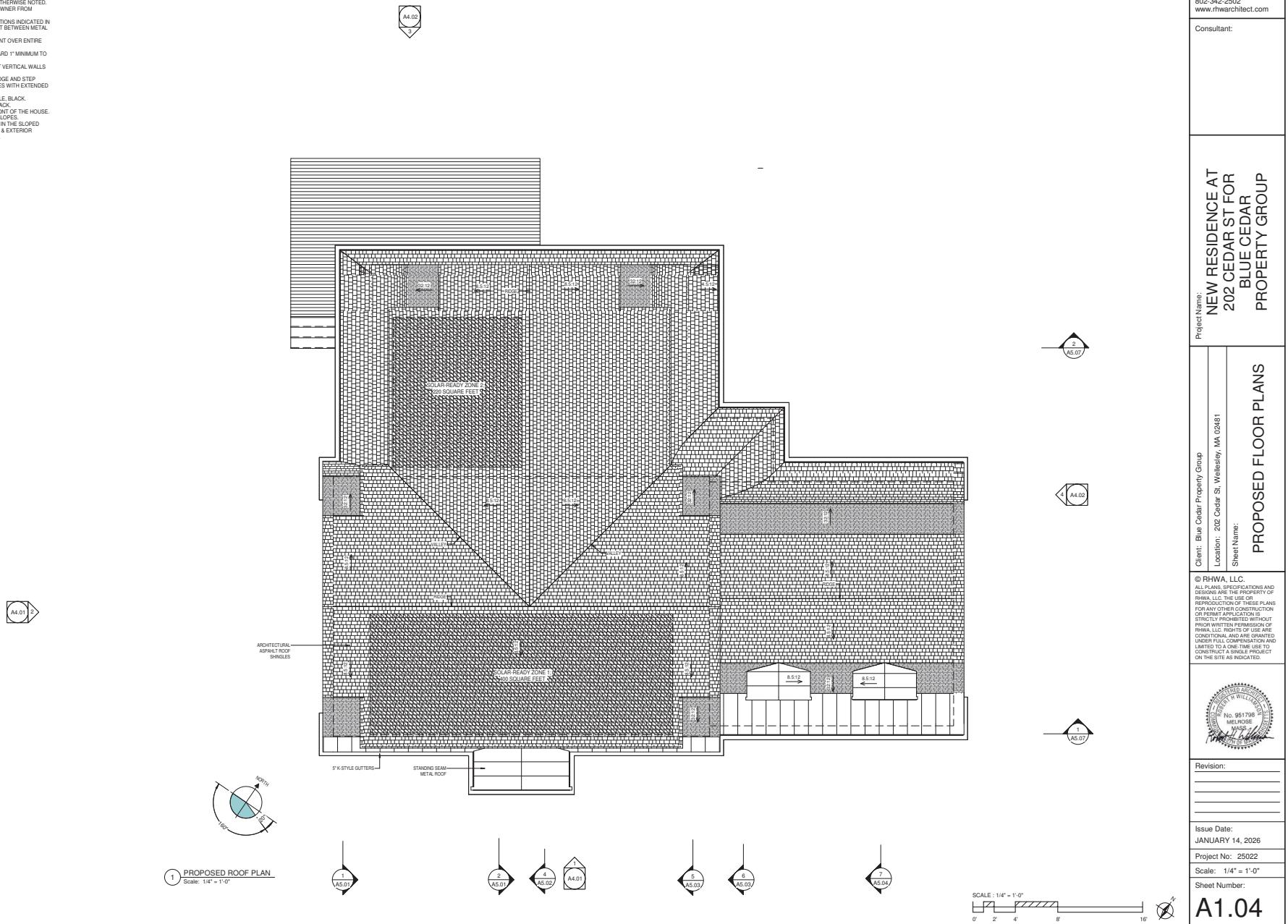
Project No.: 25022

Scale: 1/4" = 1'-0"

Sheet Number:

GENERAL NOTES - ROOF PLANS

1. PROVIDE NEW GAF TABBED OR SHINGLED ROOF SYSTEM AT ALL SLOPED ROOFS, OR APPROVED EQUAL, UNLESS OTHERWISE NOTED. COLOR TO BE SELECTED BY ARCHITECT AND/OR OWNER FROM MANUFACTURER'S COLOR CHART.
2. PROVIDE SEMI-METAL ROOFING SYSTEM AT LOCATIONS INDICATED IN DRAWINGS. IF PANEL WITH, PROVIDE SPLIT SHEET BETWEEN METAL ROOFING AND SEMI-METAL ROOFING.
3. PROVIDE FULL ICE & WATER SHELL UNDERLYMENT OVER ENTIRE ROOF SURFACE.
4. PROVIDE 12" SHELL LAP OVER FASCIA BOARD 1" MINIMUM TO HELP PREVENT ICE DAMMING.
5. ICE & WATER SHELL SHALL EXTER UP ADJACENT VERTICAL WALLS 12" MINIMUM.
6. PROVIDE STANDARD 0.26 GAUGE 1" METAL DRIP EDGE AND STEP FLASHING. EAVES MAY REQUIRE 1" DRIP EDGES WITH EXTENDED FLASHING TO PREVENT WATER SHELDING.
7. GUTTERS TO BE ALUMINUM .6" HALF-ROUND STYLE, BLACK.
8. DOWNSPOUTS SHALL BE 1" DIA. PVC, SMOOTH BLACK.
9. GUTTERS AND DOWNSPOUTS SHALL BE SECURED TO THE ROOF. THEY SHALL BE INSTALLED AT THE REAR FACING SLOPES.
10. DOWNSPOUTS SHALL BE SECURED TO THE GUTTER. THEY SHALL BE INSTALLED IN THE SLOPED ROOF SURFACES, SEE FIGURE C-10A AND C-10B FOR ELEVATIONS FOR SIDEWALL EXHAUST LOCATIONS.



Architect:
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Consultant:

Name: **NEW RESIDENCE AT
202 CEDAR ST FOR
BLUE CEDAR
PROPERTY GROUP**

<p>Project Name: NE 21 P</p> <p>Client: Blue Cedar Property Group</p> <p>Address: 202 Cedar St, Wellesley, MA 02481</p> <p>Sheet Name: PROPOSED FLOOR PLANS</p>	
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Revision:

Issue Date:
JANUARY 14, 2026

Project No: 25022

Scale: 1/4" = 1'-0"

Sheet Number:

A1.04

AT.04

A1.04



Architect:
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Project Name:
NEW RESIDENCE AT
202 CEDAR ST FOR
BLUE CEDAR
PROPERTY GROUP

Client: Blue Cedar Property Group
Location: 202 Cedar St, Wellesley, MA 02481
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EXTERIOR ELEVATIONS

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Revision:

Issue Date:
JANUARY 14, 2026

Project No.: 25022

Scale: 1/4" = 1'-0"

Sheet Number:

A4.01



NOTES

1. VERTICAL DATUM IS TOWN OF WELLESLEY SEWER DATUM AS REFERENCED BY PLAN ENTITLED "SEWER SYSTEM IMPROVEMENTS CEDAR STREET" PROJECT NO. BFM-50-315.
2. READING LAND SURVEYORS, LLC DOES NOT WARRANT THE LOCATION OF THE UNDERGROUND SERVICES, WATER, SEWER, GAS, TELEPHONE, ELECTRIC, CABLE, AND UTILITIES PRESENT ARE SHOWN.
3. DISGSAFE SHALL BE CALLED PRIOR TO ANY EXCAVATIONS.
4. ACCORDING TO FLOOD INSURANCE RATE MAP NO. 25021C036F WITH AN EFFECTIVE DATE OF 7/8/2012 THE PROPERTY IS NOT LOCATED IN AN ESTABLISHED 100-YEAR FLOOD HAZARD ZONE.

OWNER OF RECORD
202 CEDAR LLC

DEED REFERENCE
NORFOLK COUNTY
DEED BOOK 42829 PAGE 253

PLAN REFERENCE
LOT 5 & 5A PLAN 956 OF 195

TOWN OF WELLESLEY
ASSESSORS MAP 11 PARCEL 13

ZONE: SR-15 SINGLE RESIDENCE

REQUIR

LOT AREA: 15,000
FRONTAGE: 60'
FRONT YARD SETBACK: 30'
SIDE YARD SETBACK: 20'
REAR YARD SETBACK: 15'
BUILDING COVERAGE: GREATER OF 18% OR 4,000 S.F. = 4,179 S.F.
BUILDING HEIGHT: 36'

EXIST

LOT AREA: 23,221 S.F.
FRONTAGE: 120.00'
FRONT YARD SETBACK: 2.4'
SIDE YARD SETBACK: 57.2'
REAR YARD SETBACK: 144.1'
BUILDING COVERAGE: 1,196 S.F. = 5.1%
BUILDING HEIGHT: 26.3'



A horizontal scale with numerical markings at 20, 10, 0, 20, 40, and 60. There are two dashed horizontal lines: one at the 20 mark and another at the 40 mark. The scale is marked with vertical tick marks at each 10-unit interval.

202 CEDAR STREET
ASSESSORS MAP 11 PARCEL 13
WELLESLEY, MA
PREPARED FOR
BLUE CEDAR PROPERTY GROUP, LLC
559 NORTH AVENUE
WELLESLEY, MA

READING LAND SURVEYORS, LLC
PROFESSIONAL LAND SURVEYOR #39049

63 CENTRAL STREET UNIT 111
NORTH READING, MA 01864
(781) 844-7108

SCALE: 1" = 20' DATE: DECEMBER 15, 2025

NOTES

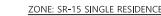
1. VERTICAL DATUM IS TOWN OF WELLESLEY SEWER DATUM AS REFERENCED BY PLAN ENTITLED "SEWER SYSTEM IMPROVEMENTS CEDAR STREET" PROJECT NO. BMF-50-315.
2. READING LAND SURVEYORS, LLC DOES NOT WARRANT THE LOCATION OF THE UNDERGROUND UTILITIES SHOWN ON THIS PLAN OR THAT ALL UNDERGROUND UTILITIES PRESENT ARE SHOWN.
3. DIGSAFE SHALL BE CALLED PRIOR TO ANY EXCAVATIONS.
4. ACCORDING TO FLOOD INSURANCE RATE MAP NO. 25021C0036F WITH AN EFFECTIVE DATE OF 7/8/25 THE PROPERTY IS NOT LOCATED IN AN ESTABLISHED 100-YEAR FLOOD HAZARD ZONE.

OWNER OF RECORD
202 CEDAR LLC

DEED REFERENCE
NORFOLK COUNTY
DEED BOOK 42829 PAGE 253

PLAN REFERENCE
LOT 5 & 5A PLAN 717 OF 1951

TOWN OF WELLESLEY
ASSESSORS MAP 11 PARCEL 13



REQUIRED
LOT AREA: 15,000
FRONTAGE: 60'
FRONT YARD SETBACK: 30'
SIDE YARD SETBACK: 20'
REAR YARD SETBACK: 15'
BUILDING COVERAGE: GREATER OF 18% OR 4,000 S.F. = 4,179 S.F.
BUILDING HEIGHT: 36'

EXISTING
LOT AREA: 23,221 S.F.
FRONTAGE: 120.0'
FRONT YARD SETBACK: 2.4'
SIDE YARD SETBACK: 57.2'
REAR YARD SETBACK: 144.1'
BUILDING COVERAGE: 1,196 S.F. = 5.1%
BUILDING HEIGHT: 26.3'

PROPOSED
LOT AREA: 23,221 S.F.
FRONTAGE: 120.0'
FRONT YARD SETBACK: 30.3'
SIDE YARD SETBACK: 20.2'
REAR YARD SETBACK: 87.8'
BUILDING COVERAGE: 2,572 S.F. = 11%
BUILDING HEIGHT: 33.5'
AVERAGE GRADE: 152.75'

PROPOSED BUILDING ELEVATIONS	
ROOF RIDGE:	186'-3" (186.25')
1ST FLOOR FINISH:	158'-2 3/4" (158.23')
TOP OF CONCRETE:	156'-8 1/4" (156.69')
GARAGE DOOR:	156'-1" (156.08')
AVERAGE GRADE:	152'-9" (152.75')
BASEMENT SLAB:	148'-0 1/4" (148.02')
BOTTOM OF FOOTING:	148'-3 1/4" (148.69')



PROPOSED HISTORIC COMMISSION PLAN

202 CEDAR STREET
ASSESSORS MAP 11 PARCEL 13
WELLESLEY, MA
PREPARED FOR
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559 NORTH AVENUE

READING LAND SURVEYORS, LLC
PROFESSIONAL LAND SURVEYOR #39049

63 CENTRAL STREET UNIT 111
NORTH READING, MA 01864
(781) 844-7108

SCALE: 1" = 20' DATE: JANUARY 13, 2025