

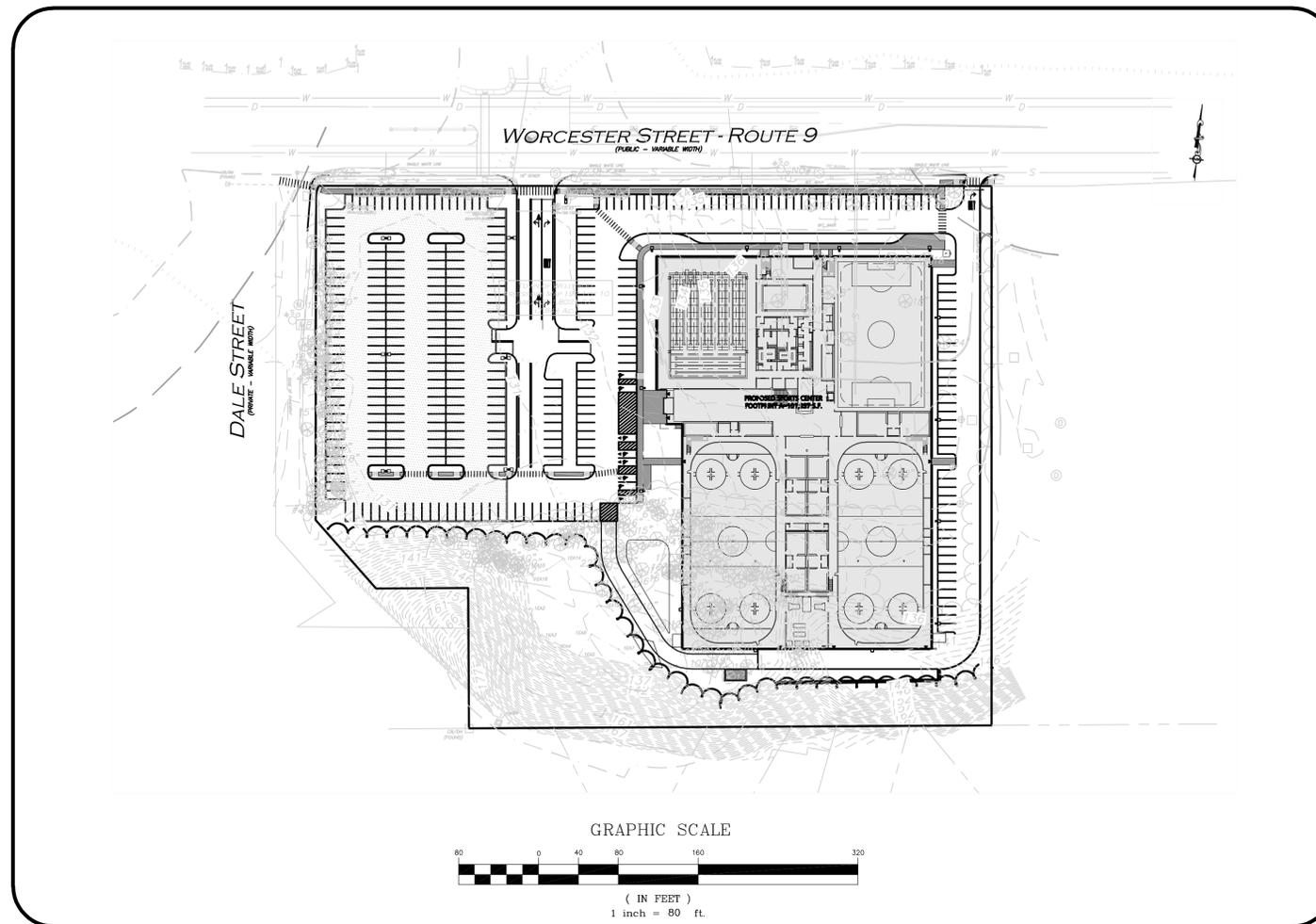
SITE DEVELOPMENT PLANS FOR WELLESLEY SPORTS CENTER 900 WORCESTER STREET WELLESLEY, MA

OWNER/APPLICANT:
WELLESLEY SPORTS CENTER, LLC
41 NORTH ROAD, SUITE 100A
BEDFORD, MA 01730

SITE ENGINEERS/LAND SURVEYOR:
ALLEN & MAJOR ASSOCIATES, INC.
10 MAIN STREET
LAKEVILLE, MA 02347

TRAFFIC ENGINEER:
MDM TRANSPORTATION CONSULTANTS, INC.
28 LORD ROAD, SUITE 280
MARLBOROUGH, MA 01752

ARCHITECT:
PDA
16 HURON DRIVE
NATICK, MA 01760



LIST OF DRAWINGS		
DRAWING TITLE	SHEET NO.	ISSUED
EXISTING CONDITIONS		2-01-2013
ABBREVIATIONS & NOTES	ABB-1 & ABB-2	7-31-2017
EROSION CONTROL PLAN	C-0	7-31-2017
LAYOUT AND MATERIALS	C-1	7-31-2017
GRADING AND DRAINAGE	C-2	7-31-2017
UTILITIES	C-3	7-31-2017
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VEHICLE MOVEMENT PLAN	C-8	7-31-2017
DETAILS	D-1 - D-5	7-31-2017
FLOOR PLAN	SD-2	-
MEZZANINE PLAN	SD-3	-
ELEVATIONS	SD-4	-



LOCUS MAP
1"=500'

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil & structural engineering • land surveying
environmental consulting • landscape architecture
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WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

ISSUED FOR SITE PLAN/SPECIAL PERMIT
JULY 31, 2017

GENERAL NOTES:

- ZONING DISTRICT IS SINGLE FAMILY RESIDENCE (SR-10) / COMMERCIAL RECREATION OVERLAY DISTRICT.
- OVERALL LOT SIZE: 7.8 ACRES
- THIS PROJECT WILL BE SERVED BY PUBLIC WATER AND SEWER, NATURAL GAS, TELEPHONE, CABLE AND ELECTRIC. ALL UTILITY LINES WILL BE INSTALLED UNDERGROUND UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS AT NO ADDITIONAL COST.
- ALL MAIN BUILDING ENTRANCES AND WALKS SHALL BE HANDICAP ACCESSIBLE PER FEDERAL ADA & MA AAB REGULATIONS.
- ALL SITE WORK DONE FOR THIS PROJECT SHALL BE IN ACCORDANCE WITH THE SITE PLANS AND SITE WORK SPECIFICATIONS FOR CONSTRUCTION.
- ANY DAMAGE TO PRIVATE OR PUBLIC PROPERTIES DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPAIRED AND RESTORED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
- ALL PROPERTY MARKERS AND STREET LINE MONUMENTS SHALL BE PROPERLY PROTECTED DURING CONSTRUCTION. ANY DAMAGE TO THESE ITEMS SHALL BE REPAIRED AND RESTORED BY A SURVEYOR REGISTERED IN THE STATE OF MASSACHUSETTS AT THE CONTRACTOR'S EXPENSE.
- ALL DISTURBED AREAS SHALL BE MAINTAINED IN ACCORDANCE WITH THE EROSION CONTROL PLAN, MA DEP, AND THE REQUIREMENTS OF THE TOWN OF WELLESLEY.
- ALL APPLICABLE PERMITS AND AN APPROVED SET OF PLANS SHALL BE AVAILABLE AT THE CONSTRUCTION SITE.
- THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING A PRECONSTRUCTION MEETING WITH THE APPROPRIATE TOWN DEPARTMENTS, THE APPROPRIATE UTILITY COMPANIES, THE OWNER AND OWNER'S REPRESENTATIVE. THE MEETING SHALL TAKE PLACE PRIOR TO THE START OF CONSTRUCTION AND THE CONTRACTOR MUST PROVIDE 48 HOURS NOTICE TO ALL ATTENDEES PRIOR TO THE START OF THE MEETING.
- APPROPRIATE WARNING SIGNS, MARKERS, BARRICADES AND/OR FLAG MEN SHALL BE PROVIDED TO REGULATE TRAFFIC. CONSTRUCTION TRAFFIC CONTROLS SHALL BE IMPLEMENTED AND OPERATED ACCORDING TO THE MASS DEPARTMENT OF TRANSPORTATION, THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE LOCAL AUTHORITY.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ADDITIONAL BENCHMARK INFORMATION IF REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING BENCHMARKS. IF IT IS NECESSARY TO RELOCATE A BENCHMARK, IT SHALL BE RELOCATED BY A MASSACHUSETTS PROFESSIONAL LAND SURVEYOR AND DONE SO AT THE CONTRACTOR'S EXPENSE.
- ALL PERMITS AND APPROVALS NECESSARY FROM AGENCIES GOVERNING THE WORK SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF WORK.
- ALL BUILDING DIMENSIONS ARE MEASURED TO THE OUTSIDE FACE OF THE BUILDING.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF ANY SITE WORK OR EARTHWORK OPERATIONS, SHALL BE MAINTAINED DURING CONSTRUCTION, AND SHALL REMAIN IN PLACE UNTIL ALL SITE WORK IS COMPLETE AND GROUND COVER IS ESTABLISHED. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY PER ON-SITE INSPECTIONS OF THE OWNER, THEIR REPRESENTATIVES, OR REGULATORY AGENCIES HAVING JURISDICTION AT NO ADDITIONAL COST TO THE OWNER.
- CONSTRUCTION DURING WET WEATHER OR WINTER CONDITIONS IS TO BE ANTICIPATED AND PROVISIONS TO ADEQUATELY ADDRESS THESE CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT NO ADDITIONAL COST.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ANY PERMITS AND/OR CONNECTION FEES REQUIRED TO CARRY OUT THE WORK INCLUDING BUT NOT LIMITED TO DEMOLITION.
- DISPOSAL OF ALL DEMOLISHED MATERIALS INCLUDING EXISTING MISC. CONSTRUCTION DEBRIS FILL IS THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL MUNICIPAL REQUIREMENTS AT NO ADDITIONAL COST.
- ALL DISTURBED AREAS NOT NOTED TO RECEIVE OTHER TREATMENT ARE TO RECEIVE SIX INCHES (6") MINIMUM OF TOPSOIL & SEED, AND BE MAINTAINED UNTIL ESTABLISHED & ACCEPTED.
- EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH THE TOWN OF WELLESLEY GOVERNING AUTHORITY'S SPECIFICATIONS AND SHALL BE APPROVED BY SUCH.
- THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AND DISCONNECTION AT EXISTING UTILITY.
- ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR AT GROUND BREAK.
- EXISTING AND PROPOSED GAS SERVICE LOCATIONS ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL CONFIRM WITH THE GAS COMPANY THAT THE GAS LINE INSTALLATION & DISCONNECTION SHALL BE BY THE LOCAL GAS COMPANY. THE CONTRACTOR SHALL GIVE THE GAS COMPANY ADVANCE NOTICE OF WHEN THE GAS LINE CAN BE INSTALLED.
- EXISTING & PROPOSED ELECTRIC AND COMMUNICATIONS (TELEPHONE AND CABLE) SYSTEMS LOCATIONS ARE APPROXIMATE ONLY AND SHALL BE COORDINATED AND SCHEDULED WITH THE APPROPRIATE UTILITY COMPANY SERVICING THE PROJECT SITE.
- CONTRACTOR IS RESPONSIBLE FOR DIGGING TEST HOLES AND VERIFYING ANY EXISTING UTILITY OR STRUCTURE PRIOR TO CONSTRUCTION. CONTRACTOR SHALL VERIFY THAT BASED ON EXACT LOCATION OF EXISTING UTILITIES, THERE ARE NO CONFLICTS BETWEEN THEM AND THE PROPOSED UTILITIES.
- THE CONTRACTOR SHALL ADHERE TO ALL PERMIT CONDITIONS PROVIDED BY ALL GOVERNING AGENCIES AT NO ADDITIONAL COSTS. THIS INCLUDES BUT IS NOT LIMITED TO BUILDING PERMITS, DEMOLITION PERMITS, PLUMBING, GAS, AND ELECTRICAL PERMITS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROPERLY DISPOSE OF AND ABATE ALL BUILDING MATERIALS OR HAZARDOUS BUILDING MATERIALS ONSITE IN ACCORDANCE WITH ALL STATE, FEDERAL, AND LOCAL LAWS AND REGULATIONS AT NO ADDITIONAL COST TO THE OWNER.
- DURING EXCAVATION, ANY EXISTING EARTH CUT MATERIALS THAT DOES NOT MEET THE ORDINARY FILL SPECIFICATIONS OR LOAM SPECIFICATIONS AND CANNOT BE REUSED SHALL BE REMOVED OFFSITE BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNERS. MATERIAL WHICH DOES NOT MEET THE SPECIFICATION INCLUDES ALL BOULDERS, ROCKS, CONSTRUCTION DEBRIS, AND MISC. MATERIAL. PRIOR TO REUSE, CONTRACTOR TO PROVIDE TESTING REPORT OF SIEVE ANALYSIS TO ENGINEER FOR APPROVAL. CONTRACTOR CAN AMEND MATERIALS AND CONTINUE TO RETEST AS NECESSARY AT NO ADDITIONAL COST TO OWNER. AFTER AMENDING IF MATERIAL STILL DOES NOT MEET THE SPECIFICATIONS IT IS TO BE REMOVED FROM SITE AT NO ADDITIONAL COST TO THE OWNER AND IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS.

UTILITY NOTES:

- THE LATEST STANDARDS OF THE TOWN OF WELLESLEY SHALL BE FOLLOWED WHEN INSTALLING ANY SANITARY SEWER AND STORM DRAIN WORK. BOTH SEWER AND STORM DRAIN WORK WILL BE INSPECTED BY TOWN OF WELLESLEY PERSONNEL AND ALL COSTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE LATEST STANDARDS OF THE TOWN OF WELLESLEY SHALL BE FOLLOWED WHEN INSTALLING ANY WATER LINE WORK. WATER LINE WORK WILL BE INSPECTED BY TOWN OF WELLESLEY PERSONNEL AND ALL COSTS SHALL INCLUDE PRESSURE TESTING, DISINFECTING, AND FLUSHING OF LINES. INSPECTION COSTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION AND REMOVAL OF ALL NECESSARY DISINFECTING AND FLUSHING TAPS AS DIRECTED BY THE TOWN.
- THE CONTRACTOR SHALL REFER TO ARCHITECTS & PLUMBING PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL ROOF DRAIN LATERALS AND UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRIC, TELEPHONE, AND NATURAL GAS SERVICE. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND COORDINATE WITH THE PROPER AGENCY THE LOCATION AND SCHEDULING OF CONNECTIONS WITH THEIR FACILITIES.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION.
- ABANDONED EXISTING UTILITIES AND UTILITIES TO BE ABANDONED SHALL EITHER BE ABANDONED IN PLACE AS NOTED OR SHALL BE REMOVED AND DISPOSED OF AS SPECIFIED. ANY UTILITIES 4" OR LARGER TO BE REMOVED. ALL UTILITIES SCHEDULED FOR ABANDONMENT OR REMOVAL AND DISPOSAL MUST BE COORDINATED BY THE CONTRACTOR WITH THE RESPECTIVE UTILITY OWNER. WHEN ABANDONED UTILITIES ARE TO BE LEFT IN PLACE, PLUG OR CAP THE ENDS OF THE CONDUITS AND PIPES. REMOVE ABANDONED UTILITY MANHOLES, JUNCTION BOXES AND SIMILAR STRUCTURES TO A MINIMUM DEPTH OF 4 FEET BELOW FINISHED GRADE AND PUNCTURE OR BREAK THE BOTTOM SLABS OF MANHOLES AND SIMILAR STRUCTURE TO ALLOW DRAINAGE. BACKFILL AND COMPACT EXCAVATIONS RESULTING FROM REMOVAL OF UTILITY FACILITIES, AS REQUIRED TO RESTORE THE ORIGINAL GRADE.
- THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENTS OF NATURAL GAS, ELECTRIC, TELEPHONE AND ANY OTHER UTILITY BY THE UTILITY OWNER.
- THE CONTRACTOR SHALL USE THE FOLLOWING PIPE MATERIALS:
 - SEWER - PVC (POLYVINYL CHLORIDE), SDR 35
 - DRAIN - HDPE (HIGH DENSITY CORRUGATED POLYETHYLENE PIPE WITH SMOOTH INNER WALL), ASTM D2321 (UNLESS OTHERWISE SPECIFIED ON PLAN)
 - WATER - C.L.D.I.
- BEFORE WORK BEGINS ON THE SEWER OR STORM DRAIN, THE CONTRACTOR WILL COORDINATE WITH THE TOWN OF WELLESLEY THE APPROPRIATE PERMIT FEE AND INSPECTION FEE.
- ALL UTILITY CONNECTIONS THROUGH THE BUILDING WALL SHALL BE BY MEANS OF FLEXIBLE JOINTS.
- A MINIMUM OF 10 FEET CLEAR HORIZONTALLY SHALL BE MAINTAINED BETWEEN WATER MAINS AND SANITARY SEWER MAINS. WHENEVER CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET TO A WATER MAIN, THE WATER MAIN SHALL BE LAID IN A SEPARATE TRENCH AND THE DIFFERENCE IN ELEVATION BETWEEN THE WATER MAIN AND THE SEWER MAIN SHALL BE AT LEAST 18 INCHES.
- ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
- CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITY'S INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
- MINIMUM TRENCH WIDTH SHALL BE 2 FEET.
- ALL WATER JOINTS ARE TO BE MECHANICAL JOINTS WITH THRUST BLOCKING.
- CONTRACTOR SHALL MAINTAIN A MINIMUM OF 5'-0" COVER ON ALL WATERLINES AND A MAXIMUM OF 8'-0" COVER.
- IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATERLINES, SANITARY LINES, STORM LINES AND GAS LINES (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF CROSSING, THE WATERLINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE THRUST BLOCKING AS REQUIRED TO PROVIDE A MINIMUM OF 18" CLEARANCE BETWEEN THE PIPES. WHERE THE WATERLINE IS LESS THAN THE 18" VERTICAL CLEARANCE AND MEETING 10' HORIZONTAL CLEARANCE CANNOT BE MET, THE WATER MUST BE ENCASED IN CONCRETE TO MEET THE REQUIREMENTS OF ANSI A21.10 OR ANSI 21.11 (AWWA C-151) (CLASS 50).
- ALL CONCRETE FOR ENCASEMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH OF 3000 P.S.I.
- DRAWINGS DO NOT NECESSARILY SHOW ALL EXISTING UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH THE SPECIFICATIONS OF THE LOCAL AUTHORITIES WITH REGARDS TO MATERIALS AND INSTALLATION OF THE WATER, SEWER, GAS AND ELECTRICAL AND TELECOMMUNICATIONS LINES.
- ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE.
- DOMESTIC WATER SERVICES SHALL BE INSTALLED WITH APPROPRIATELY SIZED GATE, BOX, AND TEE FITTINGS.
- ALL WATER MAIN APPURTENANCES, MATERIALS, METHODS OF INSTALLATION AND TESTING REQUIREMENTS SHALL MEET OR EXCEED THE TOWN OF WELLESLEY REQUIREMENTS.
- PRESSURE AND LEAKAGE TEST, DISINFECTION AND FLUSHING SHALL BE IN ACCORDANCE WITH ALL LOCAL AND MUNICIPAL STANDARDS AND REQUIREMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS IN CONNECTION WITH THE UTILITY TESTS, FLUSHING AND INSPECTIONS AS REQUIRED BY THE LOCAL MUNICIPALITY.
- ALL BEDDING MATERIAL SHALL BE AS SPECIFIED ON THE DRAWINGS. IF LOCAL OR STATE AUTHORITIES REQUIRE DIFFERENT BEDDING OR BACKFILL MATERIAL, THEN THE MORE STRINGENT SHALL APPLY.

GRADING & DRAINAGE NOTES:

- EXISTING PAVEMENT SHALL BE SAW-CUT AND PAVEMENT JOINT SHALL BE INSTALLED WHERE NECESSARY TO ENSURE A SMOOTH CONTINUOUS GRADE.
- THE ARCHITECTURAL PLANS SHALL BE REFERRED TO IN ORDER TO DETERMINE THE EXACT LOCATIONS OF VESTIBULE, SLOPED PAVING, EXIT PORCHES, HANDICAPPED RAMPS, TRUCK DOCKS, DUMPSTER PADS, ROOF DRAIN LATERALS AND PRECISE BUILDING DIMENSIONS.
- ALL GRADING OPERATIONS SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANIES.
- IN LANDSCAPED AREAS THE TOP ELEVATION OF MANHOLES SHALL BE FLUSH WITH FINISH GRADE OF THE LOAM. IN PAVED AREAS THE TOP ELEVATIONS OF MANHOLES SHALL MATCH FINISH GRADE.
- ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE STABILIZED AS SOON AS POSSIBLE UPON COMPLETION OF CONSTRUCTION WORK IN THE AREA. REFER TO EROSION CONTROL PLAN.
- TEMPORARY STRAW WATTLE PROTECTION AND/OR SILT SACK SHALL BE INSTALLED AND MAINTAINED AT EXISTING DRAINAGE STRUCTURES DURING CONSTRUCTION, TO PRECLUDE SEDIMENT LADEN RUNOFF FROM ENTERING THE DRAINAGE SYSTEM.
- 5 FOOT DIAMETER OR LARGER DRAIN MANHOLES AND CATCH BASINS MAY BE NECESSARY DURING STORM DRAINAGE INSTALLATION.
- CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE.
- ALL CATCH BASINS, MANHOLES, INFILTRATION SYSTEM, AND WATER QUALITY STRUCTURES TO BE CLEANED OUT PRIOR TO FINAL APPROVAL TO REMOVE ALL CONSTRUCTION SILT AND DEBRIS.
- IF ANY EXISTING UTILITY STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER AT NO ADDITIONAL COST.
- ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
- ALL STORM DRAIN MANHOLES SHALL HAVE TRAFFIC BEARING RING & COVERS & SHALL BE LABELED "DRAIN".
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE SIX INCHES (6") OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH LANDSCAPE & CIVIL SPECIFICATIONS & DRAWINGS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- ALL DRAINAGE SHALL CONFORM TO LOCAL REQUIREMENTS.

**ISSUED FOR
SITE PLAN/SPECIAL PERMIT
REVIEW
JULY 31, 2017**



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT/OWNER:
WELLESLEY SPORTS CENTER, LLC
 41 NORTH ROAD, SUITE 203
 BEDFORD, MA 01730

PROJECT:
WELLESLEY SPORTS CENTER
 900 WORCESTER STREET
 WELLESLEY, MA

PROJECT NO. **2329-01** DATE: **07-31-17**

SCALE: **NOT TO SCALE** DWG. NAME: **C2329-01**

DESIGNED BY: **SMW** CHECKED BY: **PLC**

PREPARED BY:



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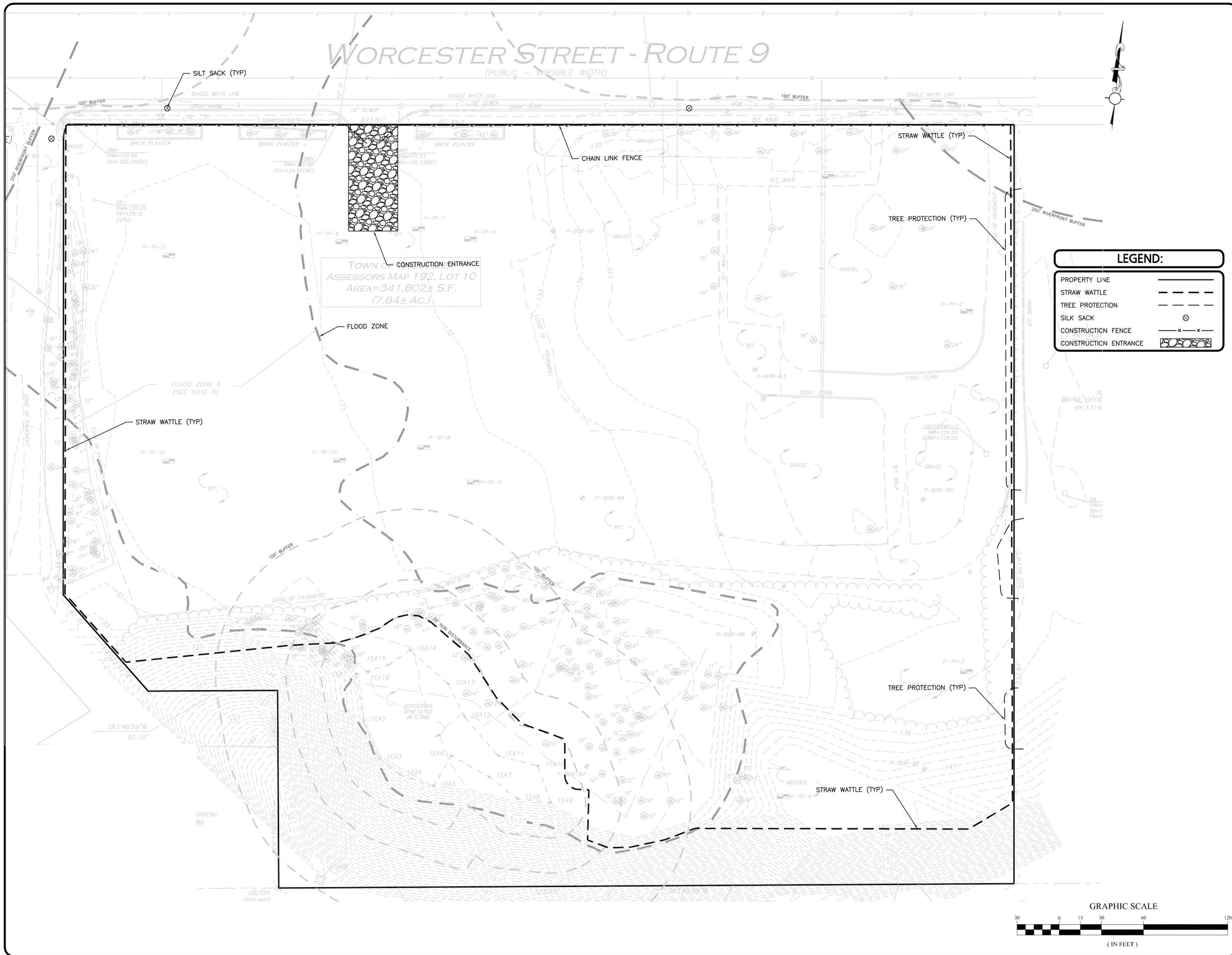
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DRAWING TITLE: SHEET No.

NOTES AND ABBREVIATIONS **ABB-1**

WORCESTER STREET - ROUTE 9

(PUBLIC - VARIABLE WIDTH)



TOWN OF
ASSESSORS MAP 192, LOT 10
AREA=341,802± S.F.
(7.84± AC.)

LEGEND:

- PROPERTY LINE ————
- STRAW WATTLE - - - - -
- TREE PROTECTION ⊗
- SILT SACK ⊗
- CONSTRUCTION FENCE — x —
- CONSTRUCTION ENTRANCE [Hatched Box]

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ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT/OWNER:
WELLESLEY SPORTS CENTER, LLC
41 NORTH ROAD, SUITE 203
BEDFORD, MA 01730

PROJECT:
WELLESLEY SPORTS CENTER
900 WORCESTER STREET
WELLESLEY, MA

PROJECT NO. 2329-01 DATE: 07-31-17
SCALE: 1"=30' DWG. NAME: C2329-01
DESIGNED BY: PGM CHECKED BY: PLC

PREPARED BY:

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civil & structural engineering • land surveying
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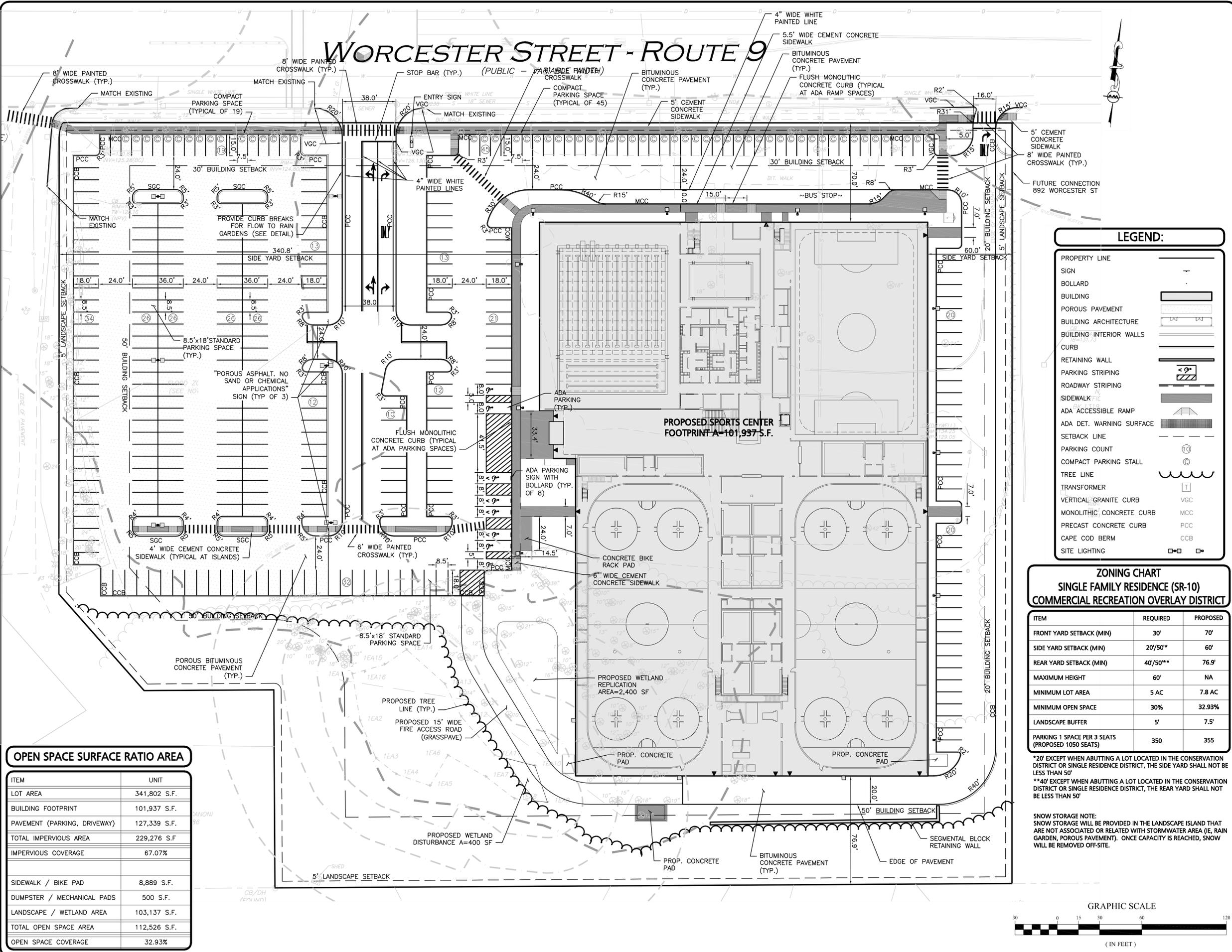
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DRAWING TITLE: **EROSION CONTROL PLAN** SHEET No. **C-0**



WORCESTER STREET - ROUTE 9



LEGEND:

- PROPERTY LINE
- SIGN
- BOLLARD
- BUILDING
- POROUS PAVEMENT
- BUILDING ARCHITECTURE
- BUILDING INTERIOR WALLS
- CURB
- RETAINING WALL
- PARKING STRIPING
- ROADWAY STRIPING
- SIDEWALK
- ADA ACCESSIBLE RAMP
- ADA DET. WARNING SURFACE
- SETBACK LINE
- PARKING COUNT
- COMPACT PARKING STALL
- TREE LINE
- TRANSFORMER
- VERTICAL GRANITE CURB
- MONOLITHIC CONCRETE CURB
- PRECAST CONCRETE CURB
- CAPE COD BERM
- SITE LIGHTING

ZONING CHART

SINGLE FAMILY RESIDENCE (SR-10)
COMMERCIAL RECREATION OVERLAY DISTRICT

ITEM	REQUIRED	PROPOSED
FRONT YARD SETBACK (MIN)	30'	70'
SIDE YARD SETBACK (MIN)	20'/50*	60'
REAR YARD SETBACK (MIN)	40'/50**	76.9'
MAXIMUM HEIGHT	60'	NA
MINIMUM LOT AREA	5 AC	7.8 AC
MINIMUM OPEN SPACE	30%	32.93%
LANDSCAPE BUFFER	5'	7.5'
PARKING 1 SPACE PER 3 SEATS (PROPOSED 1050 SEATS)	350	355

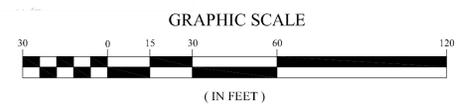
*20' EXCEPT WHEN ABUTTING A LOT LOCATED IN THE CONSERVATION DISTRICT OR SINGLE RESIDENCE DISTRICT, THE SIDE YARD SHALL NOT BE LESS THAN 50'

**40' EXCEPT WHEN ABUTTING A LOT LOCATED IN THE CONSERVATION DISTRICT OR SINGLE RESIDENCE DISTRICT, THE REAR YARD SHALL NOT BE LESS THAN 50'

SNOW STORAGE NOTE:
SNOW STORAGE WILL BE PROVIDED IN THE LANDSCAPE ISLAND THAT ARE NOT ASSOCIATED OR RELATED WITH STORMWATER AREA (IE, RAIN GARDEN, POROUS PAVEMENT). ONCE CAPACITY IS REACHED, SNOW WILL BE REMOVED OFF-SITE.

OPEN SPACE SURFACE RATIO AREA

ITEM	UNIT
LOT AREA	341,802 S.F.
BUILDING FOOTPRINT	101,937 S.F.
PAVEMENT (PARKING, DRIVEWAY)	127,339 S.F.
TOTAL IMPERVIOUS AREA	229,276 S.F.
IMPERVIOUS COVERAGE	67.07%
SIDEWALK / BIKE PAD	8,889 S.F.
DUMPSTER / MECHANICAL PADS	500 S.F.
LANDSCAPE / WETLAND AREA	103,137 S.F.
TOTAL OPEN SPACE AREA	112,526 S.F.
OPEN SPACE COVERAGE	32.93%



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APPLICANT/OWNER:
WELLESLEY SPORTS CENTER, LLC
41 NORTH ROAD, SUITE 203
BEDFORD, MA 01730

PROJECT:
WELLESLEY SPORTS CENTER
900 WORCESTER STREET
WELLESLEY, MA

PROJECT NO. 2329-01 DATE: 07-31-17
SCALE: 1"=30' DWG. NAME: C2329-01
DESIGNED BY: PGM CHECKED BY: PLC

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil & structural engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com

10 MAIN STREET
LAKEVILLE, MA 02347-1674
TEL: (608) 923-1010
FAX: (608) 923-6309

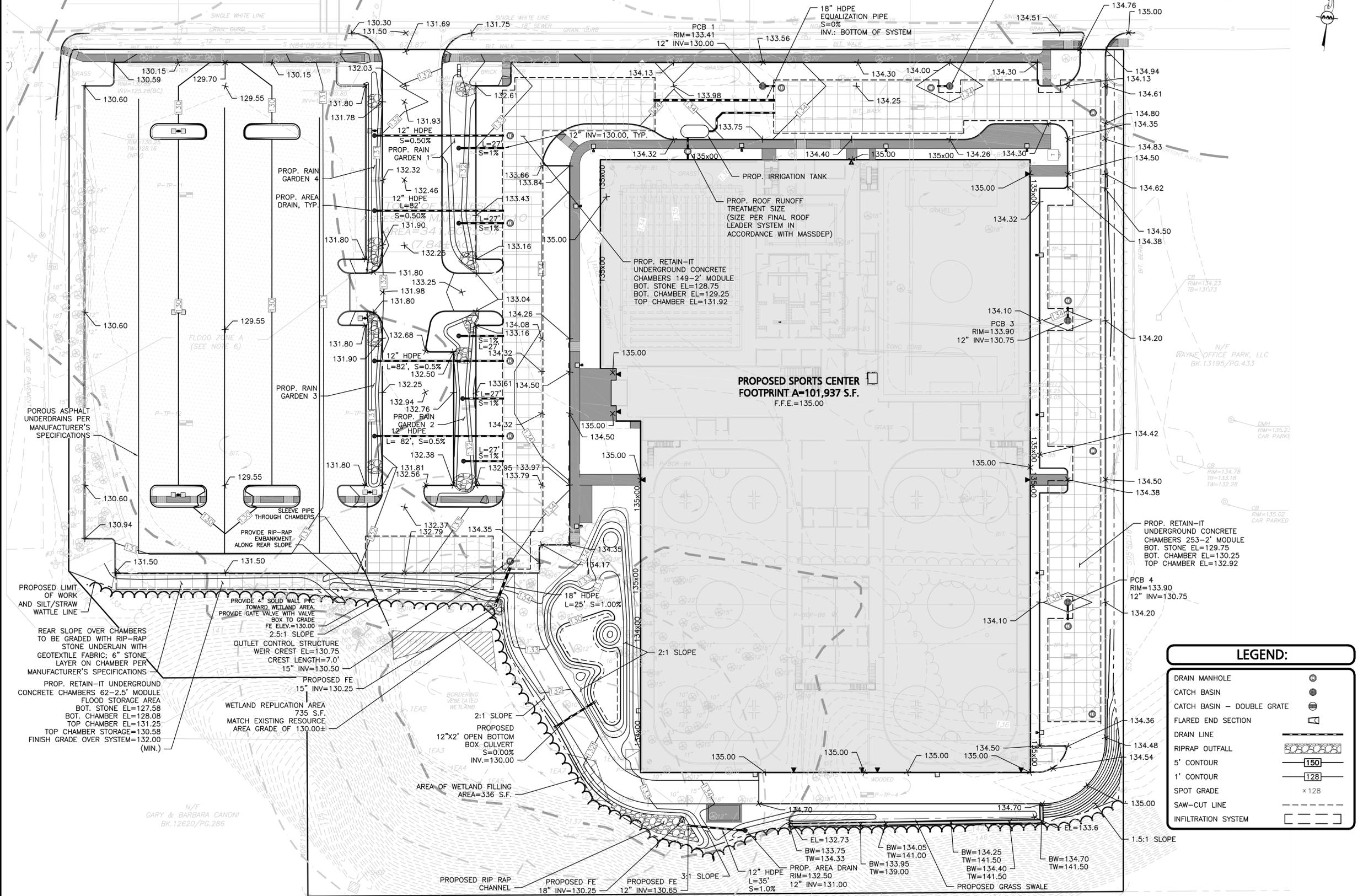
WORURN, MA • LAKEVILLE, MA • MANCHESTER, NH

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DRAWING TITLE: LAYOUT & MATERIALS PLAN SHEET No. C-1

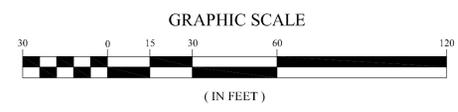
WORCESTER STREET - ROUTE 9

(PUBLIC - VARIABLE WIDTH)



LEGEND:

- DRAIN MANHOLE
- CATCH BASIN
- CATCH BASIN - DOUBLE GRATE
- FLARED END SECTION
- DRAIN LINE
- RIPRAP OFFFALL
- 5' CONTOUR
- 1' CONTOUR
- SPOT GRADE
- SAW-CUT LINE
- INFILTRATION SYSTEM



**ISSUED FOR
SITE PLAN/SPECIAL PERMIT
REVIEW
JULY 31, 2017**



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT/OWNER:
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41 NORTH ROAD, SUITE 203
BEDFORD, MA 01730

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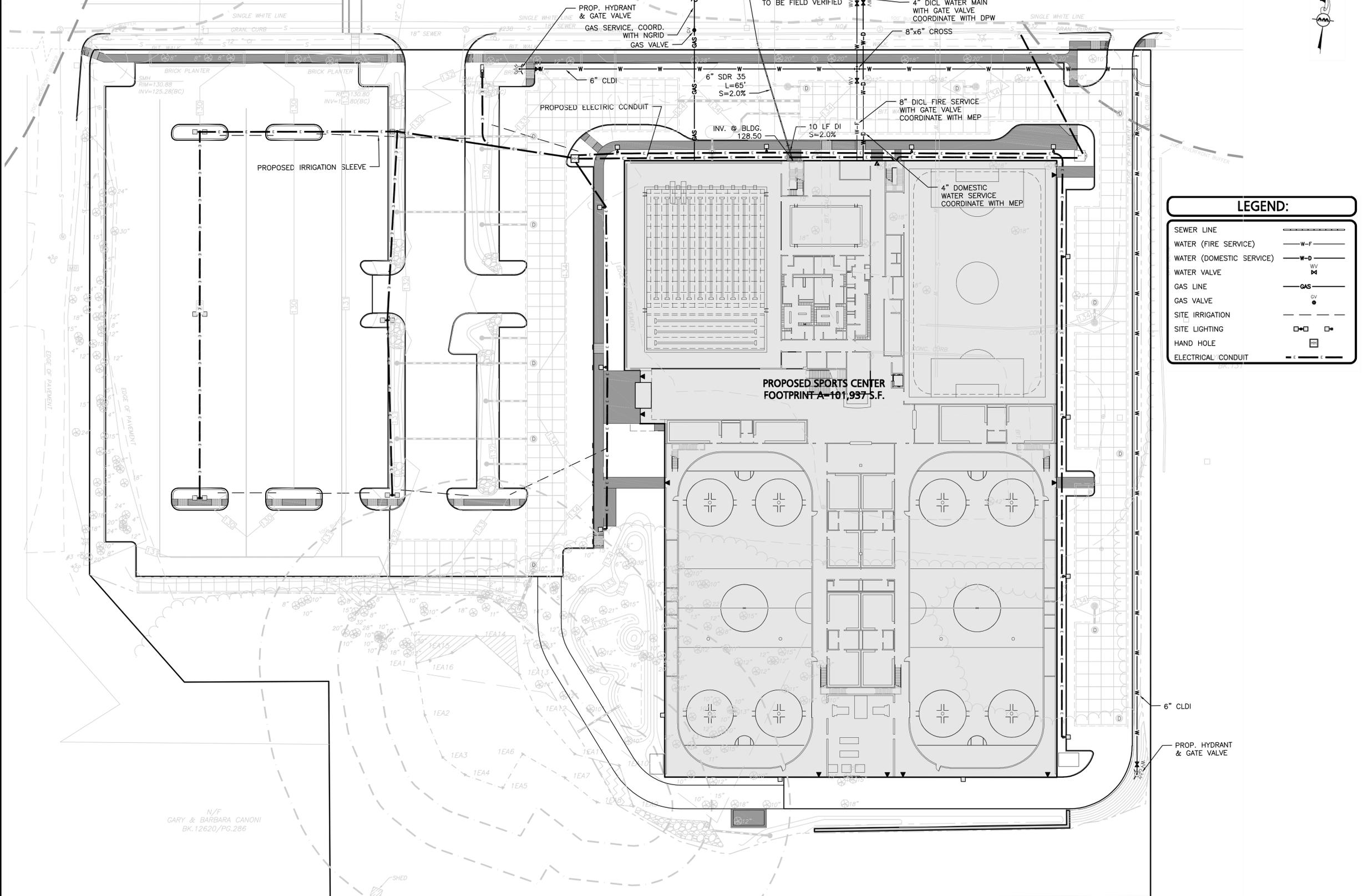
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DRAWING TITLE: **GRADING & DRAINAGE PLAN** SHEET No. **C-2**

WORCESTER STREET - ROUTE 9

(PUBLIC - VARIABLE WIDTH)



LEGEND:

- SEWER LINE
- WATER (FIRE SERVICE)
- WATER (DOMESTIC SERVICE)
- WATER VALVE
- GAS LINE
- GAS VALVE
- SITE IRRIGATION
- SITE LIGHTING
- HAND HOLE
- ELECTRICAL CONDUIT

**ISSUED FOR
SITE PLAN/SPECIAL PERMIT
REVIEW
JULY 31, 2017**



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

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41 NORTH ROAD, SUITE 203
BEDFORD, MA 01730

PROJECT:
WELLESLEY SPORTS CENTER
900 WORCESTER STREET
WELLESLEY, MA

PROJECT NO. 2329-01 DATE: 07-31-17
SCALE: 1"=30' DWG. NAME: C2329-01
DESIGNED BY: PGM CHECKED BY: PLC

PREPARED BY:

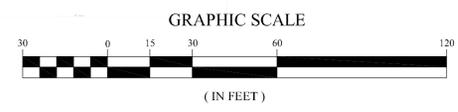
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DRAWING TITLE: **UTILITY PLAN** SHEET No. **C-3**



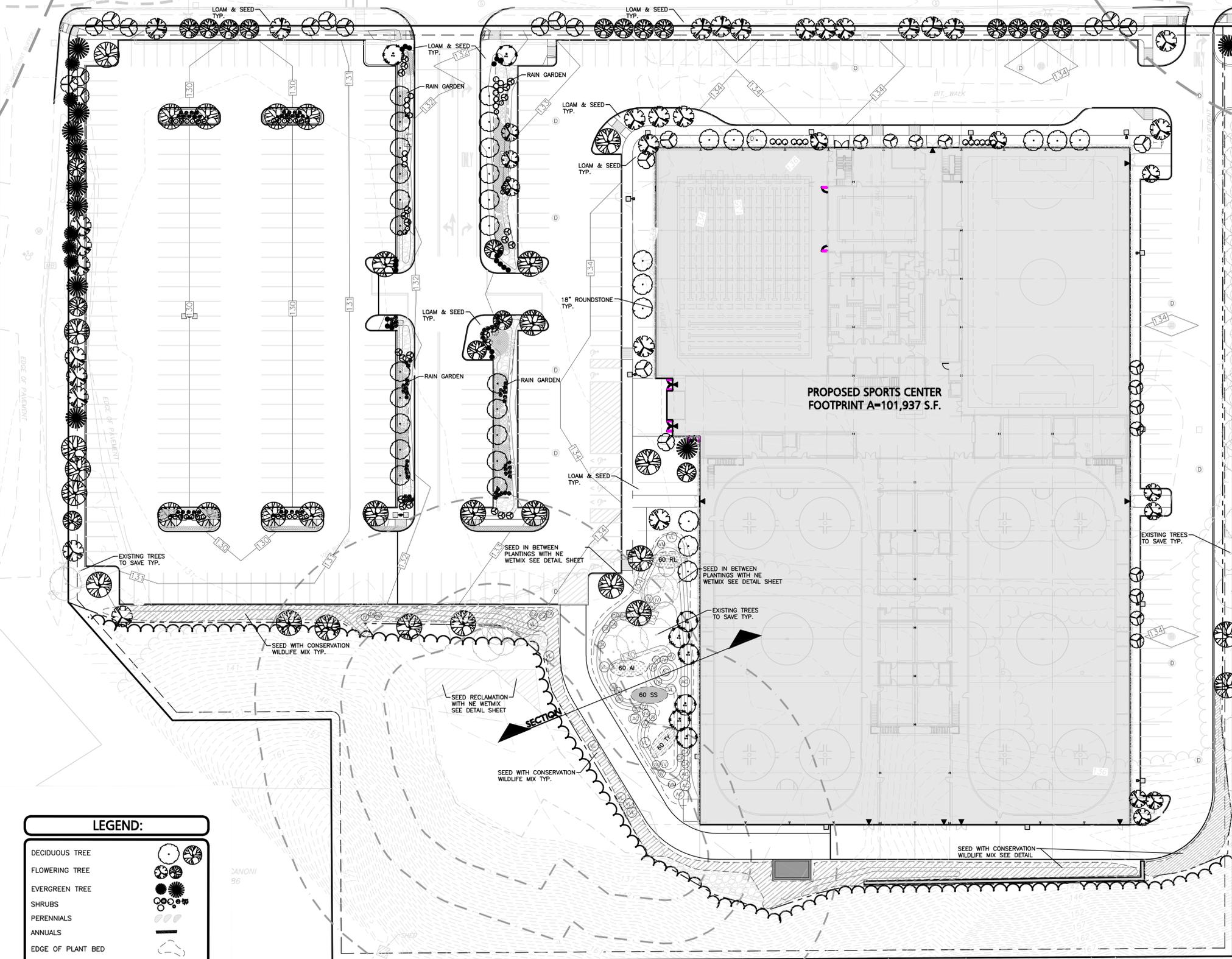
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CB/DH
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WORCESTER STREET - ROUTE 9

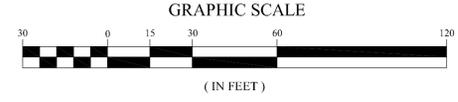
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PROPOSED SPORTS CENTER
FOOTPRINT A=101,937 S.F.

GENERAL NOTES:

1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR IT'S REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
2. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. IT'S INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
3. ALL LANDSCAPED AREAS WITH SHRUBS, TREES, AND PERENNIALS TO HAVE 2 FEET MINIMUM DEPTH OF TOPSOIL. TWO FEET OF TOPSOIL AROUND TREES AND SHRUBS DOES NOT INCLUDE AMENDED PLANTING SOIL WITHIN TREE / SHRUB PIT FOR FULL DEPTH OF ROOTBALLS. SEE PLANTING DETAILS FOR PLANTING DEPTH AT SHRUBS AND TREES. ALL AREAS OF LOAM AND SEED TO HAVE 6" MINIMUM DEPTH OF TOPSOIL. TOPSOIL TO BE TESTED BY CONTRACTOR, AND APPROVED BY A&M PRIOR TO PURCHASE AND OR PLACEMENT. GENERAL CONTRACTOR, DEMOLITION CONTRACTOR, AND LANDSCAPE CONTRACTOR TO COORDINATE PROPER DEPTH OF EXISTING MATERIAL REMOVAL ACROSS SITE SO THAT 2 FEET MINIMUM AND 6" MINIMUM DEPTHS OF PROPOSED TOPSOIL NOTED ABOVE ARE MET AT NO ADDITIONAL COST TO OWNER. SEE TOPSOIL DETAIL.



LEGEND:	
DECIDUOUS TREE	
FLOWERING TREE	
EVERGREEN TREE	
SHRUBS	
PERENNIALS	
ANNUALS	
EDGE OF PLANT BED	

ISSUED FOR
SITE PLAN/SPECIAL PERMIT
REVIEW
JULY 31, 2017



PROFESSIONAL ENGINEER FOR
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DRAWING TITLE:	SHEET No.
LANDSCAPE PLAN	C-4

LANDSCAPE NOTES

- ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWN OF WELLESLEY, MA.
- PLANTING PLAN IS DIAGRAMMATIC IN NATURE. FINAL PLACEMENT OF PLANTS TO BE APPROVED BY THE LANDSCAPE ARCHITECT IN THE FIELD.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES, ANY PERMITTING AGENCIES, AND "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS IN ADVANCE OF ANY WORK THAT WILL REQUIRE EXCAVATION. CONTRACTOR SHALL NOTIFY THE OWNERS REPRESENTATIVE OF ANY CONFLICTS IN WRITING.
- NO PLANT MATERIAL SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA. ANY TREES NOTED AS "SEAL OR SELECTED SPECIMEN" SHALL BE TAGGED AND SEALED BY THE LANDSCAPE ARCHITECT.
- ALL TREES SHALL BE BALLED AND BURLAPPED (B&B) UNLESS OTHERWISE NOTED OR APPROVED BY THE OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.
- ALL PLANT MATERIALS INSTALLED SHALL MEET THE GUIDELINES ESTABLISHED BY THE STANDARDS FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF ACCEPTANCE.
- ALL DISTURBED AREAS NOT OTHERWISE NOTED SHALL RECEIVE 6" OF SUITABLE LOAM & SEED LAWNS WITH 3:1 OR GREATER SLOPES SHALL BE PROTECTED WITH AN EROSION CONTROL BLANKET.
- ANY FALL TRANSPLANTING HAZARD PLANTS SHALL BE DUG IN THE SPRING AND STORED FOR FALL PLANTING.
- TREES SHALL HAVE A MINIMUM CALIPER AS INDICATED ON THE PLANTING SCHEDULE TAKEN ONE FOOT ABOVE THE ROOT CROWN.
- ALL PLANT BEDS AND TREE SAUCERS TO RECEIVE 3" OF PINE BARK MULCH. GROUND COVER AREAS SHALL RECEIVE 1" OF PINE BARK MULCH
- ALL DECIDUOUS TREES ADJACENT TO WALKWAYS AND ROADWAYS SHALL HAVE A BRANCHING PATTERN TO ALLOW FOR A MINIMUM OF 7' OF CLEARANCE BETWEEN THE GROUND AND THE LOWEST BRANCH.
- CONTRACTOR RESPONSIBLE FOR WATERING, AND RESEEDING OF BARE SPOTS UNTIL A UNIFORM STAND OF VEGETATION IS ESTABLISHED AND ACCEPTED.
- ALL PARKING ISLANDS PLANTED WITH TREES, SHRUBS OR PERENNIALS SHALL HAVE 18" OF TOP SOIL. FINISH GRADE SHALL BE EQUAL TO THE TOP OF CURB.
- SOIL SAMPLES, TESTS, AND SHOP DRAWINGS SHALL BE PROVIDED TO THE LANDSCAPE ARCHITECT OR THE OWNER FOR APPROVAL PRIOR TO CONSTRUCTION.
- ALL PROPOSED LANDSCAPE AREAS INCLUDING MOWED LAWNS, TREES, SHRUB BEDS, AND PERENNIALS SHALL BE PROVIDED WITH WATER EFFICIENT UNDERGROUND IRRIGATION. DESIGN AND INSTALLATION OF IRRIGATION SYSTEM TO BE PERFORMED BY AN APPROVED IRRIGATION DESIGN BUILD CONTRACTOR OR BY AN APPROVED EQUAL, TO BE DETERMINED BY THE OWNERS REPRESENTATIVE AND LANDSCAPE ARCHITECT. IRRIGATION SYSTEM IS TO BE DESIGNED FOR EFFICIENT WATER USAGE INCLUDING: USE OF DRIP IRRIGATION FOR SHRUBS AND PERENNIALS, IRRIGATION SYSTEM WITH HEAD-TO-HEAD COVERAGE, A CENTRAL SHUT-OFF VALVE, AND A RAIN SENSOR TO SHUT OFF IRRIGATION DURING RAIN EVENTS.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
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NEW ENGLAND WETMIX (or similar mix)

NEW ENGLAND WETMIX / WETLAND SEED MIX
 BY NEW ENGLAND WETLAND PLANTS INC.
 820 West Street, Amherst, MA 01002
 phone: 413-548-8000 fax 413-549-4000
 email: info@newp.com web address: www.newp.com

The New England Wetmix (Wetland Seed Mix) contains a wide variety of native seeds that are suitable for most wetland restoration sites that are not permanently flooded. All species are best suited to moist ground as found in most wet meadows, scrub shrub, or forested wetland restoration areas. The mix is well suited for detention basin borders and the bottom of detention basins not generally under standing water. The seeds will not germinate under inundated conditions. If planted during the fall months, the seed mix will germinate the following spring. During the first season of growth, several species will produce seeds while other species will produce seeds after the second growing season. Not all species will grow in all wetland situations. This mix is comprised of the wetland species most likely to grow in created/restored wetlands and should produce more than 75% ground cover in two full growing seasons.

Apply: 18 lbs/acre
 1 lb/2500 sq ft
 Minimum quantity: 1 lbs

SPECIES: Fox Sedge, (Carex vulpinoidea), Lurid Sedge, (Carex lurida), Blunt Broom Sedge, (Carex scoparia), Sensitive Fern, (Onoclea sensibilis), Blue Vervain, (Verbena hastata), Hop Sedge, (Carex lupulina), Green Bulrush, (Scirpus atrovirens), Nodding Bur Marigold, (Bidens cer-nua), Bristly Sedge, (Carex comosa), Fringed Sedge, (Carex crinita), American Mannagrass, (Glyceria grandis), Wool Grass, (Scirpus cyperinus), Soft Rush, (Juncus effusus), Spotted Joe Pye Weed, (Eupatorium maculatum), Boneset, (Eupatorium perfoliatum), Mud Plantain, (Alisma subcordatum), New England Aster, (Aster novae-angliae), Rattlesnake Grass, (Glyceria canadensis), Purplestem aster (Aster purpureus), Soft Stem Bulrush, (Scirpus validus), Blueflag (Iris versicolor), Swamp Milkweed, (Asclepias incarnata), Monkey Flower, (Mimulus ringens). The functionality of each mix will remain unchanged, although mix composition may vary during the year.

Always apply on clean bare soil. The wetland seeds in this mix can be sown by hand, with a hand held spreader, or hydro-seeded on large or hard to reach sites. Lightly rake to insure good seed to soil contact. Seeding can take place on frozen soil, as the freezing and thawing weather of late fall and late winter will work the seed into the soil. If spring conditions are drier than usual watering may be required. If sowing during the summer months supplemental watering will likely be required until germination. A light mulch of clean, weed free straw is recommended.

NEW ENGLAND CONSERVATION/WILDLIFE (or similar mix)

NEW ENGLAND CONSERVATION/WILDLIFE SEED MIX
 BY NEW ENGLAND WETLAND PLANTS INC.
 820 West Street, Amherst, MA 01002
 phone: 413-548-8000 fax 413-549-4000
 email: info@newp.com web address: www.newp.com

The New England Conservation/Wildlife Mix provides a permanent cover of grasses, wildflowers, and legumes. For both good erosion control and wildlife habitat value. The mix is designed to be a no maintenance seeding, and is appropriate for cut and fill slopes, detention basin side slopes, and disturbed areas adjacent to commercial and residential projects.

APPLICATION RATE: 25lbs/acre | 1750 sq ft/lb
 Minimum Order: 2 lbs

SPECIES: Virginia Wild Rye, (Elymus virginicus), Little Bluestem, (Schizachyrium scoparium), Big Bluestem, (Andropogon gerardi), Creeping Red Fescue, (Festuca rubra), Switch Grass, (Panicum virgatum), Partridge Pea, (Chamaecrista fasciculata), Deer Tongue, (Panicum clandestinum), Indian Grass, (Sorghastrum nutans), Ox Eye Sunflower, (Helianthus helianthoides), Common Milkweed, (Asclepias syriaca), Spotted Joe Pye Weed, (Eupatorium maculatum), Grass Leaved Goldenrod, (Euthamia graminifolia), Blue Vervain, (Verbena hastata), New England Aster, (Aster novae-angliae), Early Goldenrod, (Solidago juncea).

Always apply on clean bare soil. The mix may be applied by hydro-seeding, by mechanical spreader, or on small sites it can be spread by hand. Lightly rake, or roll to ensure proper soil-seed contact. Best results are obtained with a spring seeding. Late Spring and Summer seeding will benefit with a light mulching of clean weed-free straw to conserve moisture. If conditions are drier than usual, watering may be required. Late Fall and Winter dormant seeding require an increase in the seeding rate. Fertilization is not recommended. Preparation of a clean weed free soil surface is necessary for optimal results.

PLANTING PALLETTE - TREES, SHRUBS, GROUNDCOVERS & PERENNIALS

DECIDUOUS TREES

KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	MIN. SIZE	SPACING	COMMENTS
*R AR	22	ACER RUBRUM 'KARPICK'	KARPICK RED MAPLE	3.5-4" CAL.	AS SHOWN	B&B
** BP	8	BETULA PAPPYRIFERA 'OASIS'	OASIS PAPER BIRCH	3-3.5" CAL.	AS SHOWN	B&B - MULTISTEM
FG	12	FAGUS SYLVATICA 'DAWICKII GOLD'	DAWICKII GOLD BEECH	3-3.5" CAL.	AS SHOWN	B&B
** GT	12	GLEDTISIA TRIACANTHOS 'SKYLINE'	SKYLINE HONEYLOCUST	3.5"-4" CAL.	AS SHOWN	B&B
* QC	10	QUERCUS COCCINIA	SCARLET OAK	3.5"-4" CAL.	AS SHOWN	B&B
* TA	13	TILIA AMERICANA	AMERICAN LINDEN	3.5"-4" CAL.	AS SHOWN	B&B

EVERGREEN TREES

* AB	9	ABIES CONCOLOR	WHITE FIR	8'-10' HT.	AS SHOWN	B&B
* JV	5	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	8'-10' HT.	AS SHOWN	B&B

FLOWERING TREES

**R AC	11	AMELANCHIER CANADENSIS	SHADBLOW SERVICEBERRY	3-3.5" CAL.	AS SHOWN	B&B
** CC	12	CERCIS CANADENSIS 'THE RISING SUN'	THE RISING SUN EASTERN REDBUD	2.5-3" CAL.	AS SHOWN	B&B
** CF	19	CORNUS FLORIDA 'CHEROKEE PRINCESS'	CHEROKEE PRINCESS DOGWOOD	3-3.5" CAL.	AS SHOWN	B&B
CA	15	CORNUS ALTERNIFOLIA	PAGODA DOGWOOD	3-3.5" CAL.	AS SHOWN	B&B
MC	19	MALUS HUPEHENSIS 'CARDINAL'	CARDINAL CRABAPPLE	2.5-3" CAL.	AS SHOWN	B&B
VL	5	VIBURNUM LENTAGO	NANNYBERRY VIBURNUM	7-8' HT.	AS SHOWN	B&B
PR	8	PRUNUS SARGENTII 'PINK FLAIR'	PINK FLAIR SARGEANT CHERRY	4-4.5" CAL.	AS SHOWN	B&B

SHRUBS

*R AM	TBD	ARONIA MELONCARPA	BLACK CHOCKCHERRY	#5	AS SHOWN	POT
*R FG	TBD	FOTHERGILLA GARDENII	DWARF FOTHERGILLA	#5	AS SHOWN	POT
*R IG	TBD	ILEX GLABRA 'COMPACTA'	INKBERRY	#3	AS SHOWN	POT
* KL	TBD	KALMIA LATIFOLIA	MOUNTAIN LAUREL	2-3' HT.	AS SHOWN	B&B
*R MP	TBD	MYRICA PENNSYLVANICA	BAYBERRY	2.5'-3' HT.	AS SHOWN	B&B
*R RC	TBD	RHODODENDRON CAROLINIANUM	CAROLINA RHODODENDRON	2-3' HT.	AS SHOWN	B&B
*R RV	TBD	ROSA VIRGINIANA	VIRGINIA ROSE	#3	AS SHOWN	B&B
*R SD	TBD	SALIX DISCOLOR	PUSSY WILLOW	#5	AS SHOWN	POT

ORNAMENTAL GRASSES

*R SC	80	SCHYZACHYRIUM S. 'STANDING OVATION'	STANDING OVATION LITTLE BLUESTEM GRASS	#2	36" O.C.	POT
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PERENNIALS

*R AN	TBD	ASTER NOVAE ANGLIAE 'PURPLE DOME'	NEW ENGLAND ASTER	#1	18" O.C.	STAGGERED
*R AU	TBD	ARCHTOSTAPHYLOS UVA-URSI	BEARBERRY	#1	18" O.C.	STAGGERED
* CB	TBD	CORNUS CANADENSIS	BUNCHBERRY	#1	18" O.C.	STAGGERED
*R EP	TBD	ECHINACEA PURPUREA	CONEFLOWER	#1	18" O.C.	STAGGERED
*R FD	TBD	DENNISTEADIA PUNCT.	HAYSCENTED FERN	#1	18" O.C.	STAGGERED
*R AT	TBD	AESCLEPIAS TUBEROSA	BUTTERFLY WEED	#1	18" O.C.	STAGGERED
*R RF	TBD	RUDBECKIA FULGIDA	ORANGE CONEFLOWER	#1	18" O.C.	STAGGERED

* - DENOTES NATIVE SPECIES
 ** - DENOTES IMPROVED NATIVE SPECIES
 R - DENOTES RAINGARDEN SPECIES

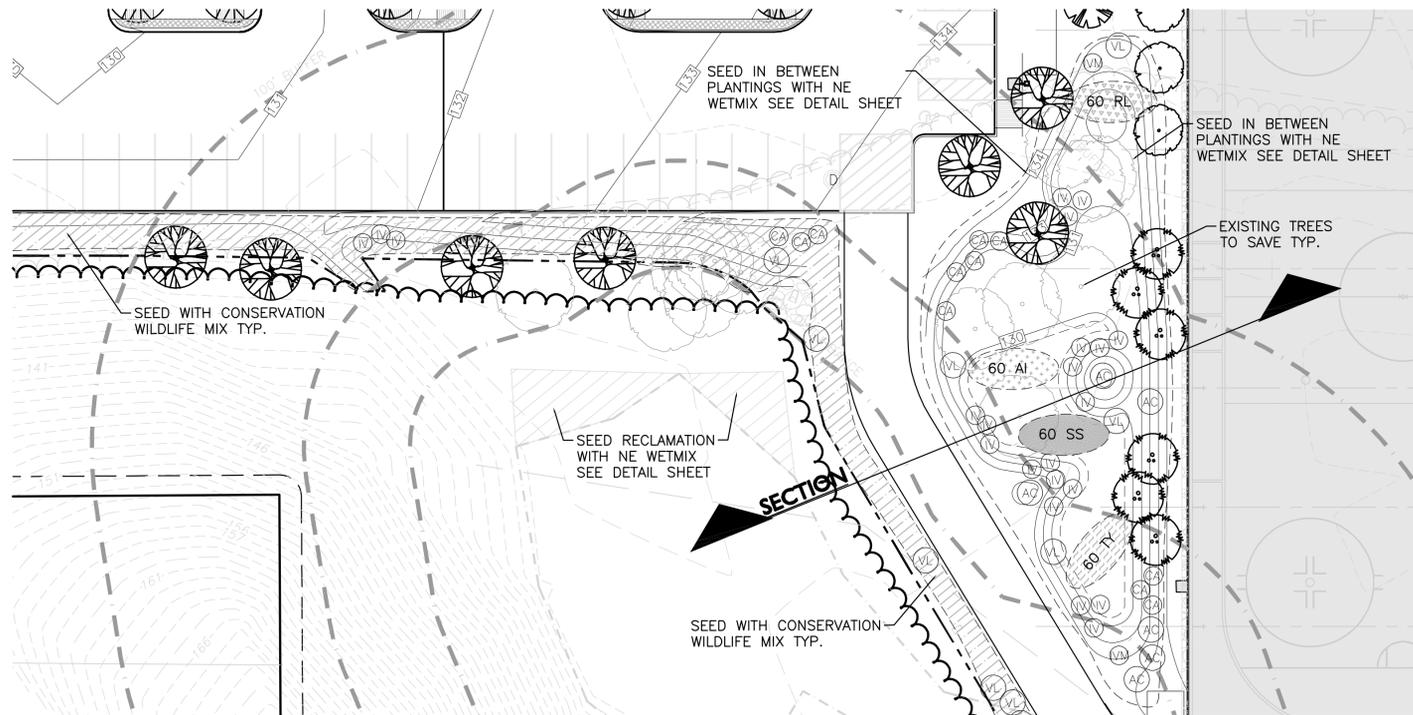
PLANTING SCHEDULE - WETLAND RECREATION AREA

PLUGS FOR WET BASIN

KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	MIN. SIZE	SPACING	COMMENTS
AI	60	ASCLEPIAS INCARNATA	SWAMP MILKWEED	2" PLUG	24" O.C.	STAGGERED
SS	60	SOLIDAGO SEMPERVIVONS	SEASIDE GOLDENROD	2" PLUG	24" O.C.	STAGGERED
TY	60	TYPHA LATIFOLIA	COMMON CATTAIL	2" PLUG	24" O.C.	STAGGERED
RL	60	RUDBECKIA LACINATA	CUT-LEAFED CONEFLOWER	2" PLUG	24" O.C.	STAGGERED

NATIVE TREES AND SHRUBS IN AND AROUND BASIN

AC	6	AMELANCHIER CANADENSIS/ARBOREA	SHADBLOW SERVICEBERRY	5-6' HT.	AS SHOWN	B&B
CA	11	CORNUS AMOMUM	SILKY DOGWOOD	3-4' HT.	AS SHOWN	B&B
IV	22	ILEX VERTICILLATA	WINTERBERRY	#5	AS SHOWN	POT
IVM	2	ILEX VERTICILLATA - MALE POLLINATOR	WINTERBERRY MALE POLLINATOR	#5	AS SHOWN	POT
VL	10	VIBURNUM LENTAGO	NANNYBERRY VIBURNUM	5-6' HT.	AS SHOWN	B&B



WETLAND PLANTING ENLARGEMENT
 SCALE: 1"=20'

**ISSUED FOR
 SITE PLAN/SPECIAL PERMIT
 REVIEW
 JULY 31, 2017**



PROFESSIONAL ENGINEER FOR
 ALLEN & MAJOR ASSOCIATES, INC.

REV DATE DESCRIPTION

APPLICANT/OWNER:

WELLESLEY SPORTS CENTER, LLC
 41 NORTH ROAD, SUITE 203
 BEDFORD, MA 01730

PROJECT:

WELLESLEY SPORTS CENTER
 900 WORCESTER STREET
 WELLESLEY, MA

PROJECT NO. 2329-01 DATE: 07-31-17

SCALE: DWG. NAME: C2329-01

DESIGNED BY: BD/GMC CHECKED BY: PLC

PREPARED BY:

**ALLEN & MAJOR
 ASSOCIATES, INC.**
 civil & structural engineering • land surveying
 environmental consulting • landscape architecture
 www.allenmajor.com

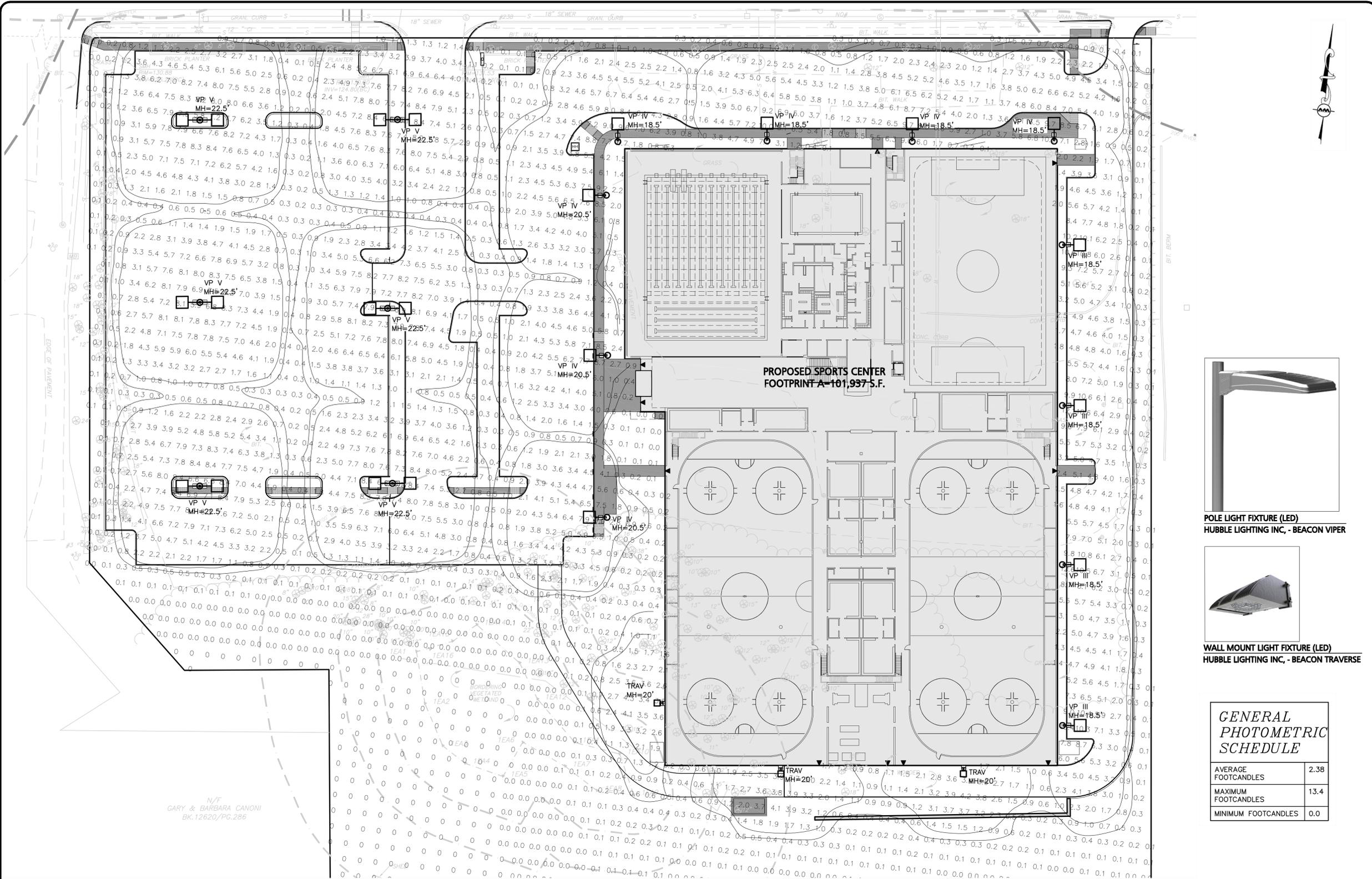
10 MAIN STREET
 LAKEVILLE, MA 02347-1674
 TEL: (508) 923-1010
 FAX: (508) 923-6309

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DRAWING TITLE: SHEET No.

LANDSCAPE PLAN C-6



N/F
GARY & BARBARA CANONI
BK.12620/PG.286

PROPOSED SPORTS CENTER
FOOTPRINT A-101,937 S.F.



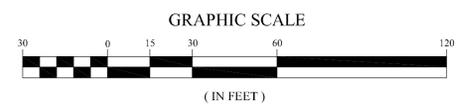
POLE LIGHT FIXTURE (LED)
HUBBLE LIGHTING INC. - BEACON VIPER



WALL MOUNT LIGHT FIXTURE (LED)
HUBBLE LIGHTING INC. - BEACON TRAVERSE

**GENERAL
PHOTOMETRIC
SCHEDULE**

AVERAGE FOOTCANDLES	2.38
MAXIMUM FOOTCANDLES	13.4
MINIMUM FOOTCANDLES	0.0



LUMINAIRE SCHEDULE

CALLOUT	SYMBOL	LAMP	DESCRIPTION	MOUNTING	MODEL	NOTE 1	QUANTITY
Trav	□	(1) C-70-CRIDATA SHOWN IS SCALED FROM 15.01518	TRAVERSE	WALL	Beacon Products, TRV-60NB-136-4K-T3		3
VP III	○	(1) X-70-CRIDATA SHOWN IS ABSOLUTE	LARGE VIPER	POLE	Hubbell Lighting Inc, dba Beacon Products, VPL-80L-235-4K7-3	Mounting Height 18'-6"	4
VP IV	○	(1) X-70-CRIDATA SHOWN IS ABSOLUTE	LARGE VIPER	POLE	Hubbell Lighting Inc, dba Beacon Products, VPL-80L-235-4K7-4	Mounting Height 18'-6" or 20'-6"	7
VP V	○	(1) X-70-CRIDATA SHOWN IS ABSOLUTE	LARGE VIPER	POLE	Hubbell Lighting Inc, dba Beacon Products, VPL-80L-235-4K7-5QM	Mounting Height 22'-6"	12 HEADS (6 DOUBLE)

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BEDFORD, MA 01730

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WELLESLEY SPORTS CENTER
900 WORCESTER STREET
WELLESLEY, MA

PROJECT NO. 2329-01 DATE: 07-31-17
SCALE: 1"=30' DWG. NAME: C2329-01
DESIGNED BY: PGM CHECKED BY: PLC

PREPARED BY:
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civil & structural engineering • land surveying
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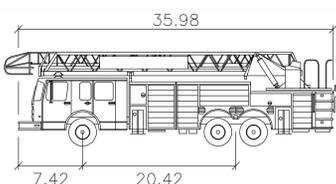
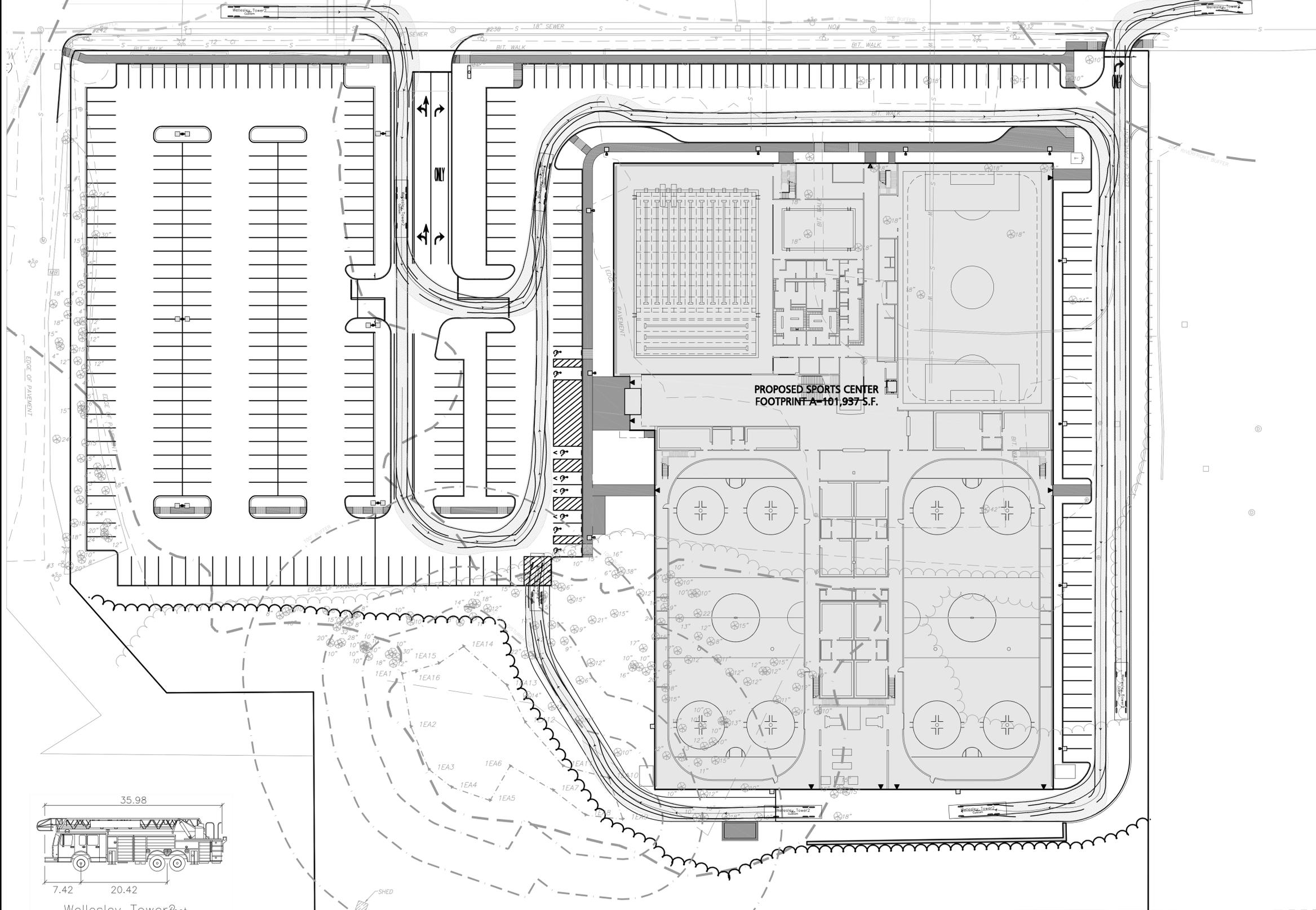
10 MAIN STREET
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DRAWING TITLE: PHOTOMETRIC PLAN SHEET No. C-7

WORCESTER STREET - ROUTE 9

(PUBLIC - VARIABLE WIDTH)



Wellesley Tower 2 feet
 Width : 8.33
 Track : 6.79
 Lock to Lock Time : 6.0
 Steering Angle : 44.2



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 WELLESLEY, MA

PROJECT NO. 2329-01 DATE: 07-31-17

SCALE: 1"=30' DWG. NAME: C2329-01

DESIGNED BY: PGM CHECKED BY: PLC

PREPARED BY:

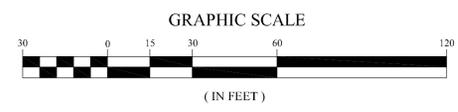
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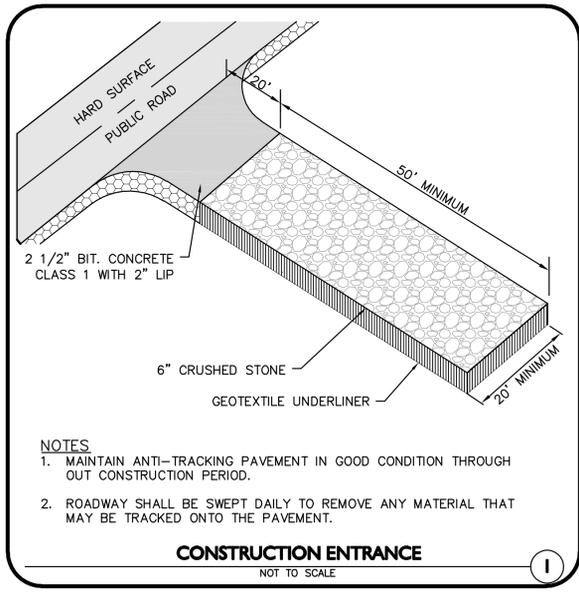
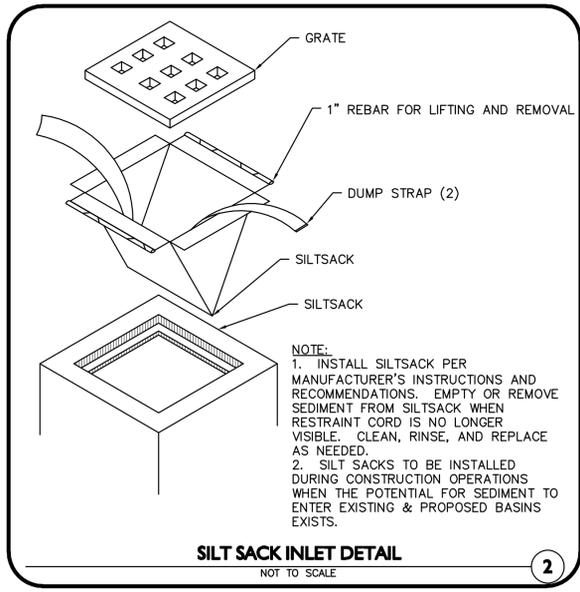
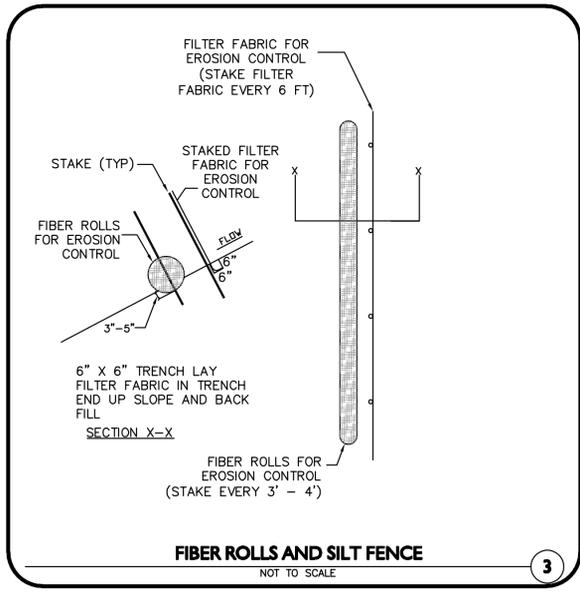
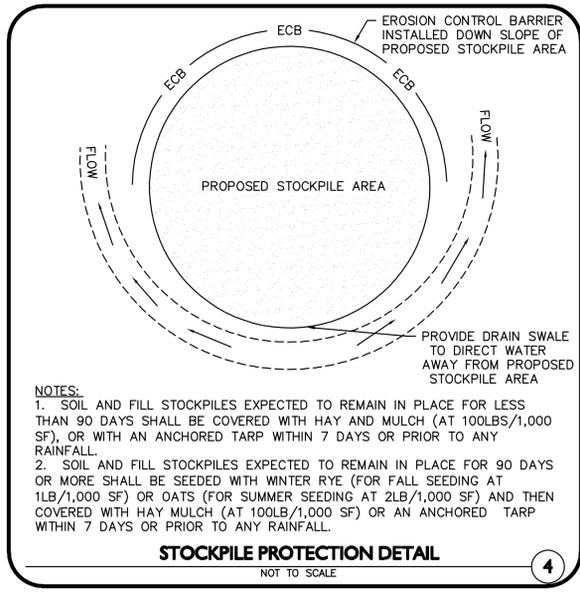
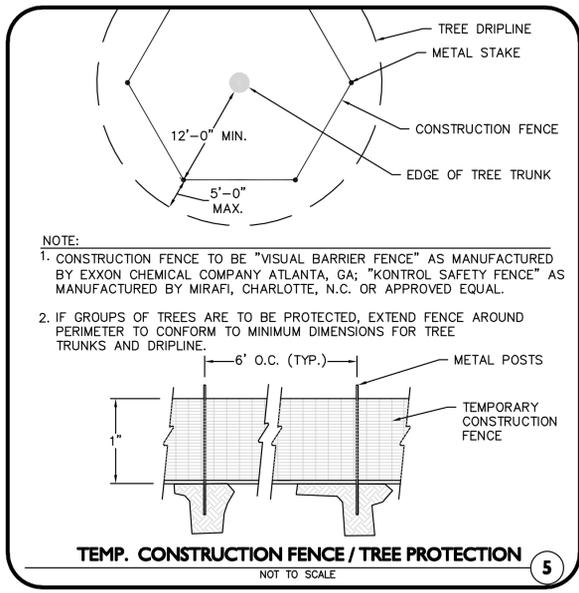
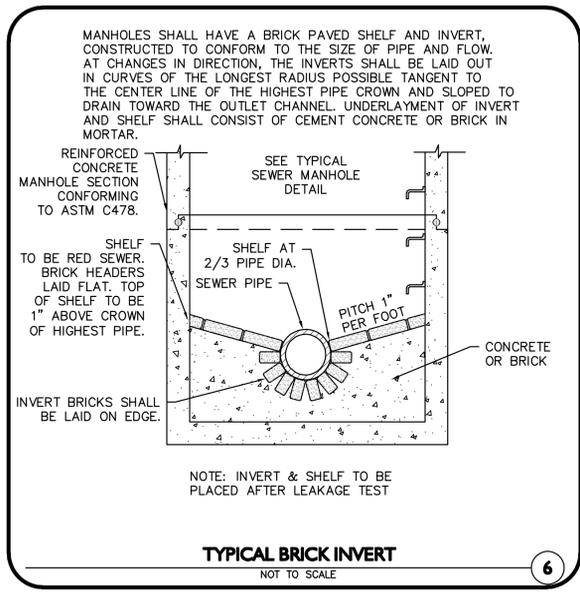
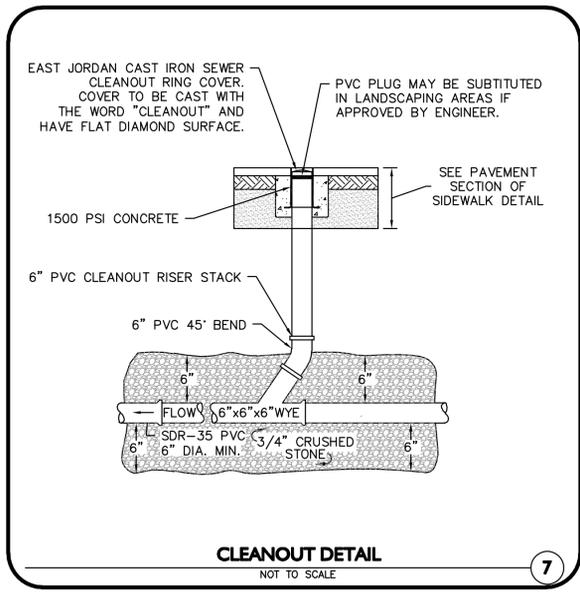
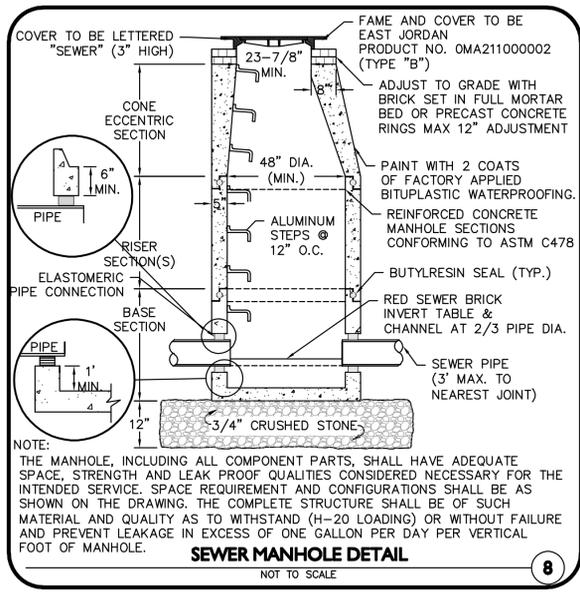
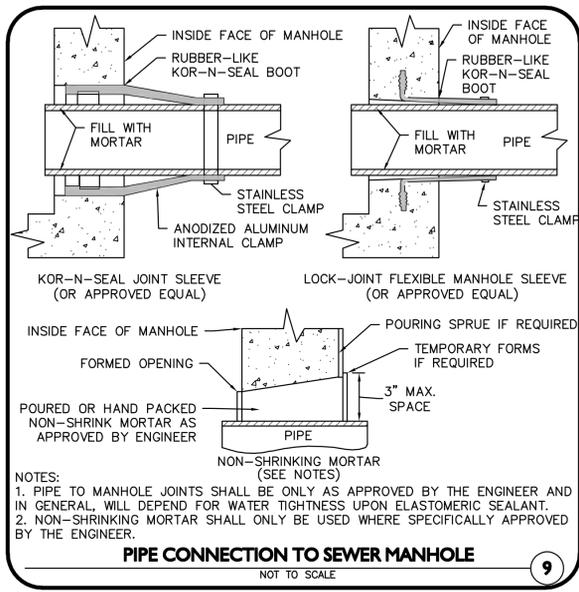
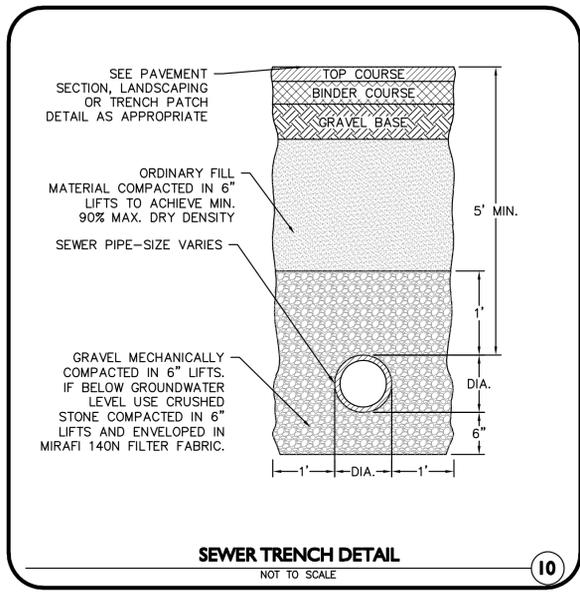
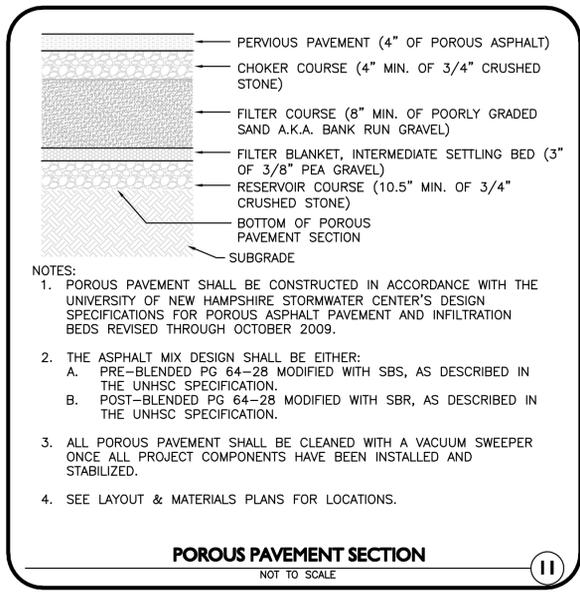
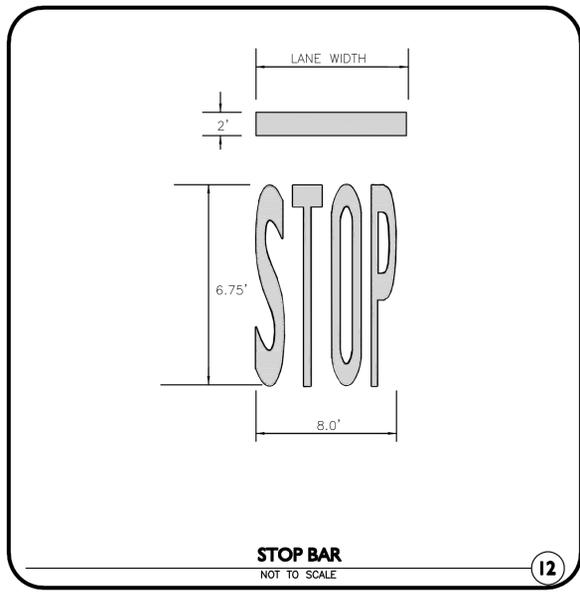
10 MAIN STREET
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DRAWING TITLE: SHEET No.

VEHICLE MOVEMENT PLAN C-8





**ISSUED FOR
SITE PLAN/SPECIAL PERMIT
REVIEW
JULY 31, 2017**

PHILIP L. CORDEIRO
CIVIL ENGINEER
NO. 47083
REGISTERED PROFESSIONAL ENGINEER

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT/OWNER:
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41 NORTH ROAD, SUITE 203
BEDFORD, MA 01730

PROJECT:
WELLESLEY SPORTS CENTER
900 WORCESTER STREET
WELLESLEY, MA

PROJECT NO. 2329-01 DATE: 07-31-17
SCALE: AS NOTED DWG. NAME: C2329-01
DESIGNED BY: SMW CHECKED BY: PLC

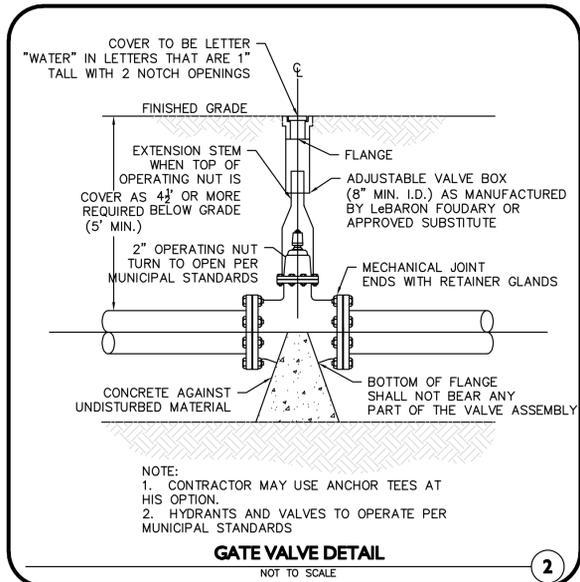
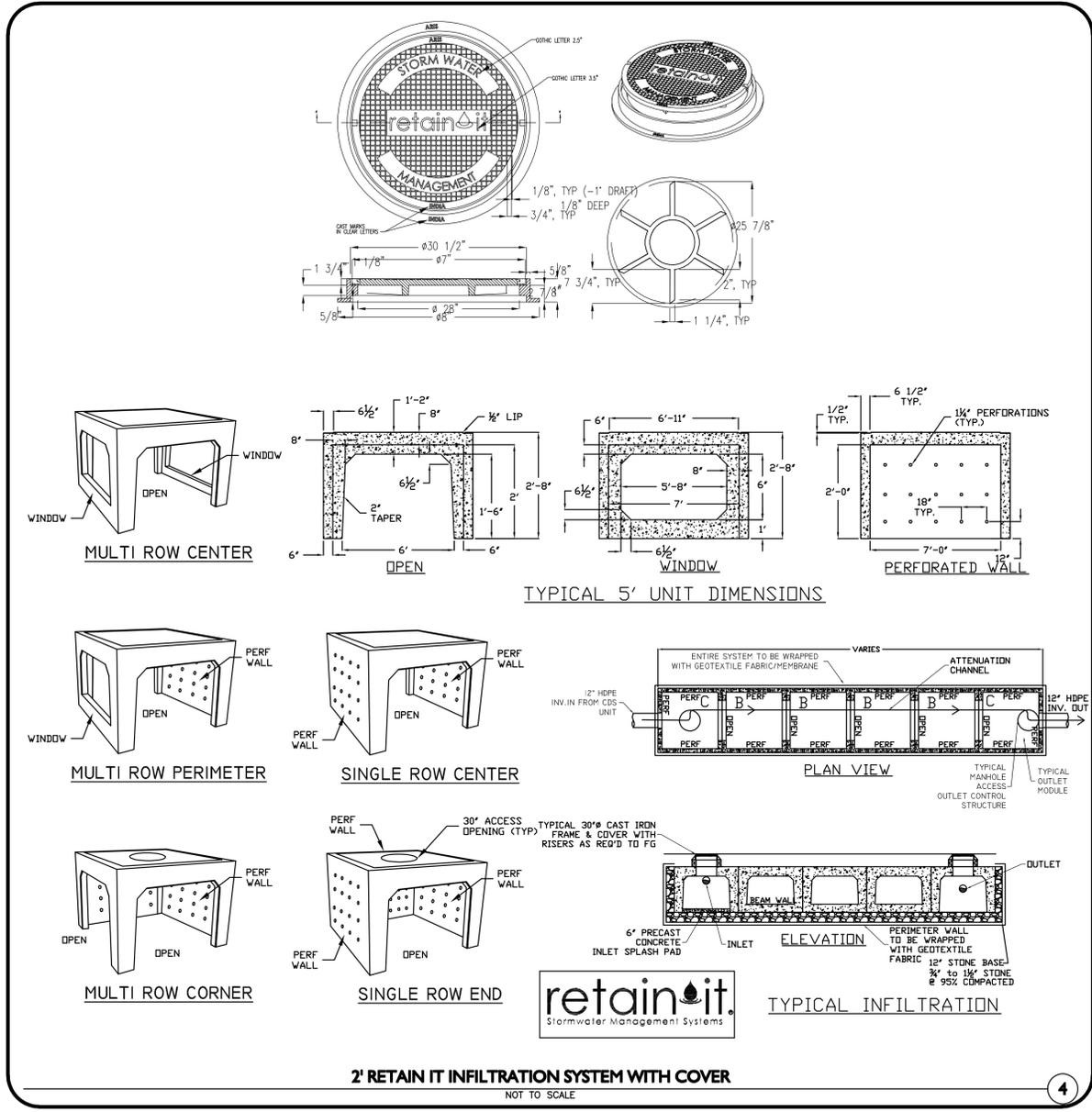
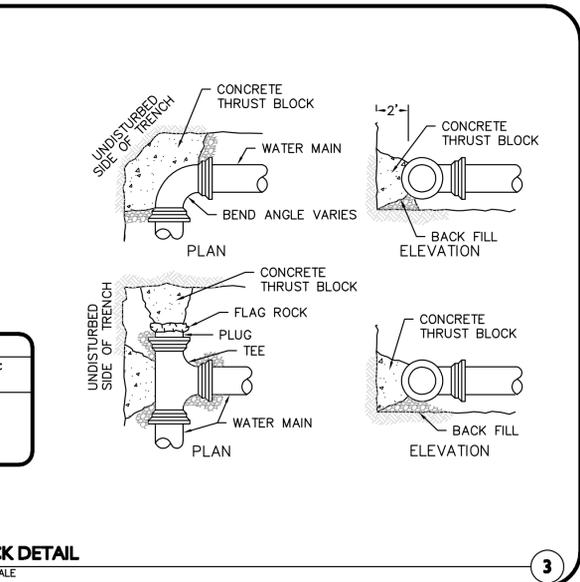
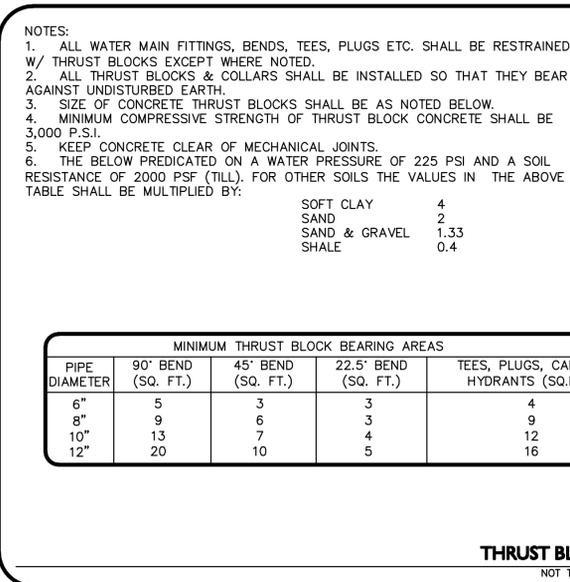
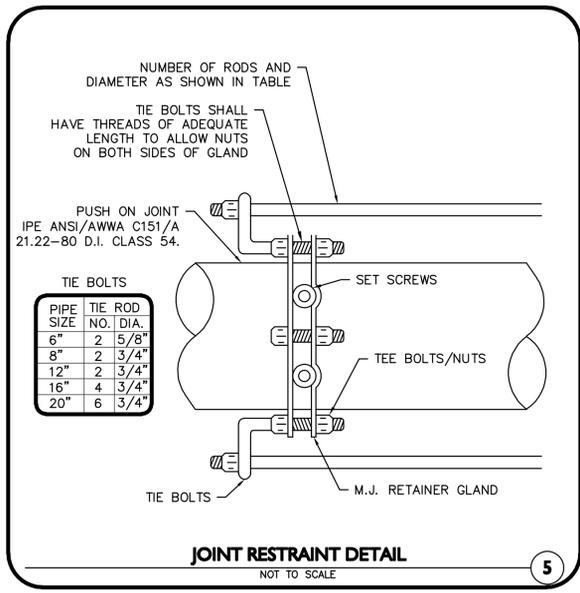
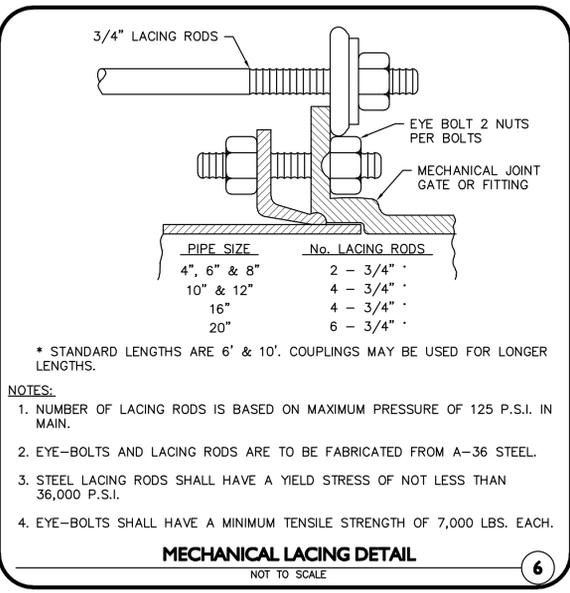
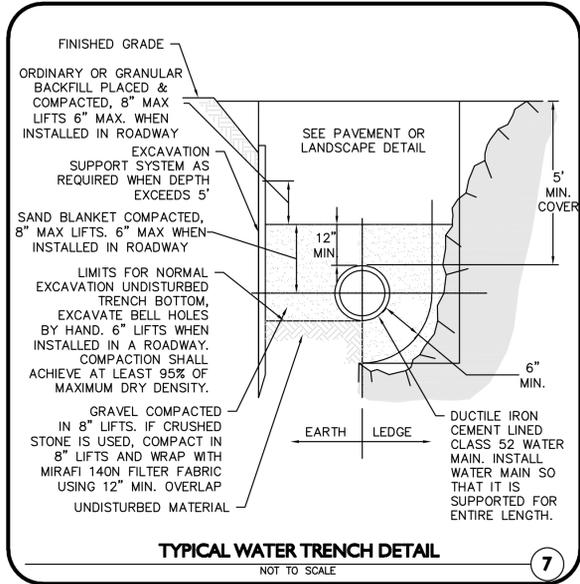
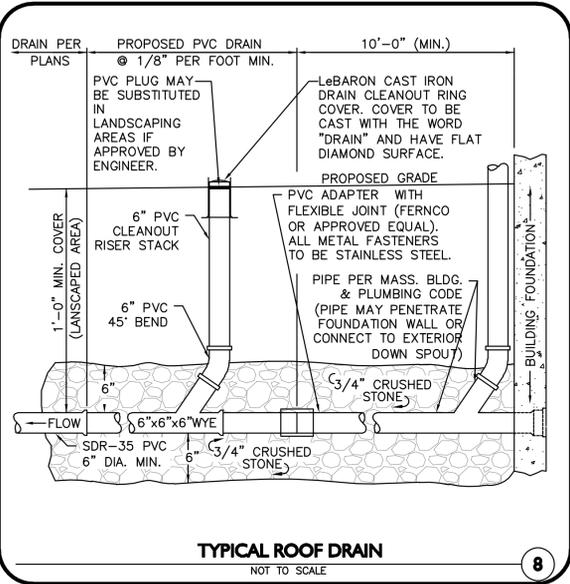
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DRAWING TITLE: **DETAILS** SHEET No. **D-1**



ISSUED FOR SITE PLAN/SPECIAL PERMIT REVIEW
JULY 31, 2017



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

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41 NORTH ROAD, SUITE 203
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900 WORCESTER STREET
WELLESLEY, MA

PROJECT NO. 2329-01 DATE: 07-31-17

SCALE: AS NOTED DWG. NAME: C2329-01

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DRAWING TITLE: SHEET No.

DETAILS D-2

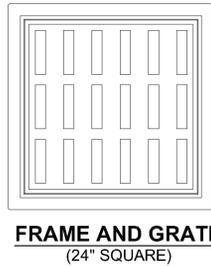
GENERAL NOTES

1. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
2. FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH CONSTRUCTION PRODUCTS REPRESENTATIVE. www.contech-cpi.com
3. VORTSENTRY HS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
4. STRUCTURE SHALL MEET AASHTO H20 LOAD RATING. CASTINGS SHALL MEET AASHTO M306, CAST WITH THE CONTECH STORMWATER SOLUTIONS LOGO.

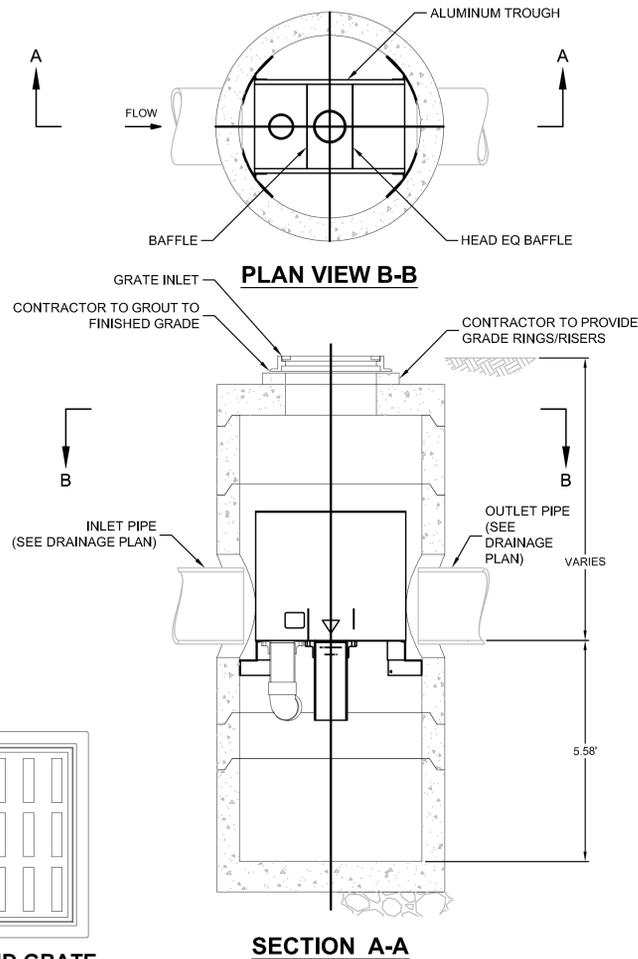
INSTALLATION NOTES

1. ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
2. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE VORTSENTRY HS MANHOLE STRUCTURE (LIFTING CLUTCHES PROVIDED).
3. CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
4. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN.
5. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

NOTE:
ALL PROPOSED CATCH BASINS SHALL BE VORSENTRY HS MODEL HS36 (TYPICAL OF 4)



FRAME AND GRATE
(24" SQUARE)

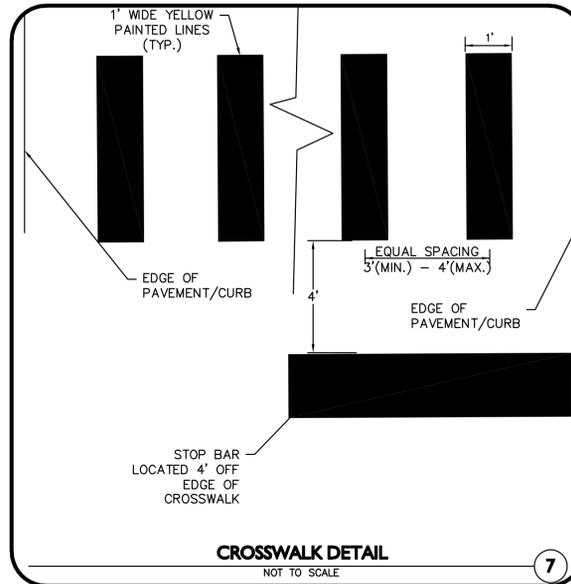


SECTION A-A

VORTSENTRY HS MODEL HS36 (3' I.D.) BY CONTECH ENGINEERED SOLUTIONS

NOT TO SCALE

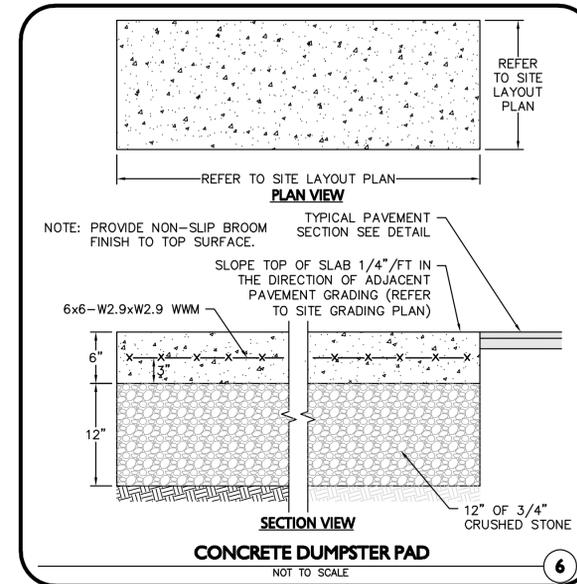
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CROSSWALK DETAIL

NOT TO SCALE

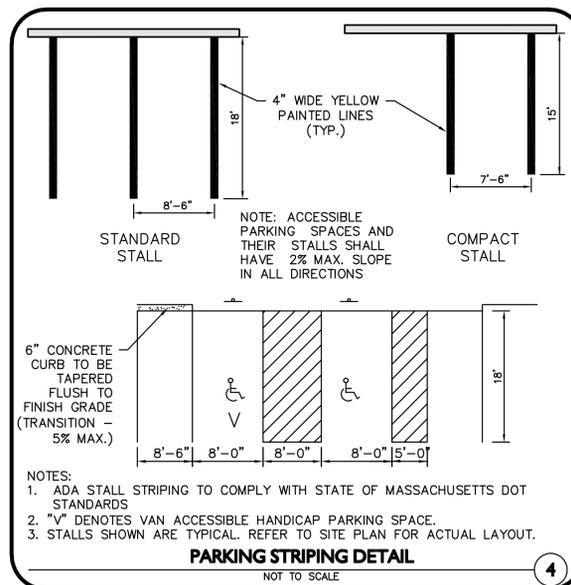
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SECTION VIEW
CONCRETE DUMPSTER PAD

NOT TO SCALE

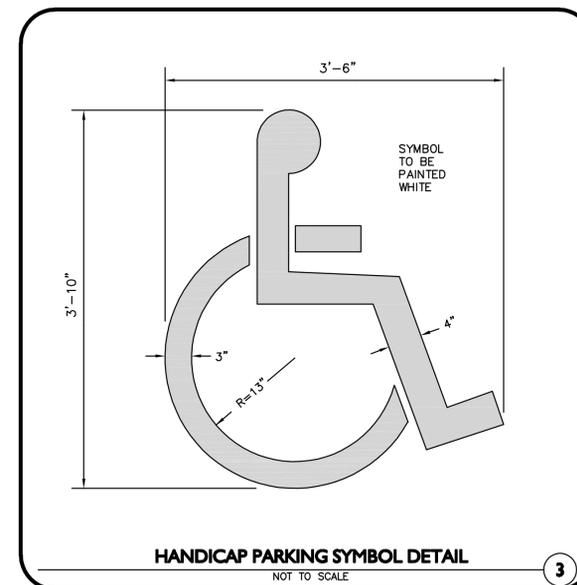
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PARKING STRIPING DETAIL

NOT TO SCALE

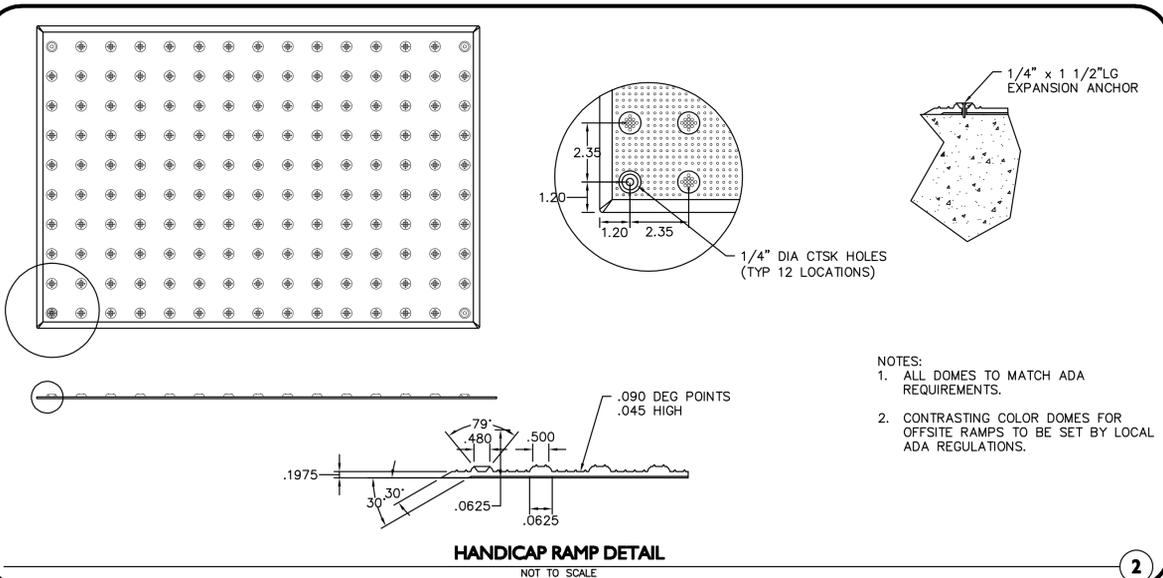
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HANDICAP PARKING SYMBOL DETAIL

NOT TO SCALE

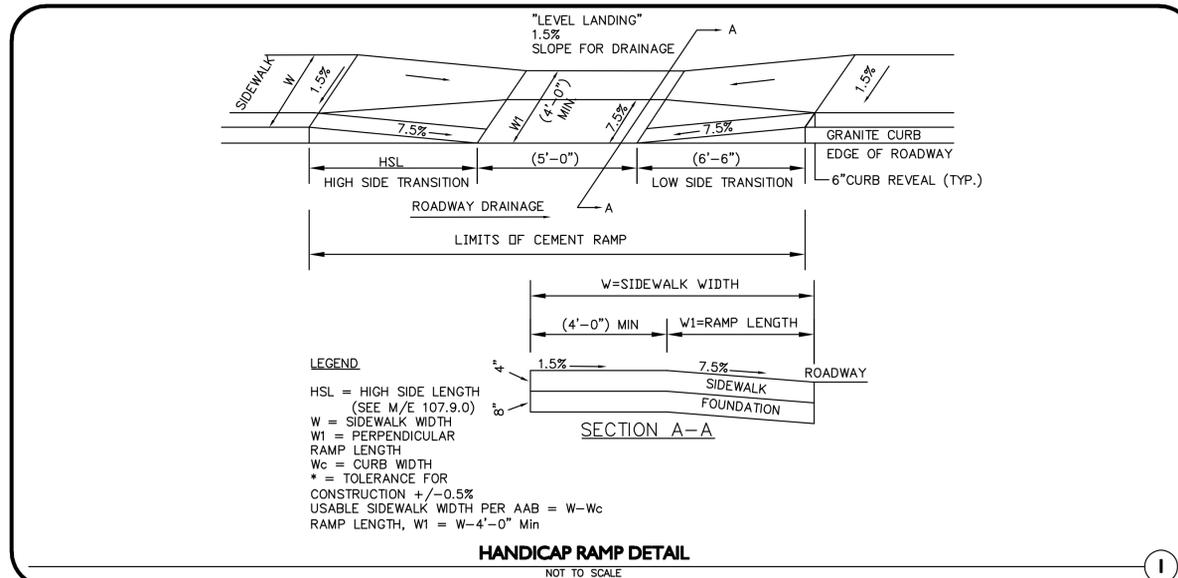
3



HANDICAP RAMP DETAIL

NOT TO SCALE

2



HANDICAP RAMP DETAIL

NOT TO SCALE

1

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DETAILS

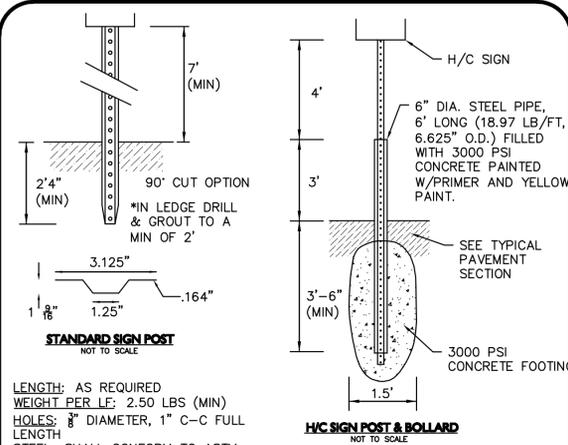
D-3

SIGN TABLE

REGULATORY DESCRIPTION	SIGN	SIZE	MOUNTING HEIGHT	DESCRIPTION	REFLECTORIZED
R1-1		30" x 30"	7'-0"	WHITE ON RED	YES
R7-8		12" X18"	7'-0"	GREEN/BLUE ON WHITE	YES
R7-8P		12" X6"	6'-6"	GREEN ON WHITE	YES
COMPACT PARKING WITH ARROW		12" X18"	7'-0"	GREEN ON WHITE	YES
DROP OFF AREA		12" X18"	7'-0"	RED ON WHITE	YES

SIGN TABLE
NOT TO SCALE

12



STANDARD SIGN POST
NOT TO SCALE

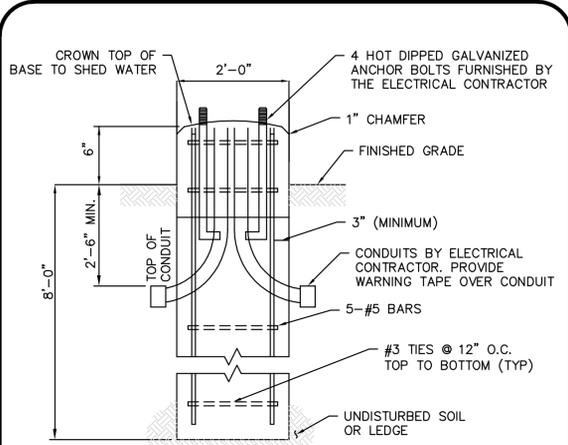
H/C SIGN POST & BOLLARD
NOT TO SCALE

LENGTH: AS REQUIRED
WEIGHT PER LF: 2.50 LBS (MIN)
HOLES: 3/8" DIAMETER, 1" C-C FULL LENGTH
STEEL: SHALL CONFORM TO ASTM A-499 OR ASTM A-576
FINISH: SHALL BE PAINTED WITH 2 COATS OF AN APPROVED MEDIUM GREEN, BAKED ON OR AIR DRIED, PAINT OF WEATHER RESISTANT QUALITY.

NOTE:
1. STEEL PIPE BOLLARD & CONCRETE FOOTING TO BE USED ON POST MOUNTED SIGNS IN PAVED AREAS. SEE DETAIL #10 HEREON.

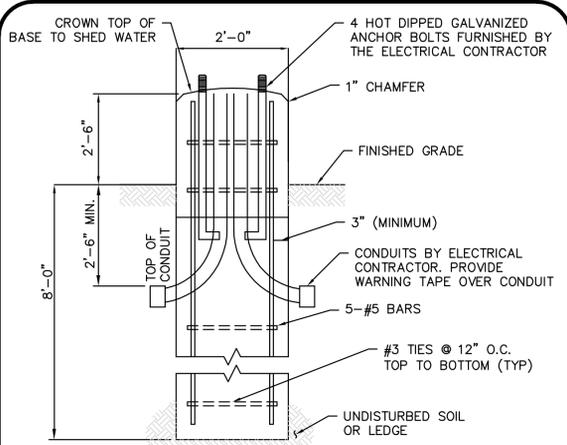
SIGN POST DETAIL
NOT TO SCALE

11



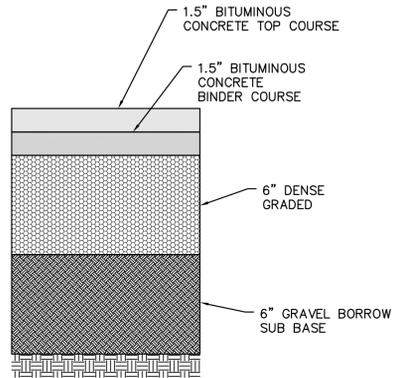
LIGHT POLE BASE-IN LANDSCAPE OR ISLAND
NOT TO SCALE

10



LIGHT POLE BASE-IN PAVEMENT
NOT TO SCALE

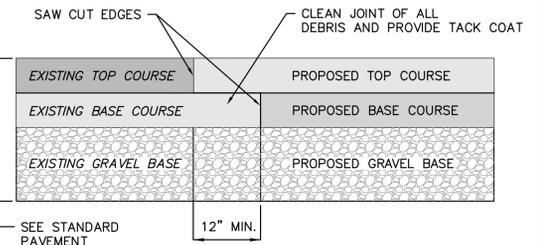
9



PAVEMENT CROSS SECTION
NOT TO SCALE

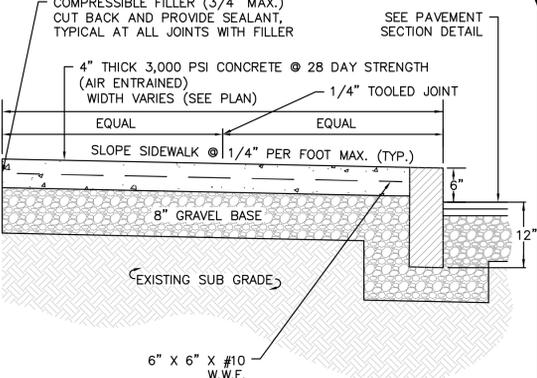
8

NOTE:
TACK COAT - PROVIDE EMULSIFIED ASPHALT WHICH CONFORMS TO THE REQUIREMENTS OF THE STATE SPECIFICATIONS, DILUTED WITH ONE PART WATER TO ONE PART ASPHALT FOLLOWING AASHTO M140/ASTM D997, OR AASHTO M208/ASTM D2397, SS-1H, CSS-1, OR CSS-1H.



PAVEMENT KEY CUT DETAIL
NOT TO SCALE

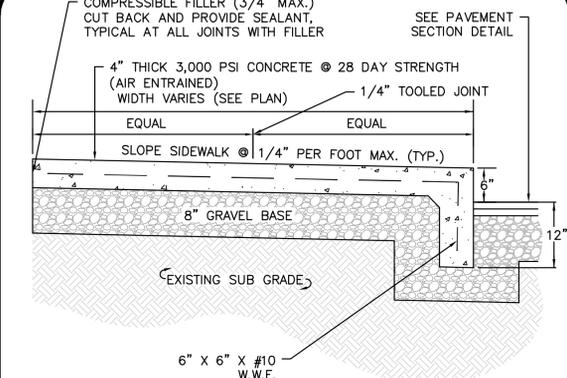
7



NOTES:
1. SIDEWALK TO HAVE TOOLED JOINTS IN A 5' x 5' (TYP.) GRID WITH EXPANSION JOINTS 15' ON CENTER AND PRE MOLDED FILLER.
2. TOOLED JOINT 6" FROM FACE OF CURB
3. SEE PLAN FOR ELEVATIONS AT CURB
4. SEE LAYOUT AND MATERIALS PLAN FOR CURB TYPE

CONCRETE SIDEWALK
NOT TO SCALE

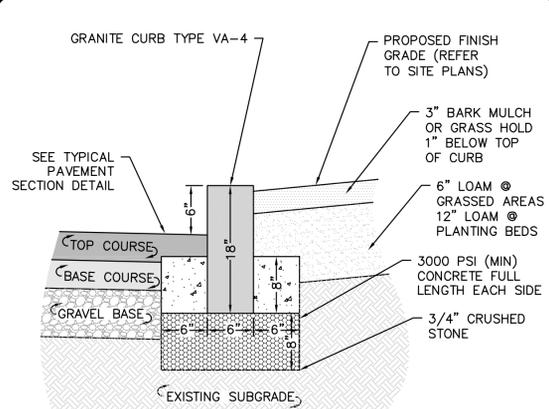
6



NOTES:
1. SIDEWALK TO HAVE TOOLED JOINTS IN A 5' x 5' (TYP.) GRID WITH EXPANSION JOINTS 15' ON CENTER AND PRE MOLDED FILLER.
2. TOOLED JOINT 6" FROM FACE OF CURB
3. SEE PLAN FOR ELEVATIONS AT CURB

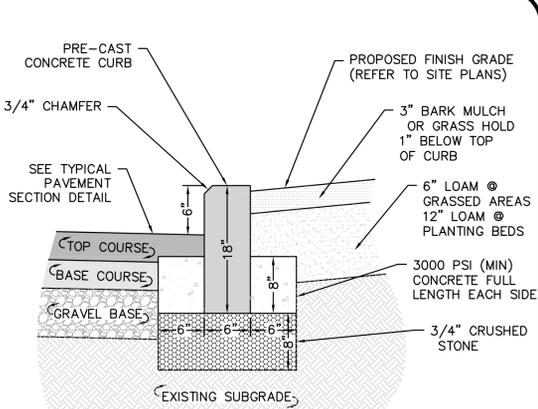
SIDEWALK WITH MONOLITHIC CURB
NOT TO SCALE

5



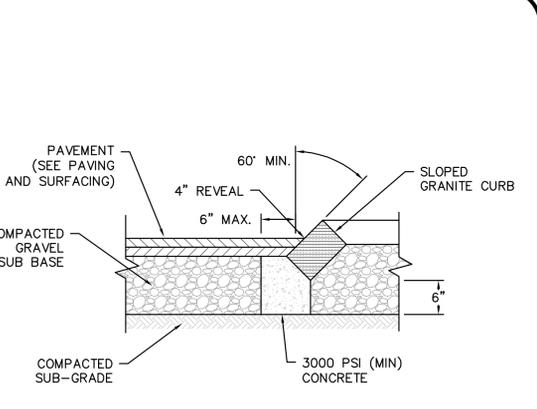
VERTICAL GRANITE CURB
NOT TO SCALE

4



PRECAST CONCRETE CURB
NOT TO SCALE

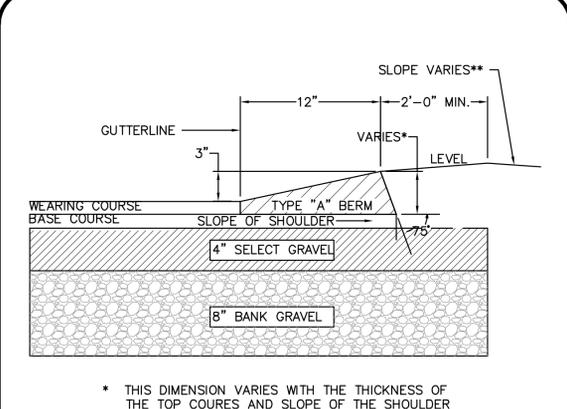
3



NOTES:
1. PLACE AND COMPACT GRAVEL PRIOR TO SETTING SLOPED GRANITE CURB.

SLOPED GRANITE CURB
NOT TO SCALE

2



* THIS DIMENSION VARIES WITH THE THICKNESS OF THE TOP COURSES AND SLOPE OF THE SHOULDER
** SEE TYPICAL SECTIONS FOR PROJECT
NOTE:
1. BITUMINOUS CONCRETE BERM SHALL BE CONSTRUCTED MONOLITHICALLY USING BOTH THE 3" BITUMINOUS BASE COURSE AND THE 1 1/2" WEARING COURSE.

CAPE COD BERM
NOT TO SCALE

1

ISSUED FOR SITE PLAN/SPECIAL PERMIT REVIEW
JULY 31, 2017



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT/OWNER:
WELLESLEY SPORTS CENTER, LLC
41 NORTH ROAD, SUITE 203
BEDFORD, MA 01730

PROJECT:
WELLESLEY SPORTS CENTER
900 WORCESTER STREET
WELLESLEY, MA

PROJECT NO. 2329-01 DATE: 07-31-17

SCALE: AS NOTED DWG. NAME: C2329-01

DESIGNED BY: SMW CHECKED BY: PLC

PREPARED BY:



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DETAILS D-4

