

Site Plans

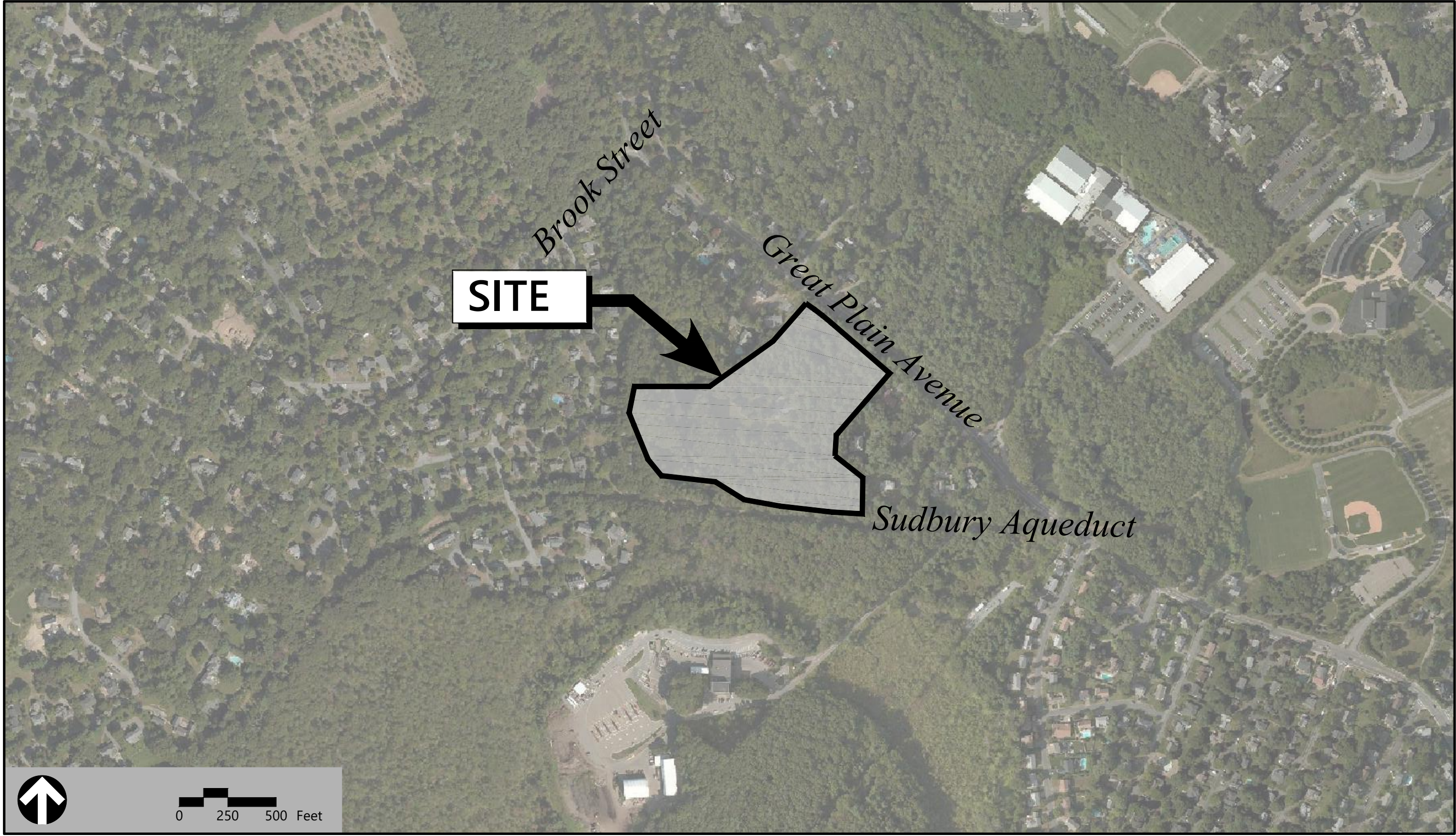
Issued for	Comprehensive Permit Application
Date Issued	February 16, 2018
Latest Issue	February 16, 2018

135 Great Plain Avenue
Wellesley, Massachusetts

Owner/Applicant

Northland Residential Corporation
80 Beharrell Street
Concord, MA 01742

Assessor's Map: 68
Lot: 68-1



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C-6.1-6.3	Site Details	February 16, 2018

Reference Drawings		
No.	Drawing Title	Latest Issue
	Existing Conditions Plan	January 5, 2015
	Existing Conditions Plan	January 5, 2015
L-1.0	Landscape Site Plan	February 16, 2018
L-2.0	Street Tree and Buffer Planting Plan	February 16, 2018
L-2.1	Street Tree and Buffer Planting Plan	February 16, 2018
L-3.0	Entry Landscape Plan	February 16, 2018
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L-5.0	Site Details	February 16, 2018



101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770

Surveyor

CHA
101 Accord Park Drive
Norwel, MA 02061
781.982.5400

Architect

Union Studio
140 Union Street
Providence, RI 02903
401.272.4724

Landscape Architect

Ryan Associates
144 Moody Street
Building 4
Waltham, MA 02453
781.314.0401



Legend					
Exist.	Prop.		Exist.	Prop.	
		PROPERTY LINE			CONCRETE
		PROJECT LIMIT LINE			HEAVY DUTY PAVEMENT
		RIGHT-OF-WAY/PROPERTY LINE			BUILDINGS
		EASEMENT			RIPRAP
		BUILDING SETBACK			CONSTRUCTION EXIT
		PARKING SETBACK			
		BASELINE			TOP OF CURB ELEVATION
		CONSTRUCTION LAYOUT			BOTTOM OF CURB ELEVATION
		ZONING LINE			SPOT ELEVATION
		TOWN LINE			TOP & BOTTOM OF WALL ELEVATION
		LIMIT OF DISTURBANCE			BORING LOCATION
		WETLAND LINE WITH FLAG			TEST PIT LOCATION
		FLOODPLAIN			MONITORING WELL
		BORDERING LAND SUBJECT TO FLOODING			UNDERDRAIN
		WETLAND BUFFER ZONE			DRAIN
		NO DISTURB ZONE			ROOF DRAIN
		200' RIVERFRONT AREA			SEWER
					FORCE MAIN
					OVERHEAD WIRE
					WATER
					FIRE PROTECTION
					DOMESTIC WATER
					GAS
					ELECTRIC
					STEAM
					TELEPHONE
					FIRE ALARM
					CABLE TV
		CATCH BASIN			CATCH BASIN
		DOUBLE CATCH BASIN			DOUBLE CATCH BASIN
		GUTTER INLET			GUTTER INLET
		DRAIN MANHOLE			DRAIN MANHOLE
		TRENCH DRAIN			TRENCH DRAIN
		PLUG OR CAP			PLUG OR CAP
		CLEANOUT			CLEANOUT
		FLARED END SECTION			FLARED END SECTION
		HEADWALL			HEADWALL
		SEWER MANHOLE			SEWER MANHOLE
		CURB STOP & BOX			CURB STOP & BOX
		WATER VALVE & BOX			WATER VALVE & BOX
		TAPPING SLEEVE, VALVE & BOX			TAPPING SLEEVE, VALVE & BOX
		SIAMESE CONNECTION			SIAMESE CONNECTION
		FIRE HYDRANT			FIRE HYDRANT
		WATER METER			WATER METER
		POST INDICATOR VALVE			POST INDICATOR VALVE
		WATER WELL			WATER WELL
		GAS GATE			GAS GATE
		GAS METER			GAS METER
		ELECTRIC MANHOLE			ELECTRIC MANHOLE
		ELECTRIC METER			ELECTRIC METER
		LIGHT POLE			LIGHT POLE
		TELEPHONE MANHOLE			TELEPHONE MANHOLE
		TRANSFORMER PAD			TRANSFORMER PAD
		UTILITY POLE			UTILITY POLE
		GUY POLE			GUY POLE
		GUY WIRE & ANCHOR			GUY WIRE & ANCHOR
		HAND HOLE			HAND HOLE
		PULL BOX			PULL BOX
		MATCHLINE			MATCHLINE

		MINOR CONTOUR
		MAJOR CONTOUR
		PARKING COUNT
		COMPACT PARKING STALLS
		DOUBLE YELLOW LINE
		STOP LINE
		CROSSWALK
		ACCESSIBLE CURB RAMP
		ACCESSIBLE PARKING
		VAN-ACCESSIBLE PARKING

Abbreviations	
General	
ABAN	ABANDON
ACR	ACCESSIBLE CURB RAMP
ADJ	ADJUST
APPROX	APPROXIMATE
BIT	BITUMINOUS
BS	BOTTOM OF SLOPE
BWLL	BROKEN WHITE LANE LINE
CONC	CONCRETE
DYCL	DOUBLE YELLOW CENTER LINE
EL	ELEVATION
ELEV	ELEVATION
EX	EXISTING
FDN	FOUNDATION
FFE	FIRST FLOOR ELEVATION
GRAN	GRANITE
GTD	GRADE TO DRAIN
LA	LANDSCAPE AREA
LOD	LIMIT OF DISTURBANCE
MAX	MAXIMUM
MIN	MINIMUM
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
PERF	PERFORATED
PROP	PROPOSED
REM	REMOVE
RET	RETAIN
R&D	REMOVE AND DISPOSE
R&R	REMOVE AND RESET
SWL	SOLID WHITE EDGE LINE
SWLL	SOLID WHITE LANE LINE
TS	TOP OF SLOPE
TYP	TYPICAL
Utility	
CB	CATCH BASIN
CMP	CORRUGATED METAL PIPE
CO	CLEANOUT
DCB	DOUBLE CATCH BASIN
DMH	DRAIN MANHOLE
CIP	CAST IRON PIPE
COND	CONDUIT
DIP	DUCTILE IRON PIPE
FES	FLARED END SECTION
FM	FORCE MAIN
F&G	FRAME AND GRATE
F&C	FRAME AND COVER
GI	GUTTER INLET
GT	GREASE TRAP
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HH	HANDHOLE
HW	HEADWALL
HYD	HYDRANT
INV	INVERT ELEVATION
I=	INVERT ELEVATION
LP	LIGHT POLE
MES	METAL END SECTION
PIV	POST INDICATOR VALVE
PWW	PAVED WATER WAY
PVC	POLYVINYLCHLORIDE PIPE
RCP	REINFORCED CONCRETE PIPE
R=	RIM ELEVATION
SMH	SEWER MANHOLE
TSV	TAPPING SLEEVE, VALVE AND BOX
UG	UNDERGROUND
UP	UTILITY POLE

Notes	
Existing Conditions Information	
1.	THE EXISTING CONDITIONS INFORMATION SHOWN HEREON IS THE RESULT OF AN ON-THE-GROUND SURVEY PERFORMED BY CHA CONSULTING, INC., ON OR BETWEEN JULY AND DECEMBER 2014.
2.	TOPOGRAPHY: ELEVATIONS ARE BASED ON TOWN OF WELLESLEY VERTICAL DATUM, WHICH IS -5.50' FROM NGVD 29.
3.	THE PROJECT AREA IS LOCATED IN FLOOD ZONE "A, X & SFHAs" AS SHOWN ON FLOOD INSURANCE RATE MAP FOR THE TOWN OF WELLESLEY, COMMUNITY PANEL NUMBER 25021C0017E, EFFECTIVE DATE JULY 17, 2012.
4.	RESOURCE AREA FLAGS SHOWN HEREIN ARE BASED ON FIELD DELINEATION BY JAMES B. HALL, PWS ON JULY 8, 2014, NOVEMBER 14, 2014 AND SUBSEQUENT FIELD ADJUSTMENTS DURING PEER REVIEW ON MAY 21, 2015. FLAG LOCATIONS CORRESPOND TO THE APPROVED ORAD ISSUED BY THE WELLESLEY CONSERVATION COMMISSION ON JUNE 16, 2015.
5.	THE 100' BVW AND 200' RFA RESOURCE BUFFERS ARE SHOWN IN CONFORMANCE WITH THE MASSACHUSETTS WETLAND PROTECTION ACT.
6.	BUILDINGS SHOWN WITHIN THE PROPERTY BOUNDARIES ON THE EXISTING CONDITIONS PLAN HAVE BEEN DEMOLISHED, WITH THE EXCEPTION OF THE STONE BUILDING THAT IS BEING RELOCATED.
Document Use	
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135 Great Plain Avenue
Wellesley, Massachusetts

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Legend and
General Notes

Drawing Number

C-1

Sheet	of
1	8
Project Number	
13936.00	



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Zoning Summary Chart

Zoning District(S):	Single Residence 20	
Zoning Regulation Requirements	Required	Provided
MINIMUM LOT AREA	20,000 SF	525,031 SF
FRONTAGE	60 Feet	450 Feet
FRONT YARD SETBACK	30 Feet	10.1 Feet
SIDE YARD SETBACK	20 Feet	17.2 Feet
REAR YARD SETBACK	20 Feet	162 Feet
MINIMUM LOT WIDTH	60 Feet	450 Feet
MAXIMUM BUILDING COVERAGE	15.0%	13.7%

Sign Summary

M.U.T.C.D. Number	Specification Width	Height	Desc.
R1-1	30"	30"	

Legend

AFFORDABLE UNIT



0 20 40 80 Feet

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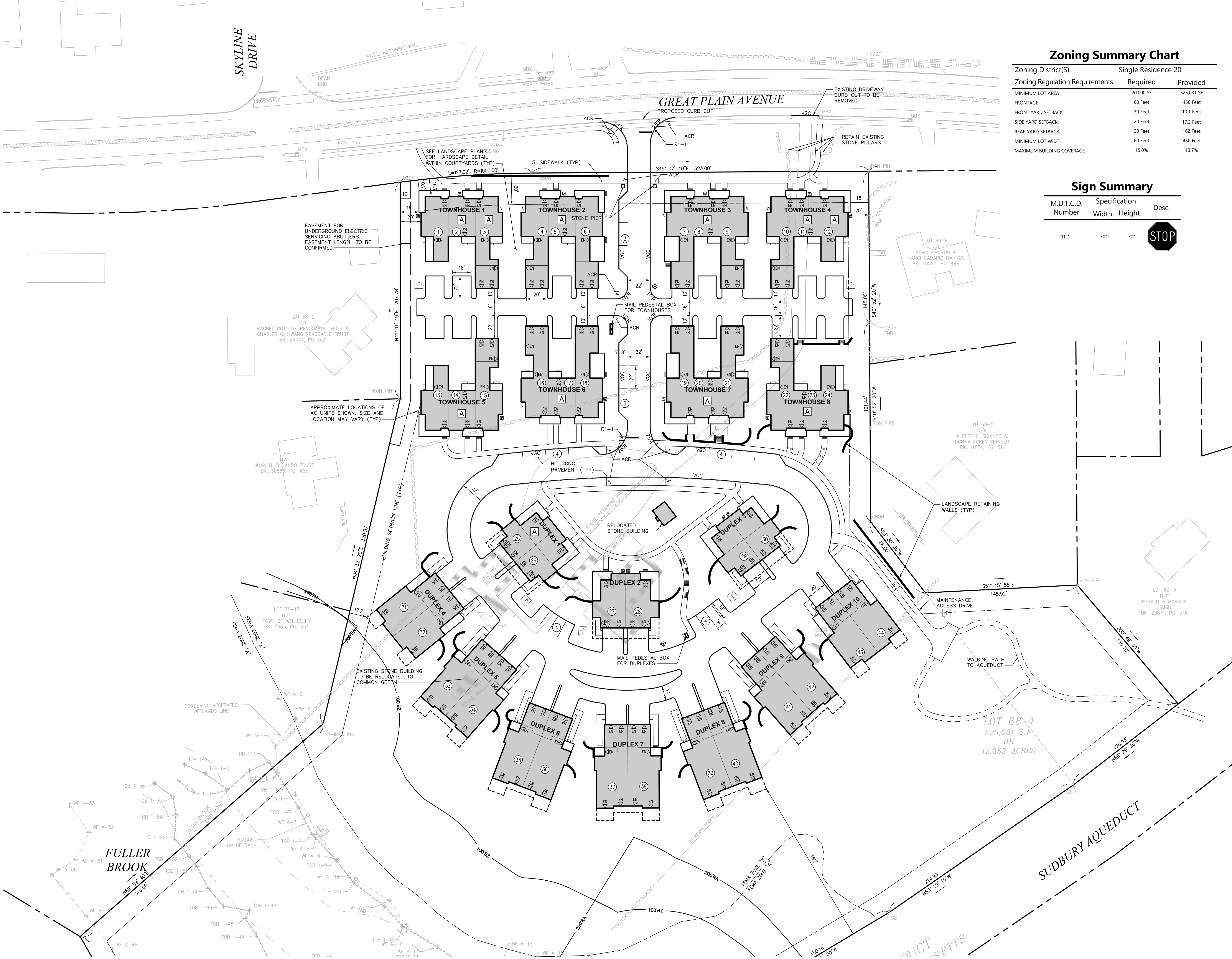
Layout and
Materials Plan



C-2

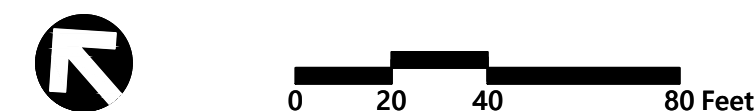
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13936.00



Notes

1. DRAINAGE
 - 1.1. STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE (HDPE).
 - 1.2. PIPE INVERTS WILL BE SET TO MEET MINIMUM COVER, SLOPE AND CAPACITY REQUIREMENTS.
 - 1.3. ROOF DRAINS ARE TO BE ROUTED TO THE DETENTION AND INFILTRATION SYSTEMS AS INDICATED IN THE STORMWATER MANAGEMENT REPORT.
 - 1.4. REFER TO THE PROJECT'S STORMWATER MANAGEMENT REPORT FOR ADDITIONAL INFORMATION ABOUT THE DRAINAGE COLLECTION AND TREATMENT SYSTEM AND CONFORMANCE TO THE STATE STORMWATER STANDARDS.

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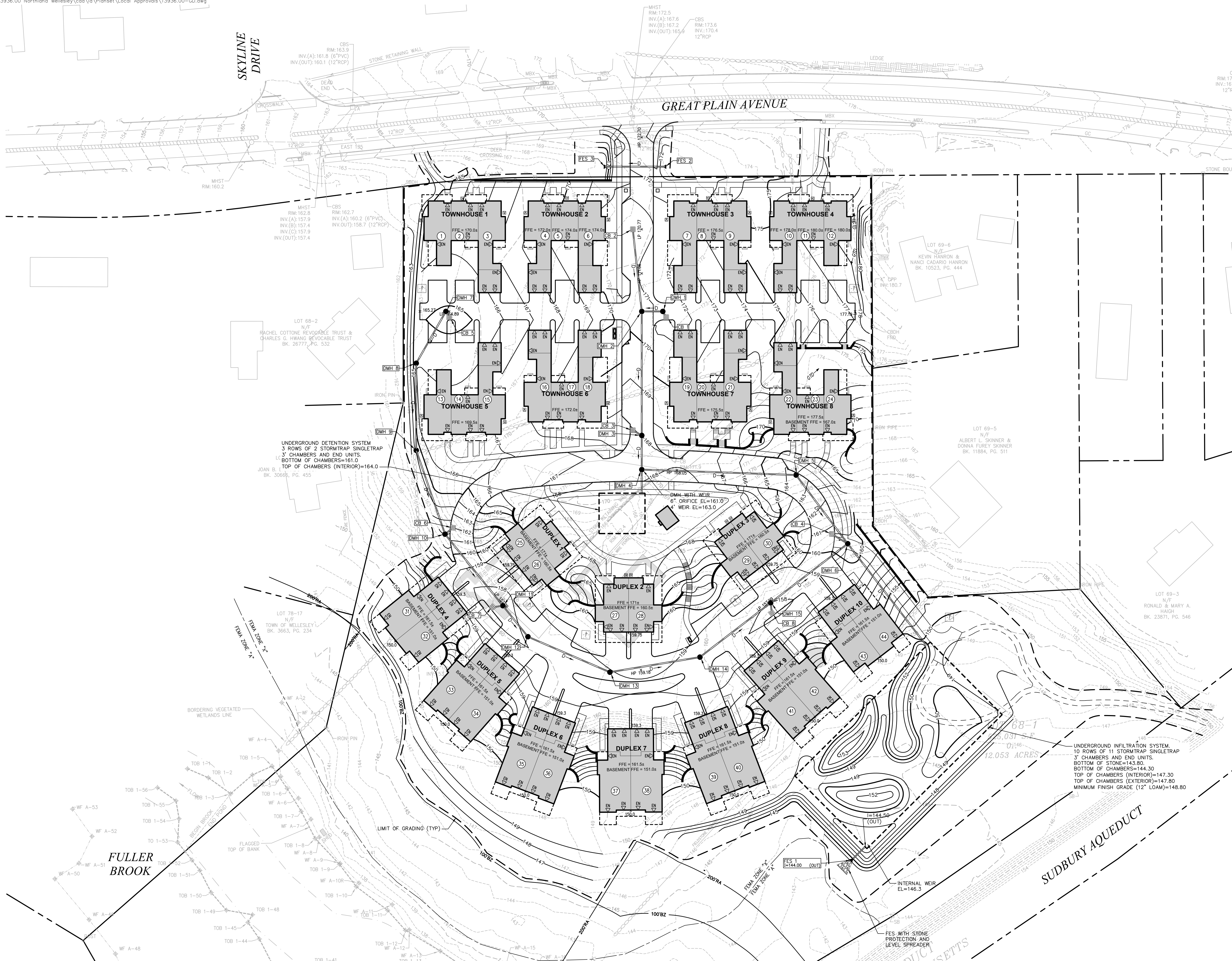
Grading and Drainage Plan

Drawing Number:

C-3

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Notes

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 - 1.2. PIPE INVERTS WILL BE SET TO MEET MINIMUM COVER, SLOPE AND CAPACITY REQUIREMENTS.
 - 1.3. ROOF DRAINS ARE TO BE ROUTED TO THE DETENTION AND INFILTRATION SYSTEMS AS INDICATED IN THE STORMWATER MANAGEMENT REPORT.
 - 1.4. REFER TO THE PROJECT'S STORMWATER MANAGEMENT REPORT FOR ADDITIONAL INFORMATION ABOUT THE DRAINAGE COLLECTION AND TREATMENT SYSTEM AND CONFORMANCE TO THE STATE STORMWATER STANDARDS.
2. SEWER
 - 2.1. SANITARY SEWER PIPES SHALL BE POLYVINYL CHLORIDE (PVC) SDR-35 SEWER PIPE.
 - 2.2. SEWER PIPE INVERTS WILL BE SET TO MEET MINIMUM COVER, SLOPE AND CAPACITY REQUIREMENTS.
3. WATER PIPES SHALL BE CLASS 52 CEMENT LINED DUCTILE IRON.
4. ELECTRIC, GAS AND TELECOM STRUCTURES AND PIPE/CONDUIT SHALL MEET THE INDIVIDUAL UTILITY PROVIDER REQUIREMENTS.



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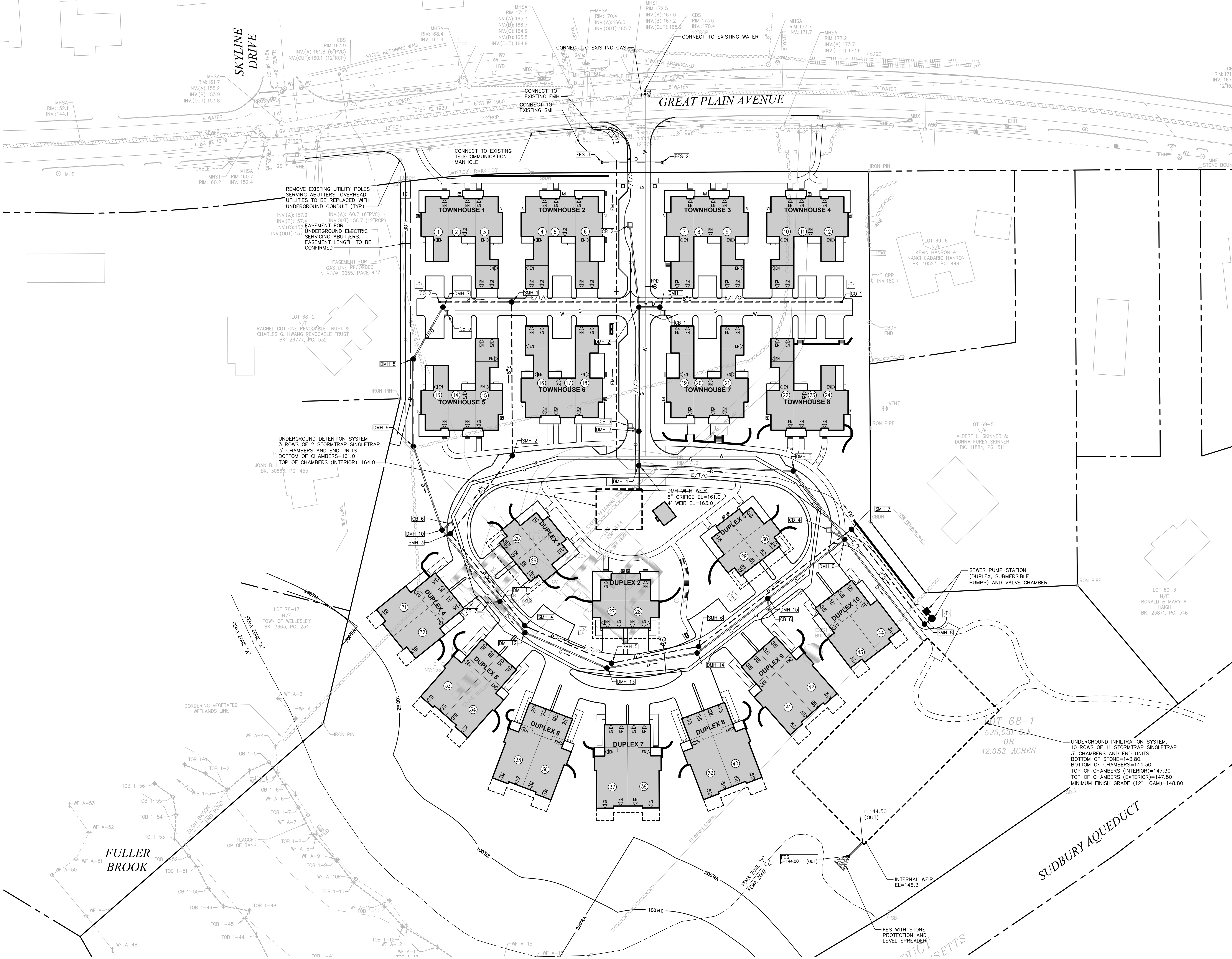
Drawing Title
Utility Plan



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Erosion and Sediment Control Notes

THE EROSION CONTROL MEASURES ON THIS PLAN SHOW TYPICAL APPLICATIONS TO PREVENT SEDIMENTATION AND EROSION, AND ARE PROVIDED AS A STARTING POINT FOR CONTRACTOR'S STORMWATER POLLUTION PREVENTION PLAN (SWPPP).

General Requirements:

1. THIS PROJECT DISTURBS MORE THAN ONE ACRE OF LAND AND FALLS WITHIN THE NPDES CONSTRUCTION GENERAL PERMIT (CGP) PROGRAM AND EPA JURISDICTION. PRIOR TO THE START OF CONSTRUCTION, CONSTRUCTION MANAGER IS TO FILE CGP NOTICE OF INTENT WITH THE EPA AND PREPARE A STORMWATER POLLUTION PREVENTION PLAN IN ACCORDANCE WITH THE NPDES REGULATIONS. CONSTRUCTION MANAGER SHALL CONFIRM THE OWNER HAS ALSO FILED A NOTICE OF INTENT WITH THE EPA.
2. THE CONTRACTOR IS RESPONSIBLE FOR THE IMPLEMENTATION, INSPECTION, AND REPAIR OF THE EROSION CONTROLS. THE OWNER SHALL BE RESPONSIBLE FOR INSPECTION AND OPERATION OF THE STORM WATER MANAGEMENT SYSTEM UPON COMPLETION OF CONSTRUCTION.
3. THE CONTRACTOR SHALL LIMIT THE EXTENT OF DISTURBANCE AND STABILIZE SURFACES AS SOON AS POSSIBLE. THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN UNTREATED OR UNVEGETATED CONDITION FOR A MINIMUM TIME. AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 15 DAYS OF FINAL GRADING (7 DAYS IF WITHIN 100 FEET OF A STREAM, POND OR WETLAND).
4. THE CONTRACTOR MAY ELECT TO CONSTRUCT TEMPORARY DIVERSION SWALES AND SETTLING BASINS IN PRESENTLY DISTURBED AREAS.
5. AT NO TIME SHALL SILT-LADEN WATER BE ALLOWED TO ENTER SENSITIVE AREAS (OFF-SITE AREAS, WETLAND RESOURCE AREAS, DRAINAGE SYSTEMS AND STORMWATER MANAGEMENT AREAS). ANY RUNOFF FROM DISTURBED SURFACES SHALL BE DIRECTED THROUGH SETTLING BASINS, FILTERED CATCH BASIN INLETS AND EROSION CONTROL BARRIERS PRIOR TO ENTERING ANY SENSITIVE AREAS.
6. REFUELING OF CONSTRUCTION VEHICLES AND EQUIPMENT SHALL NOT BE CONDUCTED IN PROXIMITY TO CATCH BASINS.
7. NO ON-SITE DISPOSAL OF SOLID WASTE, INCLUDING BUILDING MATERIALS, IS ALLOWED.
8. NO MATERIALS SHALL BE DISPOSED OF INTO THE EXISTING OR PROPOSED DRAINAGE SYSTEMS. ALL CONTRACTORS, INCLUDING CONCRETE SUPPLIERS, PAINTERS AND PLASTERERS, SHALL BE INFORMED THAT THE CLEANING OF EQUIPMENT IS PROHIBITED IN AREAS WHERE THE WASH-WATER WILL DRAIN DIRECTLY TO DRAINAGE SYSTEMS.
9. CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL, WHICH SHALL INCLUDE STREET SWEEPING OF ALL PAVED SURFACES WITHIN THE SITE AND OFF-SITE AREAS THAT ARE IMPACTED BY SITE CONSTRUCTION ON A REGULAR BASIS, AS NEEDED.
10. ALL SITE WORK SHALL BE STABILIZED AT THE END OF THE WORK DAY OR PRIOR TO ANTICIPATED CONDITIONS WHICH COULD CAUSE EROSION OR AIR-BORNE SEDIMENT PROBLEMS (I.E., RAIN, HIGH WINDS, EXPOSED SURFACES OR STEEP SLOPES).

Pre-Construction:

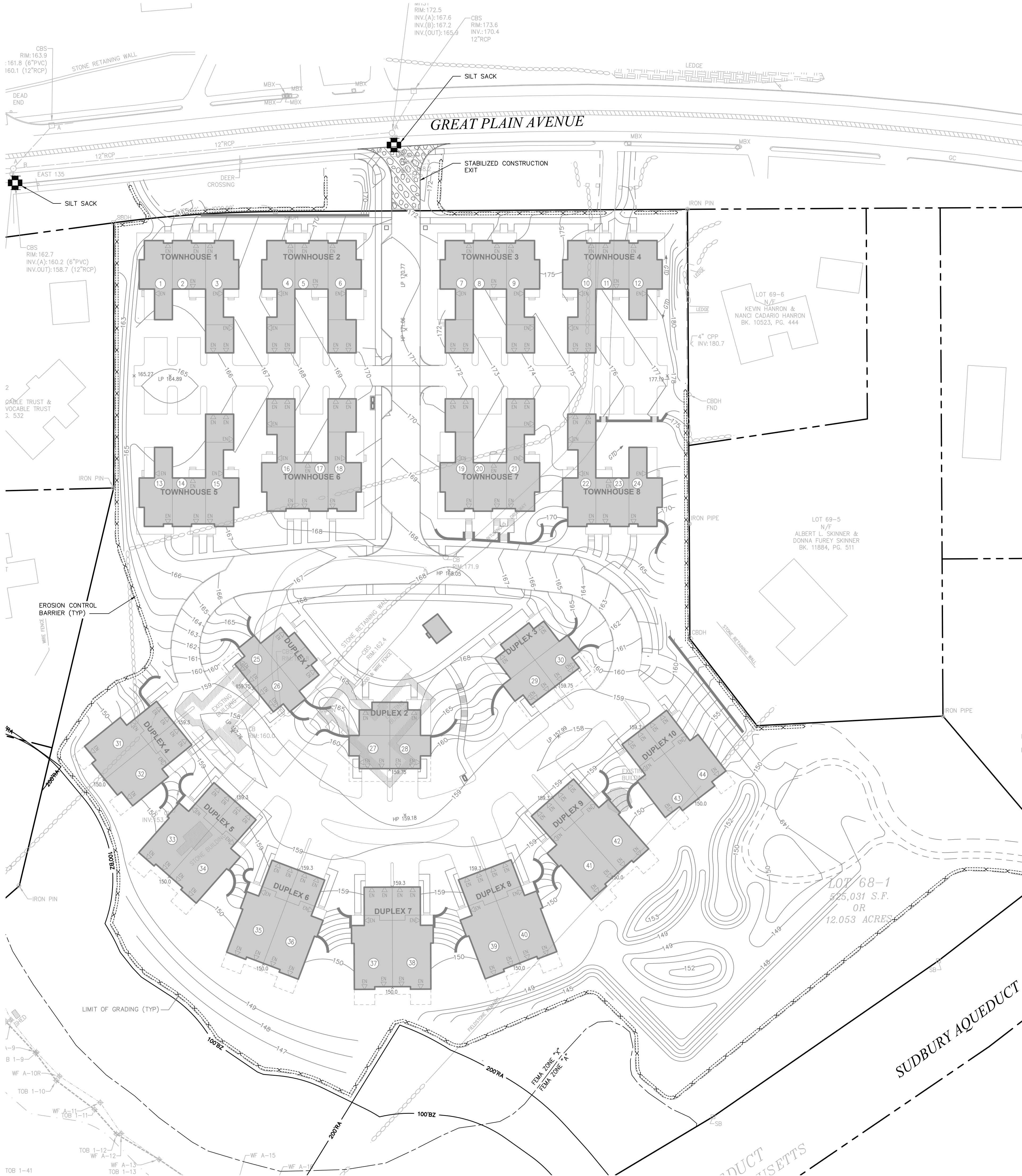
1. AN EROSION CONTROL BARRIER (SILT FENCE, STRAW WATTLE OR SILT SOCK) SHALL BE INSTALLED TO LIMIT THE AREA OF DISTURBANCE. THIS IS ESPECIALLY IMPORTANT ON PORTIONS OF THE SITE ADJACENT TO SENSITIVE AREAS. THESE BARRIERS SHALL REMAIN IN PLACE UNTIL ALL TRIBUTARY SURFACES HAVE BEEN FULLY STABILIZED. INSTALL EROSION CONTROL BARRIER TO AVOID EXISTING TREES AND UNDERBRUSH TO MAXIMUM EXTENT POSSIBLE.
2. TEMPORARY STONE ACCESS AREAS SHALL BE ESTABLISHED AT THE DRIVEWAY ENTRANCES TO COLLECT ENTRAPPED SOILS AND SEDIMENT FROM CONSTRUCTION AND SERVICE VEHICLES ENTERING AND LEAVING THE SITE. THE STONE SHALL BE REPLACED REGULARLY AS WELL AS WHEN THE STONE IS SILT LADEN. THE CONSTRUCTION ENTRANCES SHALL BE LEFT IN PLACE UNTIL THE PERMANENT DRIVEWAY SURFACE IS INSTALLED.
3. THE CONTRACTOR SHALL ESTABLISH STAGING AREAS WITHIN THE AREA OF DISTURBANCE FOR THE OVERNIGHT STORAGE OF EQUIPMENT AND STOCKPILING OF MATERIALS.
4. CONSTRUCTION MATERIALS SHALL BE PILED IN SUCH A MANNER AS NOT TO CONCENTRATE RUNOFF.
5. IN THE STAGING AREA, THE CONSTRUCTION MANAGER SHALL HAVE A STOCKPILE OF MATERIALS REQUIRED TO CONTROL EROSION ON-SITE TO BE USED TO SUPPLEMENT OR REPAIR EROSION CONTROL DEVICES. THESE MATERIALS SHALL INCLUDE, BUT ARE NOT LIMITED TO, STRAW BALES, SILT FENCE AND CRUSHED STONE.
6. THE CONSTRUCTION MANAGER IS RESPONSIBLE FOR EROSION CONTROL ON SITE AND SHALL UTILIZE EROSION CONTROL MEASURES WHERE NEEDED AND WHEN NEEDED, REGARDLESS OF WHETHER THE MEASURES ARE SPECIFIED HEREIN OR IN CONDITIONS ISSUED BY PERMITTING AUTHORITIES.

Preliminary Site Work:

1. MATERIAL REMOVED SHOULD BE STOCKPILED, SEPARATING THE TOPSOIL FOR FUTURE USE ON THE SITE. EROSION CONTROLS SHALL BE UTILIZED ALONG THE DOWN SLOPE SIDE OF THE PILES IF THE PILES ARE TO REMAIN MORE THAN THREE WEEKS. RUNOFF SHALL BE DIRECTED AWAY FROM STOCKPILES.
2. STOCKPILES SHALL BE LOCATED WITHIN THE LIMITS OF DISTURBANCE, IN AREAS OF MINIMAL IMPACT.
3. IF INTENSE RAINFALL IS ANTICIPATED, THE INSTALLATION OF SUPPLEMENTAL SILT FENCES, OR ARMORED DIKES SHALL BE UTILIZED.

Drainage System:

1. THE DRAINAGE SYSTEM SHALL BE INSTALLED FROM THE DOWNSTREAM END UP. SEDIMENT SHALL NOT BE ALLOWED TO ENTER THE SYSTEM. UNTREATED RUNOFF SHALL NOT BE ALLOWED TO DIRECTLY ENTER DRAINAGE SYSTEM FROM UNSTABILIZED SURFACES.
2. FOR THE LONG-TERM FUNCTION OF THE INFILTRATION BASIN(S)/STRUCTURE(S), CARE SHALL BE TAKEN IN THE INFILTRATION AREAS. DURING CONSTRUCTION THE CONTRACTOR SHALL EMPLOY THE FOLLOWING MINIMUM BEST MANAGEMENT PRACTICES (BMPs):
 - 2.1. INFILTRATION AREAS SHALL NOT BE USED AS TEMPORARY CONSTRUCTION SEDIMENTATION BASINS WITHOUT THE PRIOR APPROVAL OF THE ENGINEER. IF INFILTRATION AREAS ARE USED AS TEMPORARY SEDIMENTATION BASINS DURING CONSTRUCTION, THEN THE SOILS SHALL BE EXCAVATED A MINIMUM OF 2' FROM THE TEMPORARY BASIN BOTTOM TO REMOVE CLOGGED SOILS.
 - 2.2. STORMWATER RUNOFF FROM EXPOSED SURFACES SHALL BE DIRECTED AWAY FROM THE INFILTRATION BASIN(S)/STRUCTURE(S) DURING CONSTRUCTION
 - 2.3. CONSTRUCTION EQUIPMENT, VEHICULAR TRAFFIC, PARKING OF VEHICLES, AND STOCKPIILING OF CONSTRUCTION MATERIALS SHALL BE LOCATED OUTSIDE OF THE INFILTRATION AREAS.
 - 2.4. EXCAVATION FOR CONSTRUCTION OF THE INFILTRATION BASIN(S)/STRUCTURE(S) SHALL ENSURE THAT THE SOIL AT THE BOTTOM OF THE EXCAVATION IS NOT COMPACTED OR SMEARED.
 - 2.5. THE PERIMETER OF THE INFILTRATION AREAS SHALL BE STAKED AND FLAGGED TO PREVENT THE USE OF THE AREA FOR ACTIVITIES THAT MIGHT DAMAGE THE INFILTRATION ABILITY OF THE SYSTEM.
3. SILT FENCES SHALL BE INSTALLED AT THE OUTFALLS OF ALL TEMPORARY BASINS AND SWALES. THEY SHALL REMAIN IN PLACE UNTIL ALL TRIBUTARY AREAS ARE STABILIZED.
4. UNTIL TRIBUTARY AREAS ARE STABILIZED FILTERED CATCH BASIN SILT SACKS SHALL COVER CATCH BASINS TO MINIMIZE SILTATION IN THE CATCH BASINS.
5. TRENCH EXCAVATIONS SHALL BE LIMITED TO THE MINIMUM LENGTH REQUIRED FOR DAILY PIPE INSTALLATION. ALL TRENCHES SHALL BE BACKFILLED AS SOON AS POSSIBLE. THE ENDS OF PIPES SHALL BE BLOCKED NIGHTLY WITH PLYWOOD.
6. IF UNSTABLE AREAS ARE ENCOUNTERED DUE TO NATURAL SPRINGS OR GROUNDWATER BREAKOUT, INTERCEPTOR DRAINS SHALL BE INSTALLED TO DIRECT THE RUNOFF INTO THE DRAINAGE SYSTEM.
7. ALL SWALES MUST BE MAINTAINED AND KEPT FREE OF OBSTRUCTIONS TO ALLOW UNIMPEDED FLOW.
8. THE BINDER COURSE OF PAVEMENT WITH BERMS SHALL BE INSTALLED AS SOON AS FEASIBLE AS THIS AREA WILL FUNCTION AS A CONDUIT FOR RUNOFF.
9. IMMEDIATELY FOLLOWING PAVING THE SHOULDERS SHALL BE GRADED, LOAMED AND SEEDED AND MULCHED IF NECESSARY. ALL SURFACES SHOULD BE RAPIDLY AND THOROUGHLY STABILIZED TO THEIR FINAL CONDITION TO AVOID ENTRY OF SEDIMENTS IN THE DRAINAGE SYSTEM.
10. UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, CONTRACTOR SHALL REMOVE AND DISPOSE OF EROSION CONTROL MEASURES AND CLEAN SEDIMENT AND DEBRIS FROM ENTIRE DRAINAGE AND SEWER SYSTEMS.



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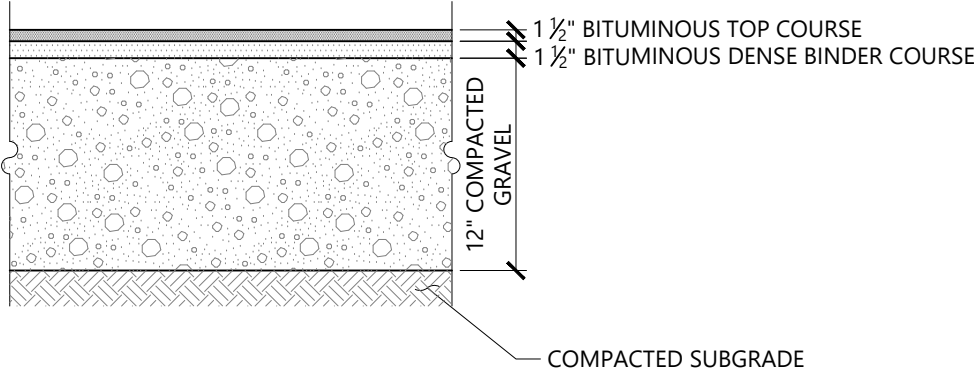
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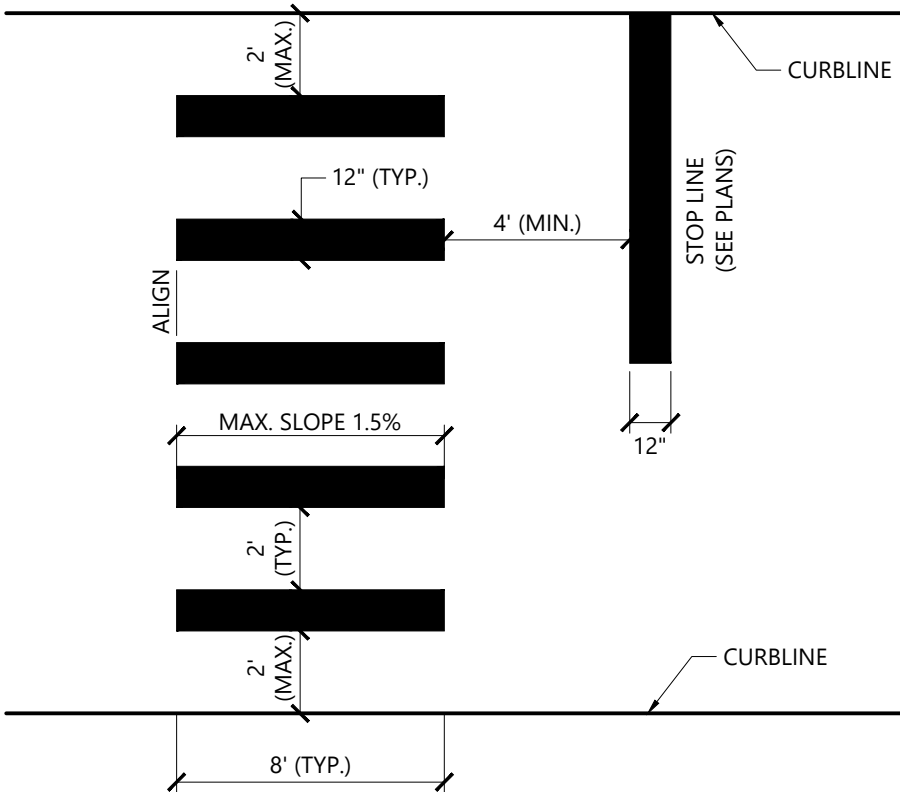
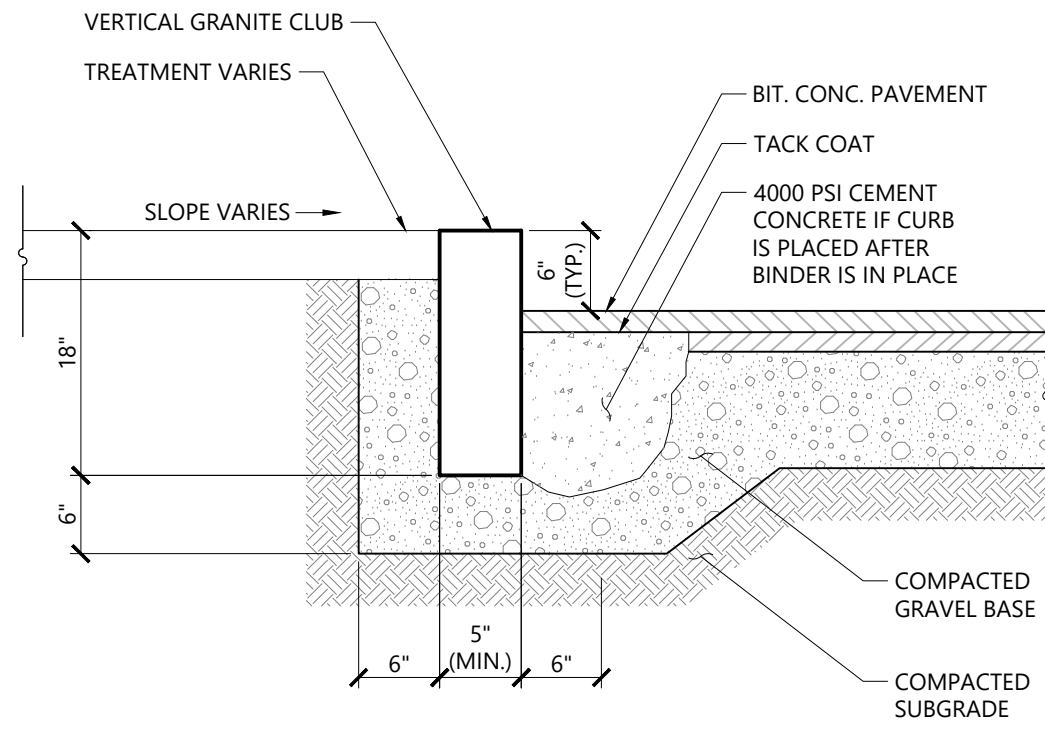
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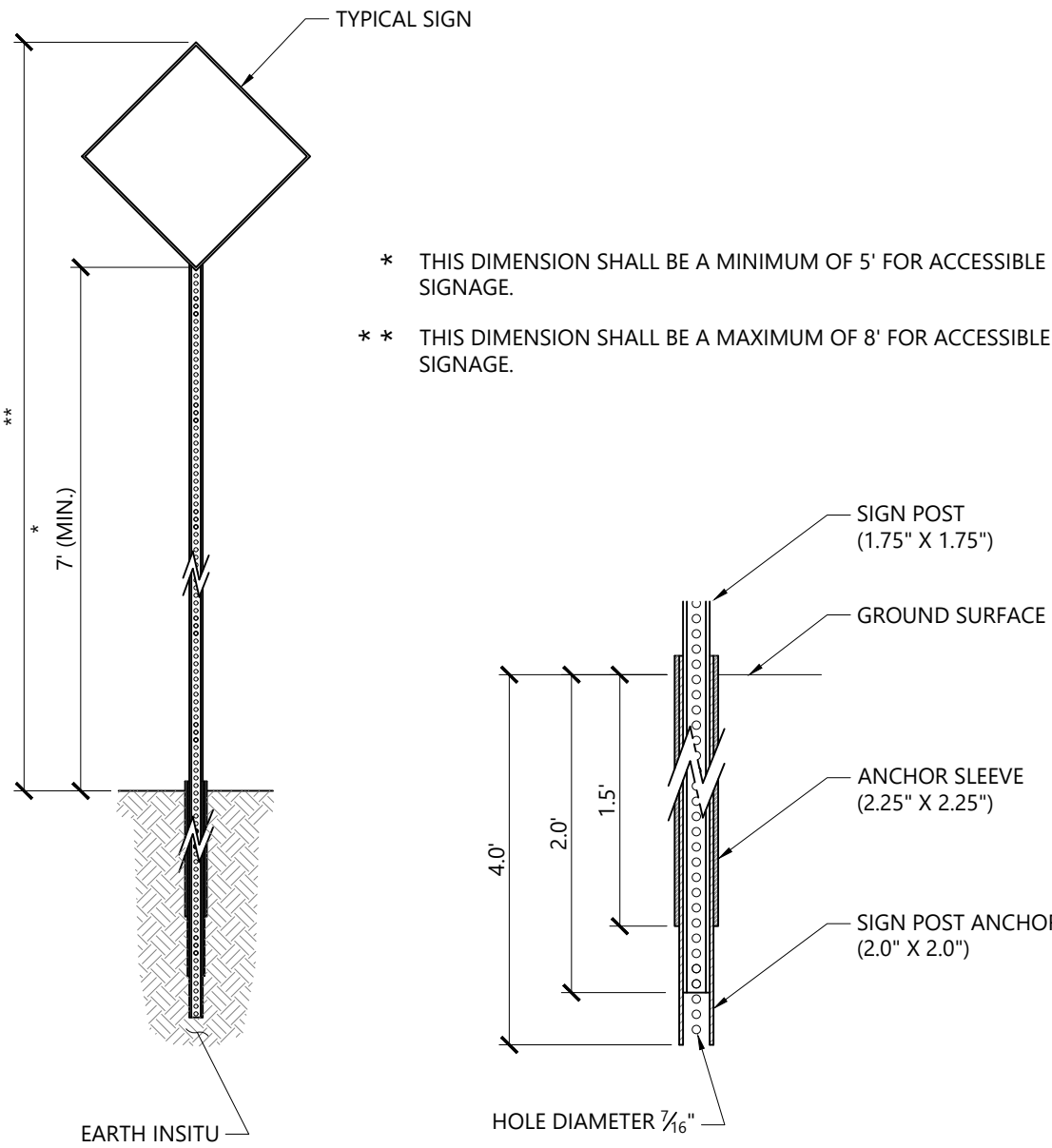
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STANDARD DUTY FLEXIBLE PAVEMENT



- NOTES**
1. TWELVE INCH (12") LINES SHALL BE APPLIED IN ONE APPLICATION, NO COMBINATION OF LINES (TWO - 6 INCH LINES) WILL BE ACCEPTED.
 2. LONGITUDINAL CROSSWALK LINES TO BE PARALLEL TO CURBLINE.
 3. ALL LONGITUDINAL CROSSWALK LINES TO BE THE SAME LENGTH AND PROPERLY ALIGNED.
 4. CROSS WALK SIDESLOPE SHALL NOT EXCEED 1.5%.



Bituminous Concrete Pavement Sections 1/16
N.T.S. Source: VHB REV LD_430

Vertical Granite Curb (VGC) 1/16
N.T.S. Source: VHB LD_402

Crosswalk 1/16
N.T.S. Source: VHB LD_553

Sign Post - Type 'B' 1/16
N.T.S. Source: VHB LD_702

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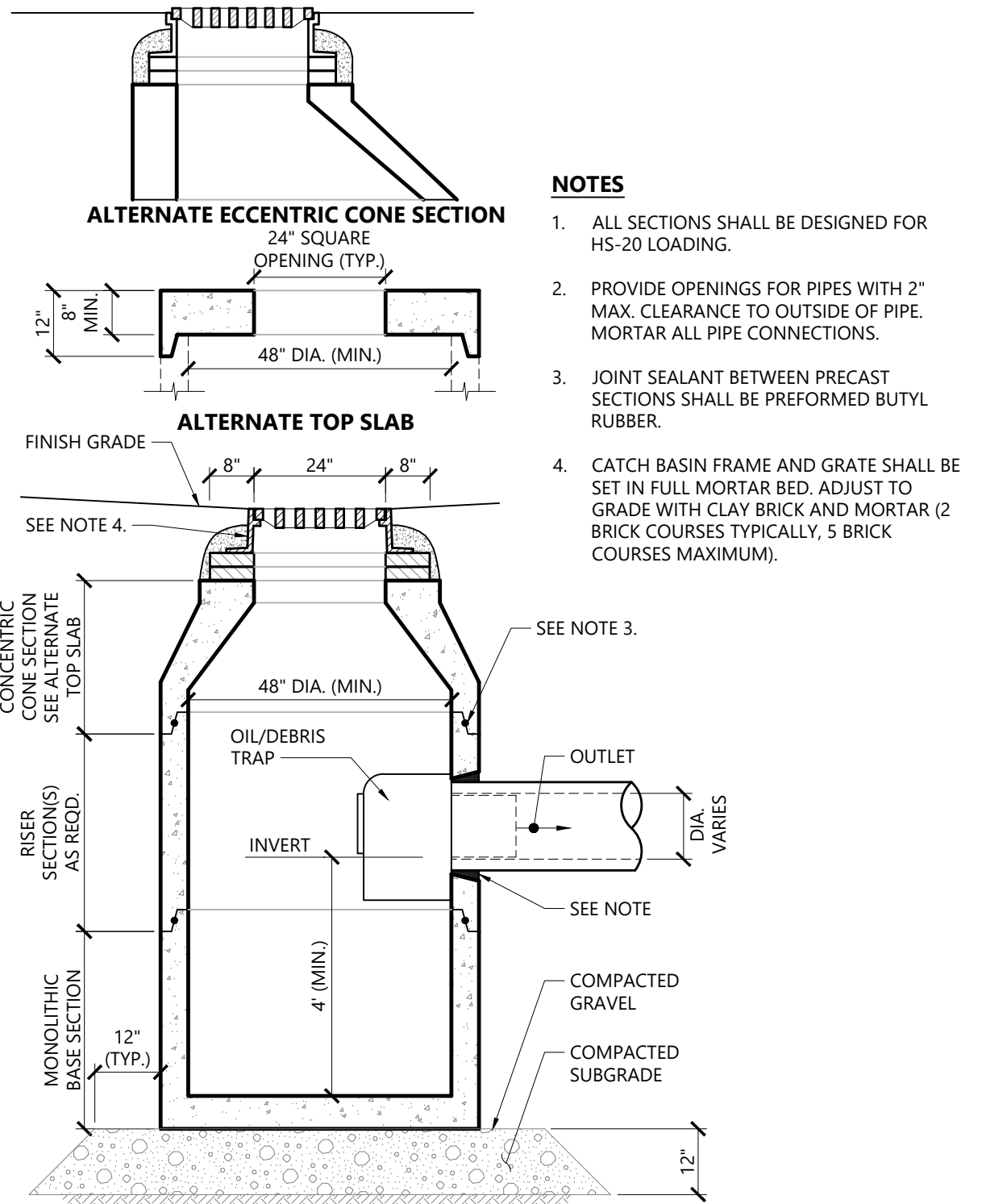
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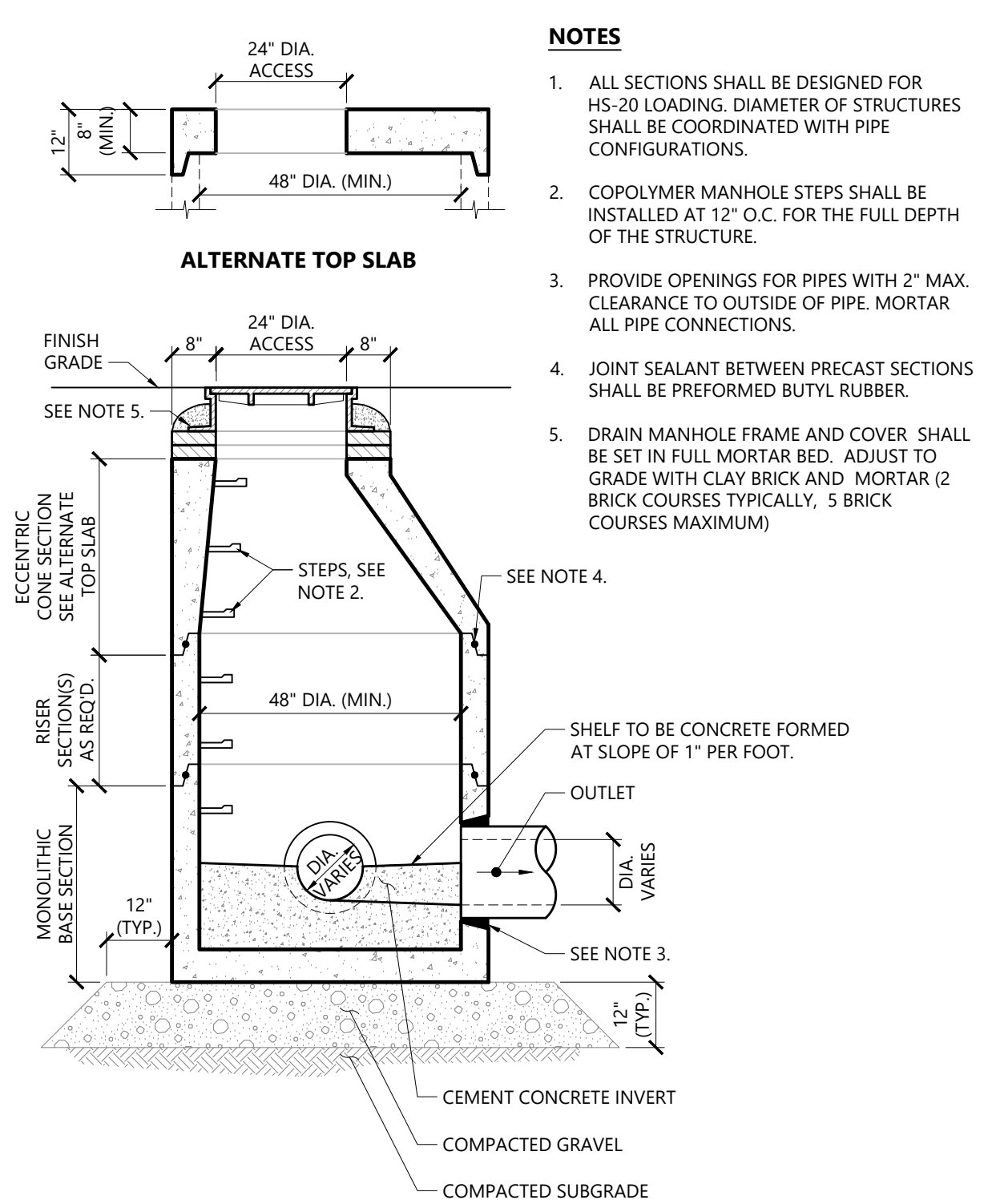
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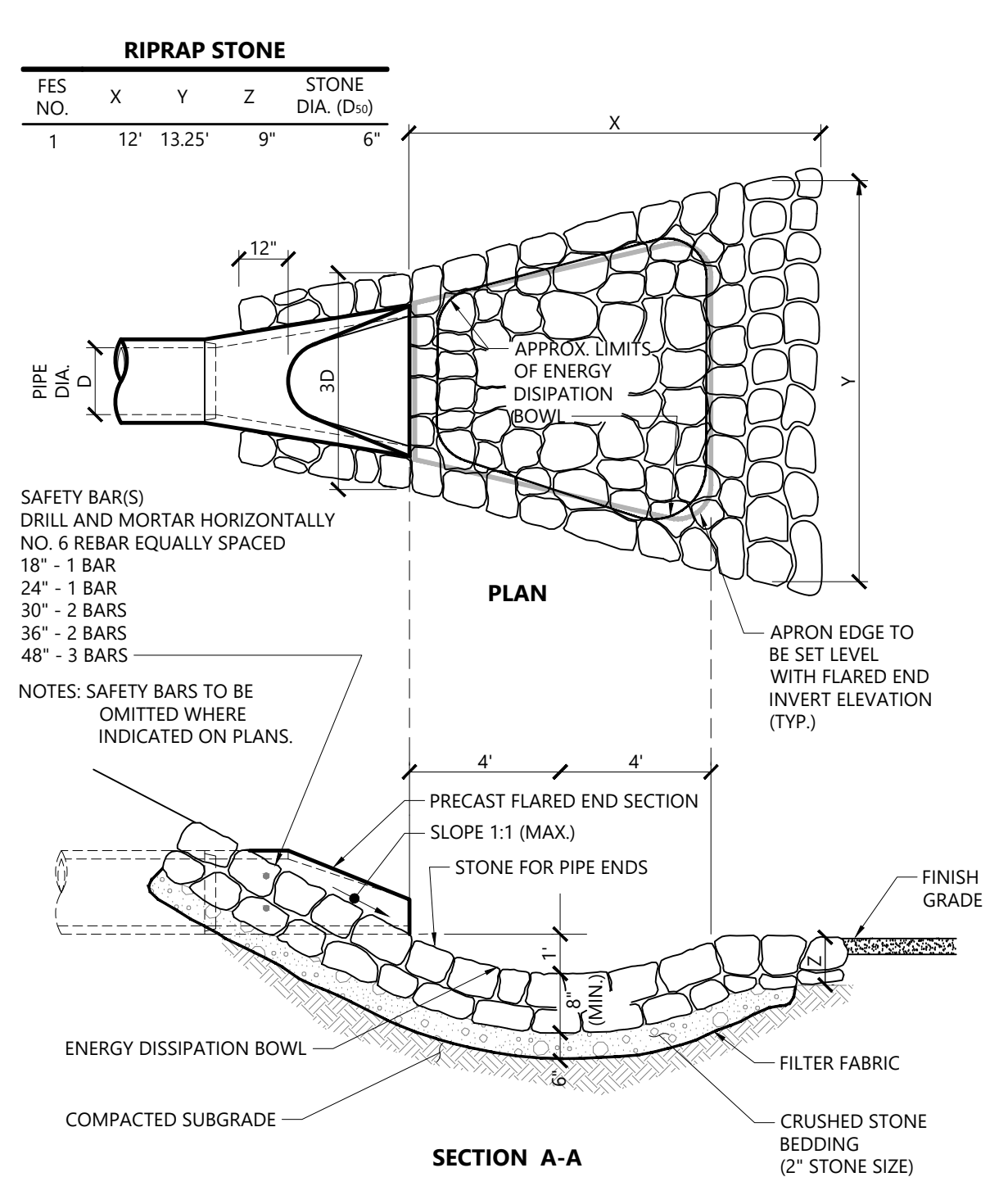
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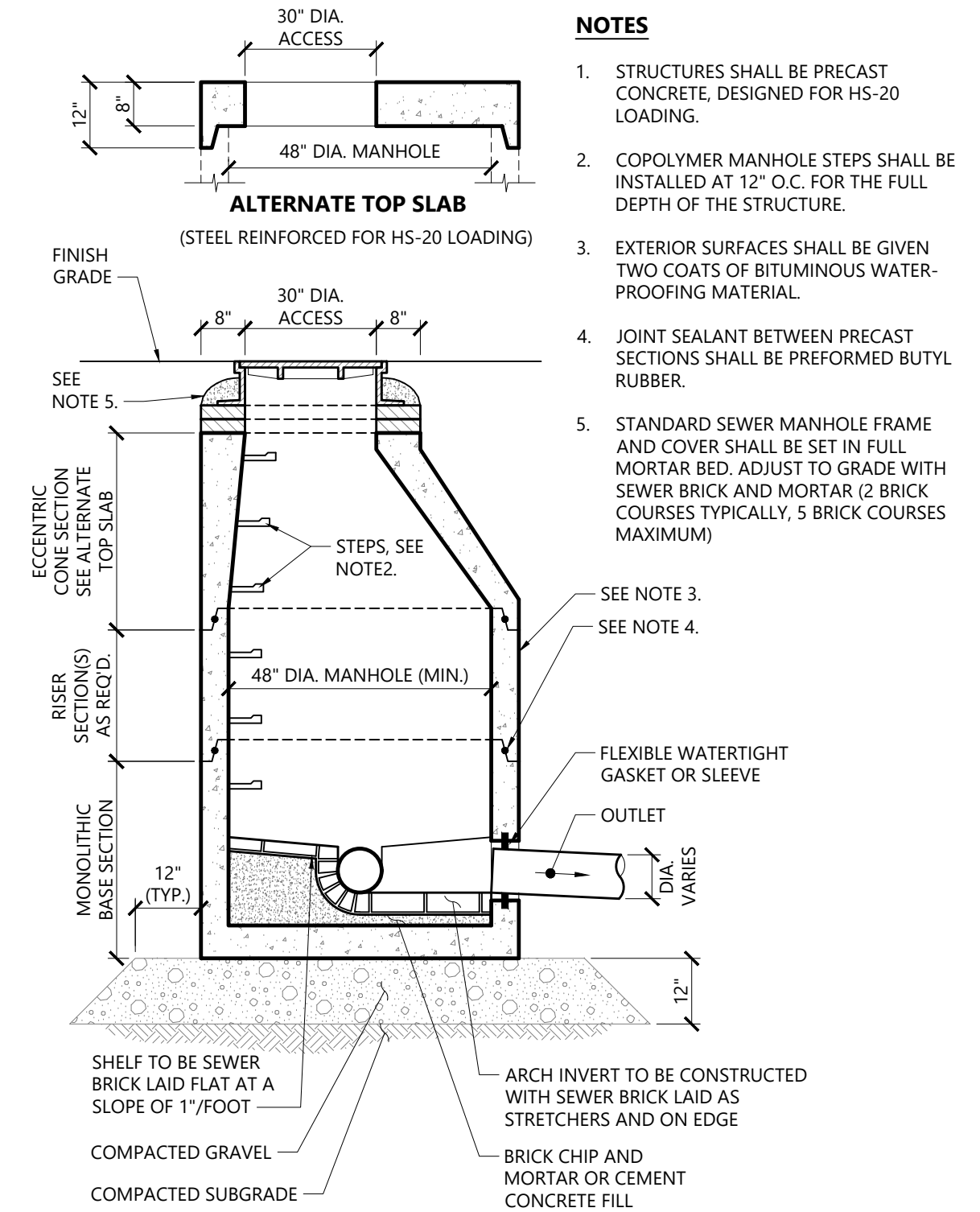
Catch Basin (CB) With Oil/Debris Trap 1/16
N.T.S. Source: VHB LD_101



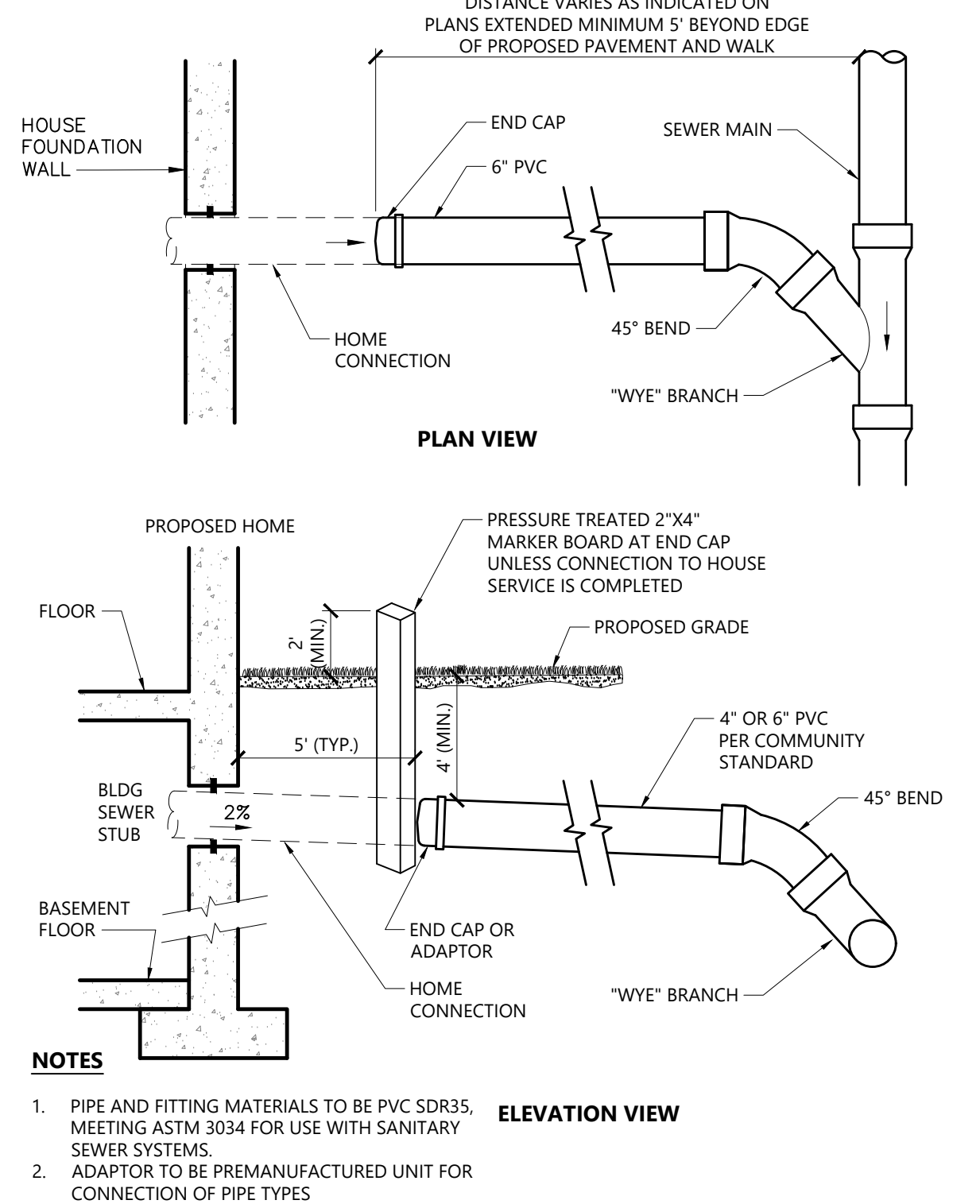
Drain Manhole (DMH) 1/16
N.T.S. Source: VHB LD_115



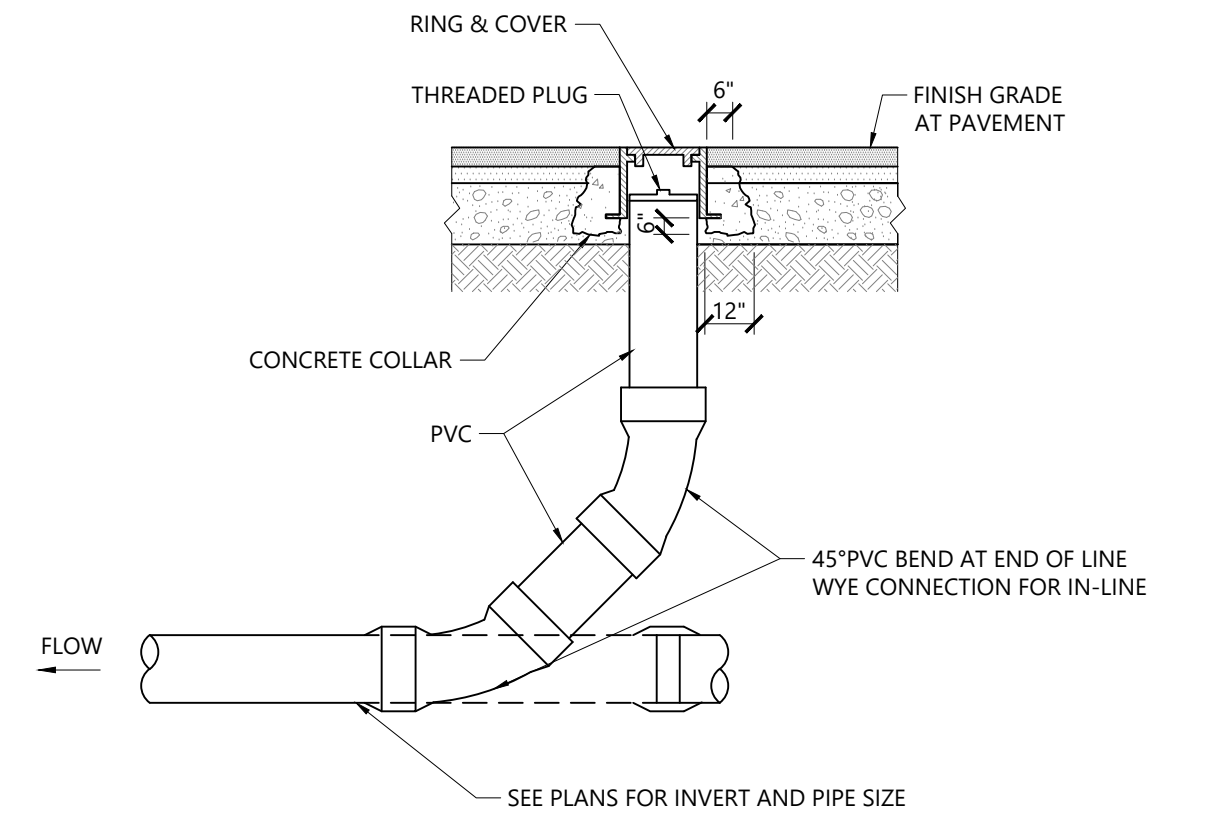
Flared End Section (FES) with Stone Protection 1/16
N.T.S. Source: VHB LD_134



Sanitary Sewer Manhole (SMH) 1/16
N.T.S. Source: VHB LD_200



Typical Wye Connection Detail (Residential) 1/16
N.T.S. Source: VHB LD_223



Cleanout - Paved Area 1/16
N.T.S. Source: VHB LD_303

No.	Revision	Date	Appr.

Designed by	WNNM	Checked by	CRQ
Issued for		Date	

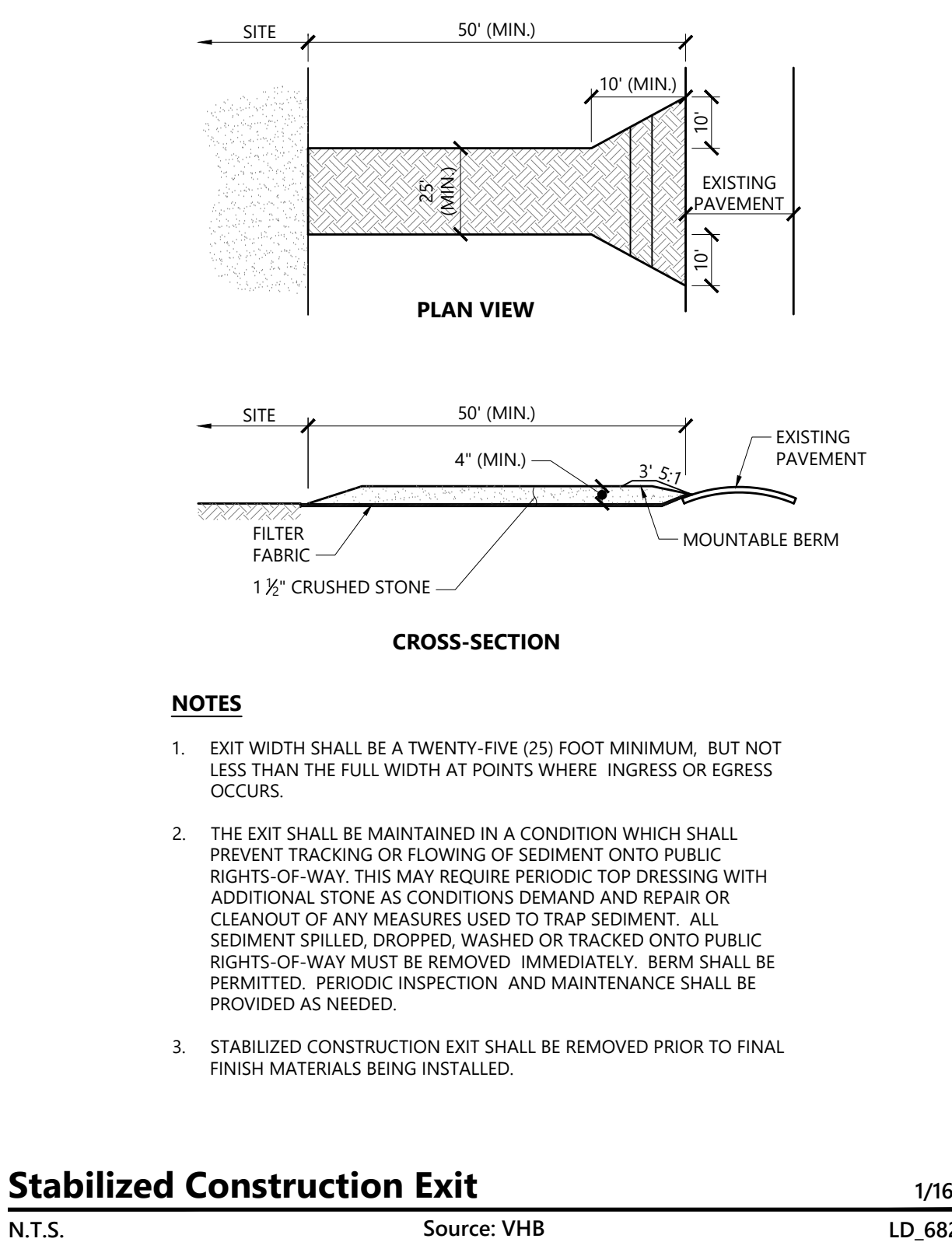
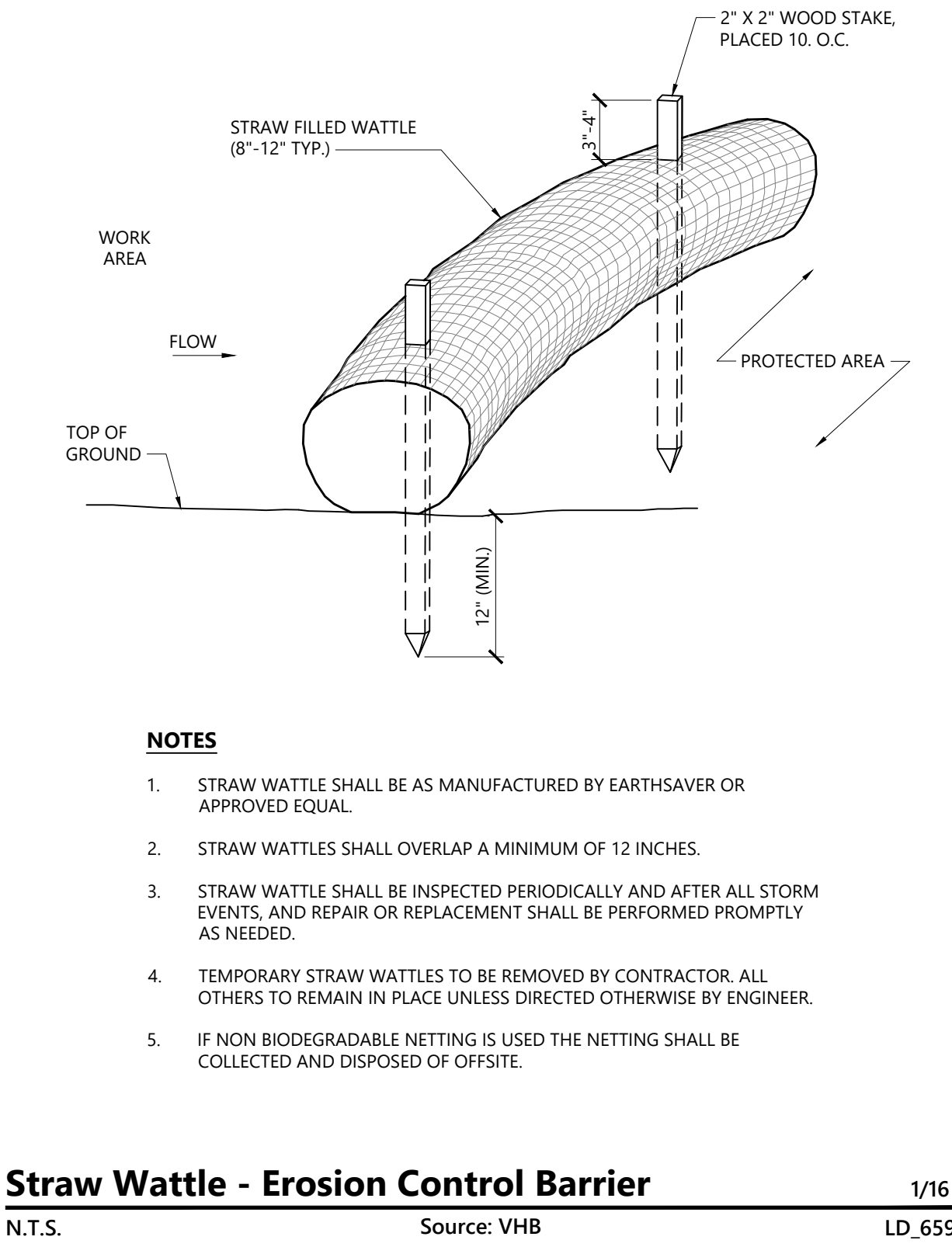
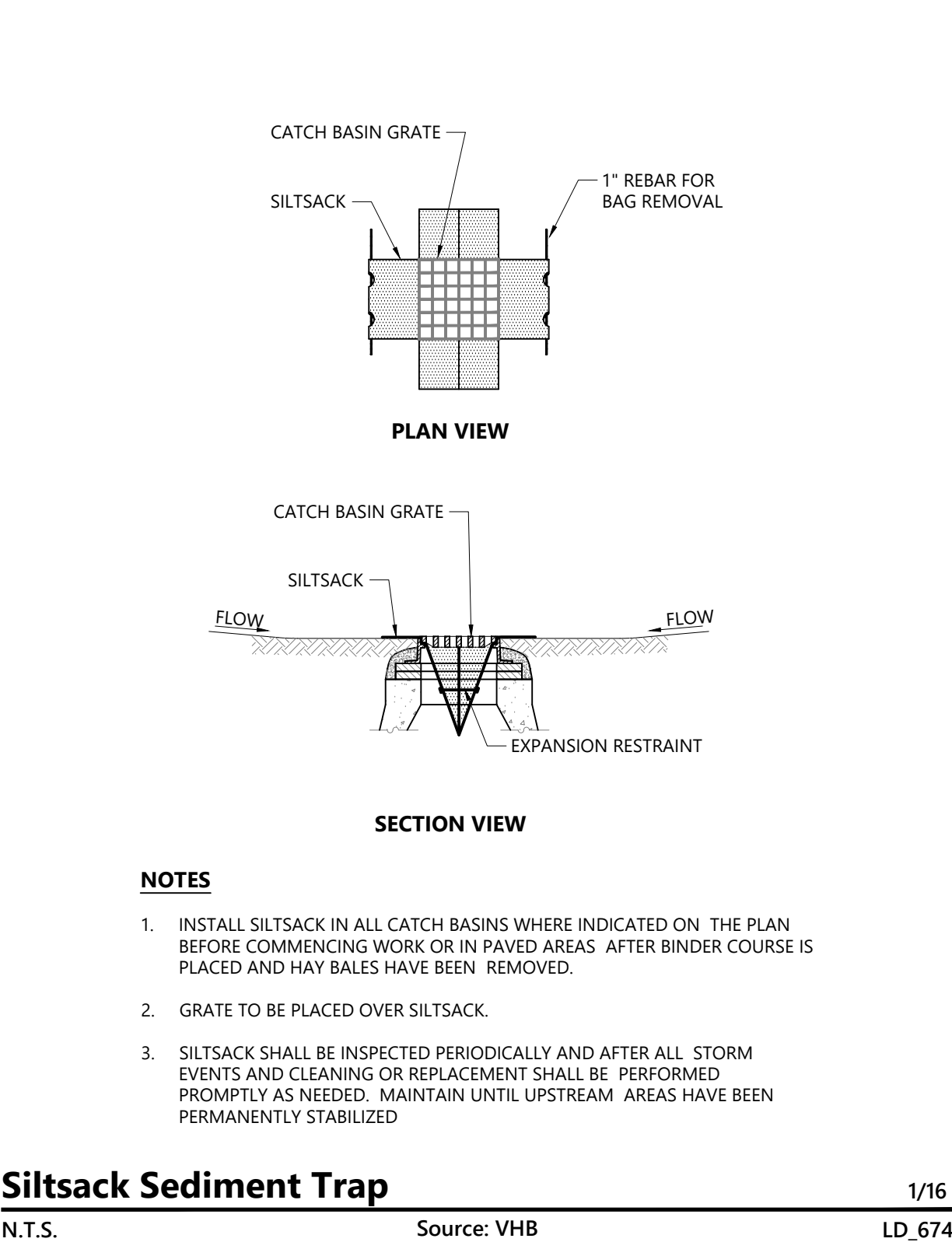
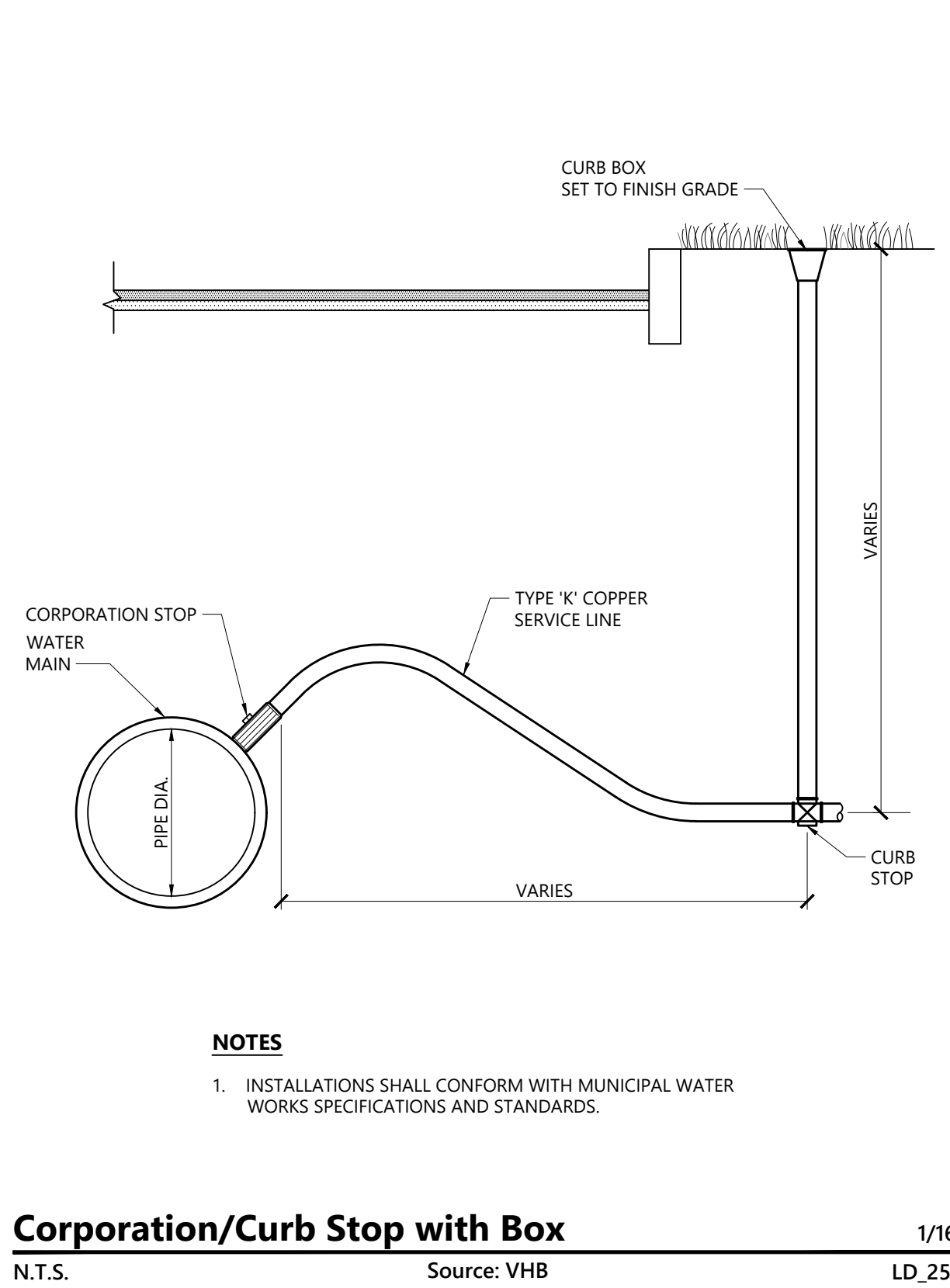
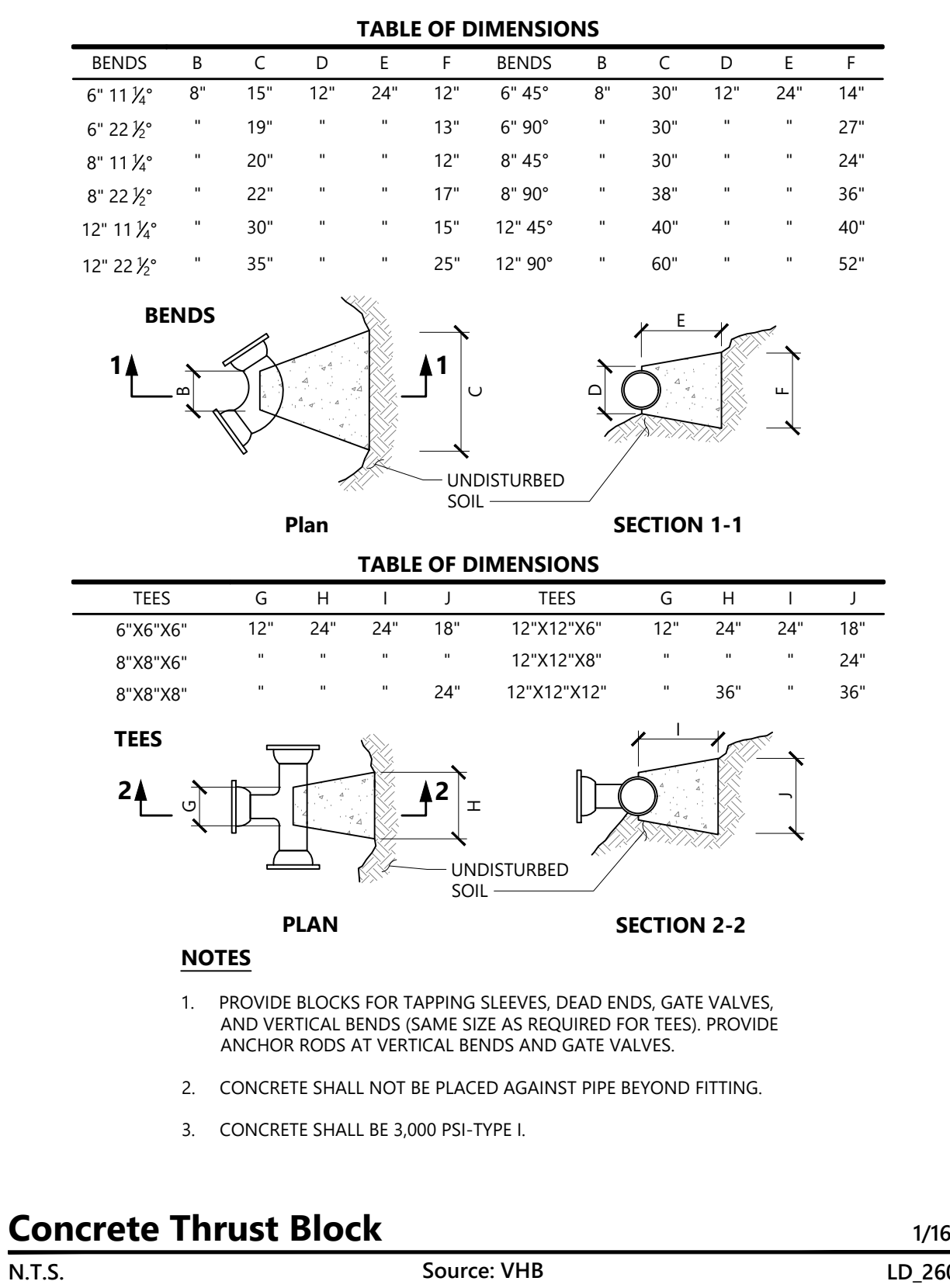
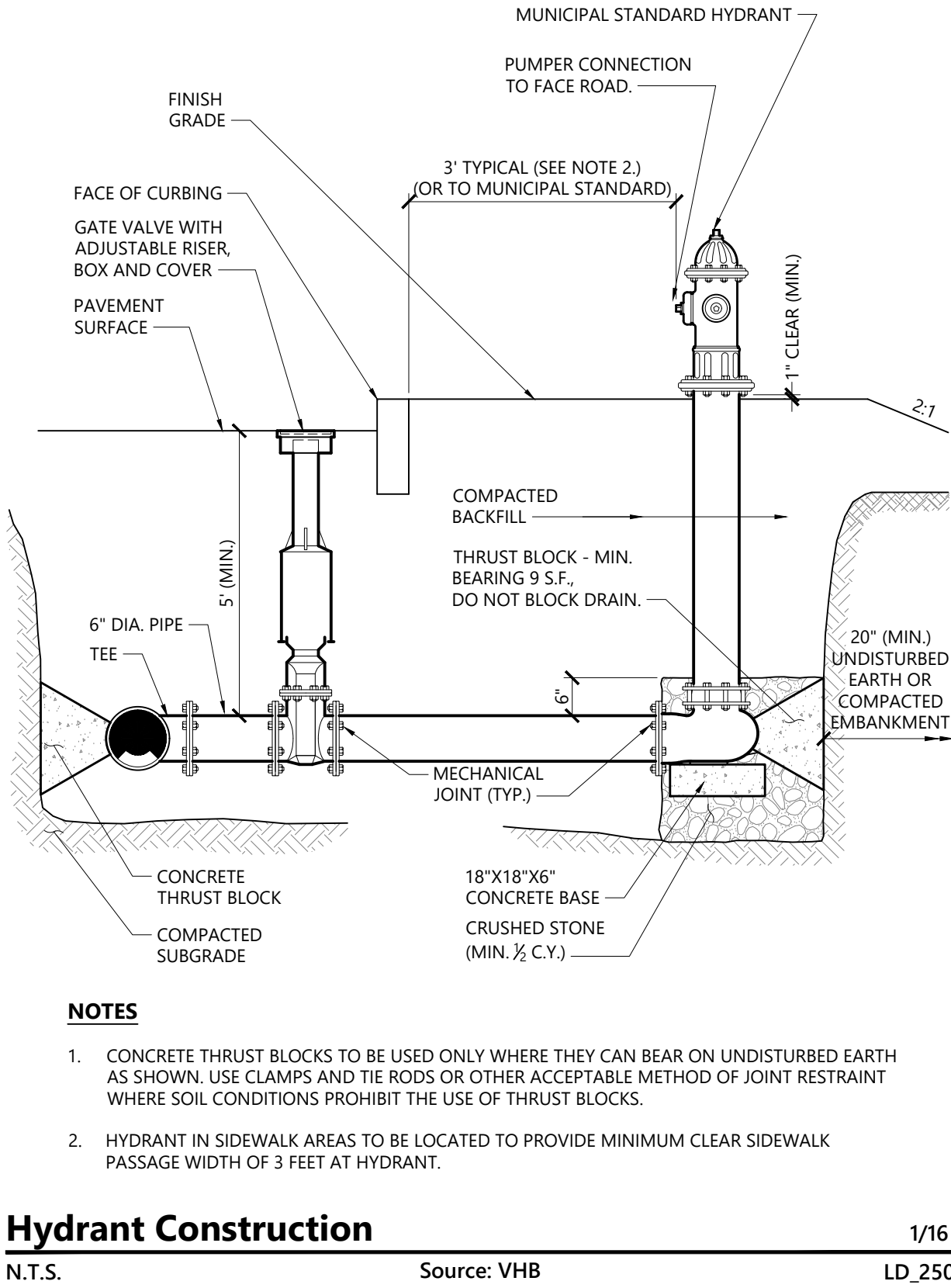
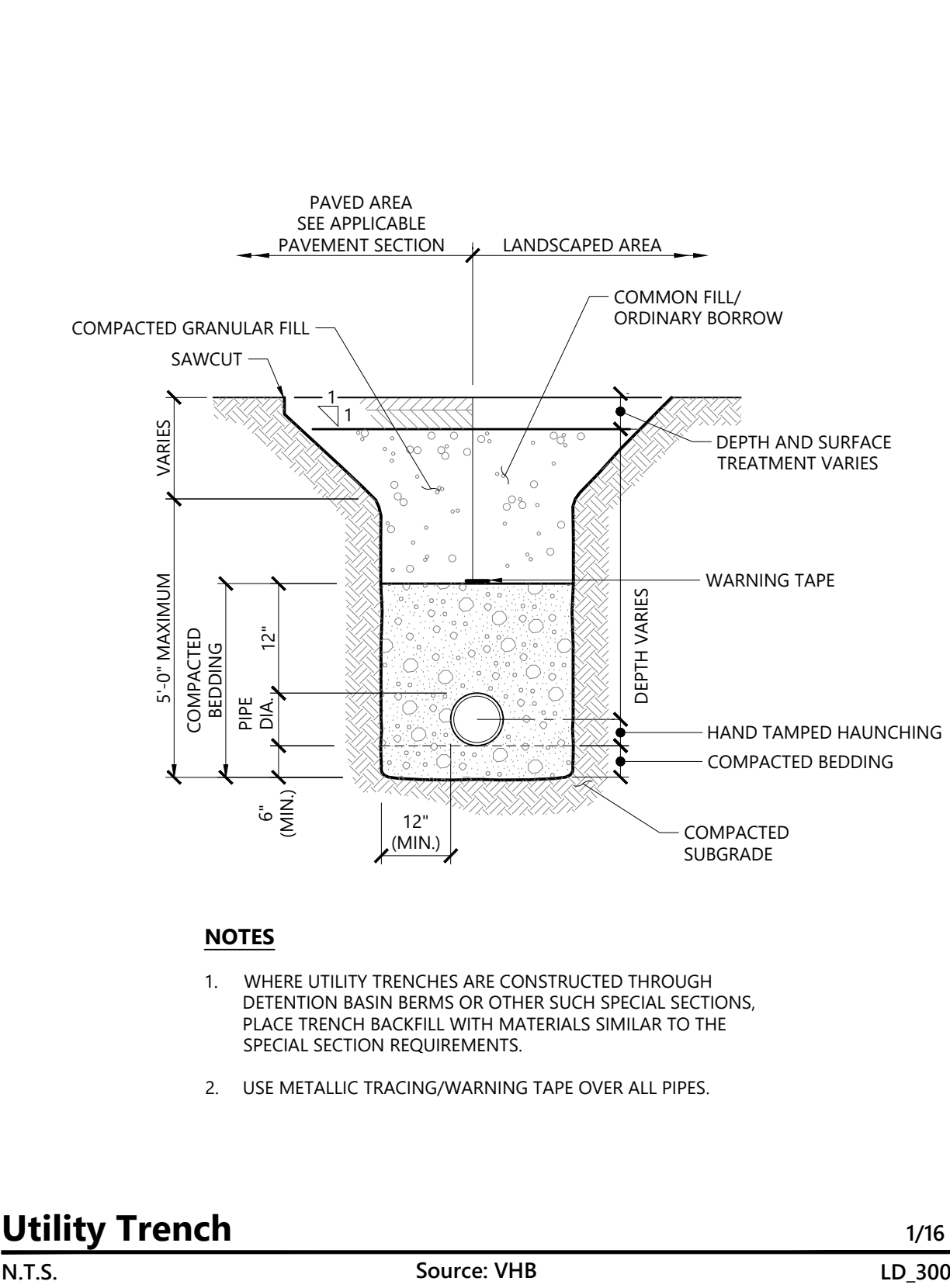
Comprehensive Permit February 16, 2018
Application
Not Approved for Construction

Drawing Title
Site Details

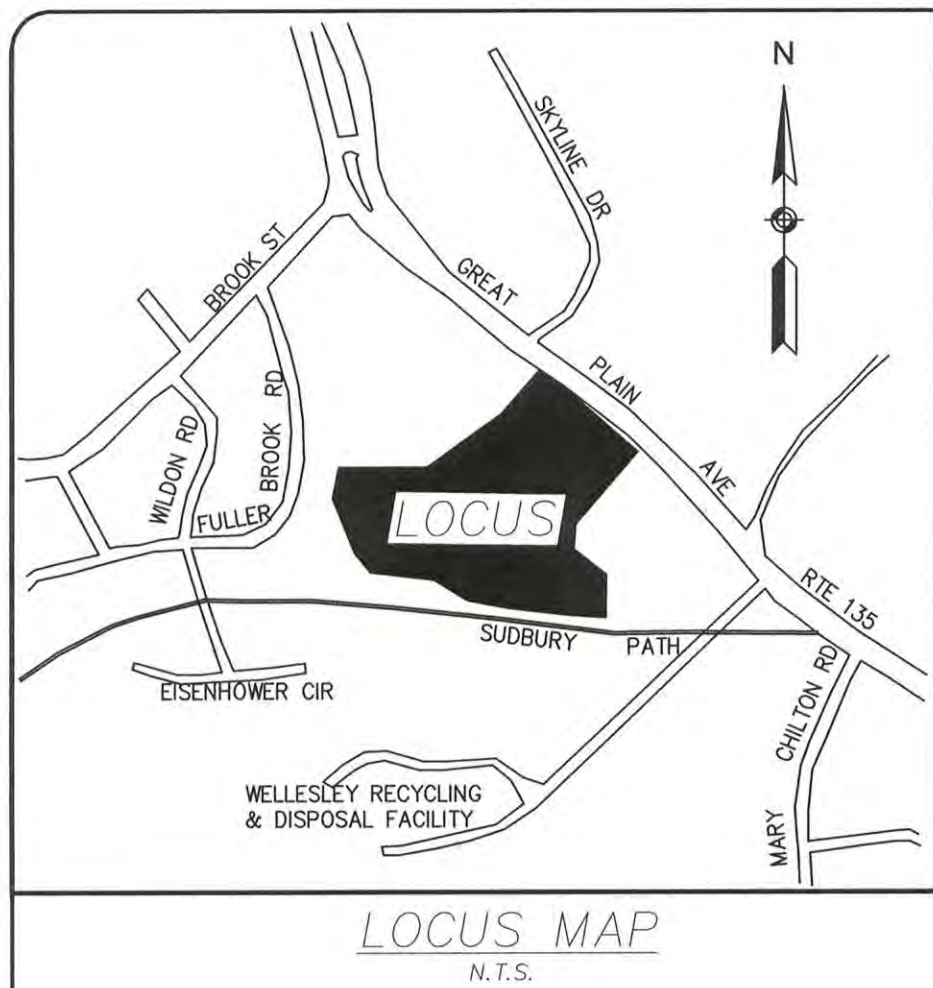
Drawing Number



C-6.2



File: V:\PROJECTS\MA78\SURVEY\PROJECT\MA WELLESLEY\GREAT PLAIN AVENUE\DWG-LDD\VBASE_28754.DWG



GENERAL NOTES:

1. THE EXISTING CONDITIONS INFORMATION SHOWN HEREON IS THE RESULT OF AN ON-THE-GROUND SURVEY PERFORMED BY CHA CONSULTING, INC. ON OR BETWEEN JULY AND DECEMBER, 2014.
2. ALL DEED REFERENCES ARE TO NORFOLK COUNTY REGISTRY OF DEEDS UNLESS OTHERWISE NOTED.
3. LOCUS OWNER OF RECORD:

WELLESLEY RESIDENTIAL, LLC
DEED BOOK 32778, PAGE 376.
ASSESSOR'S LOT 68-1

4. TOPOGRAPHY, CONTOURS AND BENCHMARKS ARE BASED ON THE TOWN OF WELLESLEY VERTICAL DATUM, WHICH IS -5.50' FROM THE NATIONAL GEODETIC VERTICAL DATUM OF 1929. TEMPORARY BENCHMARKS, REFERENCED TO THE DATUM ARE INDICATED ON THE SURVEY.

IN THE EVENT THAT BENCHMARKS (TBM'S), ESTABLISHED FOR THIS PROJECT AND PUBLISHED ON THIS SURVEY ARE DESTROYED, NOT RECOVERABLE OR A DISCREPANCY IS FOUND, THE USER SHOULD NOTIFY THIS FIRM IN WRITING PRIOR TO COMMENCING OR CONTINUING ANY WORK.

5. THE PROJECT AREA IS LOCATED IN FLOOD ZONE "A, X & SFHAs" AS SHOWN ON FLOOD INSURANCE RATE MAP FOR THE TOWN OF WELLESLEY, COMMUNITY PANEL NUMBER 2502100017E, EFFECTIVE DATE JULY 17, 2012.

6. THE LOCUS PARCEL IS LOCATED IN THE TOWN OF WELLESLEY SINGLE RESIDENCE DISTRICT (SRD20) AS DEFINED BY THE TOWN OF WELLESLEY GIS MAPPING. MINIMUM SETBACK REQUIREMENTS ARE AS SHOWN ON TABLE 1 ARE:

FRONT SETBACK:.....30' SIDE SETBACK:.....20'
REAR SETBACK:.....20'

7. LOCATION OF SUBSURFACE UTILITIES ARE NOT SHOWN HEREON AND MAY EXIST. THIS INFORMATION IS NOT TO BE USED FOR CONSTRUCTION. PRIOR TO ANY CONSTRUCTION, CONTACT DIG-SAFE (1-800-344-7233) TO FIELD VERIFY LOCATION OF ALL UTILITIES.

8. PLAN REFERENCES:

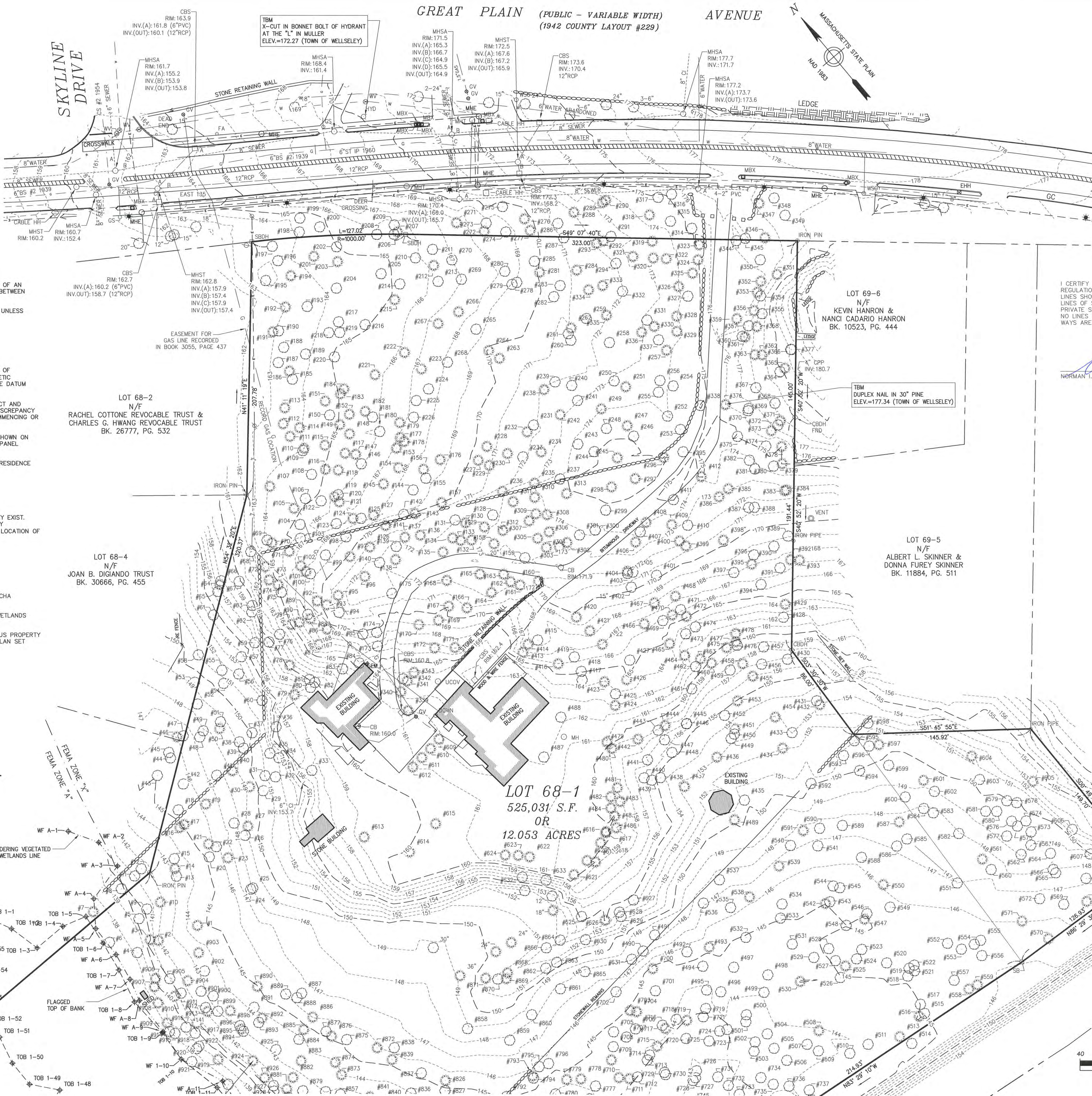
PLAN BOOK 130, PAGE 229
PLAN BOOK 167, PAGE 1533
PLAN BOOK 432, PAGE 543
PLAN BOOK 20, PAGE 923E & 923F

9. WETLAND FLAGS SHOWN HEREON ARE BASED ON FIELD LOCATIONS BY CHA CONSULTING, INC. IN JULY AND NOVEMBER 2014.

WETLAND FLAGS WERE DELINEATED BY CHA CONSULTING, INC. CERTIFIED WETLANDS SCIENTIST IN JULY AND NOVEMBER, 2014.

10. THE TREE SYMBOL WITH A NUMBER REPRESENTS A TREE ON THE LOCUS PROPERTY WITH A FLAG AND NUMBER ATTACHED. A LETTER WILL ACCOMPANY THE PLAN SET DENOTING THE GENERAL TREE INFORMATION.

GREAT PLAIN (PUBLIC - VARIABLE WIDTH) AVENUE (1942 COUNTY LAYOUT #229)



I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS, AND THE PROPERTY LINES SHOWN ARE THE LINES OF EXISTING OWNERSHIP, AND THE LINES OF STREETS AND WAYS ARE THOSE OF PUBLIC OR PRIVATE STREETS AND WAYS ALREADY ESTABLISHED, AND THAT NO LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

NORMAN T. LIESZT / PLS# 28446

DATE: 1/5/16

Date	1/5/2015
By	MVC
App'd	NIL
Submitted / Revision	Issued as Final
No.	0



Prepared For:
NORTHLAND RESIDENTIAL CORP.
20 BURLINGTON MALL ROAD
SUITE 220
BURLINGTON, MA 01803

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CHA
101 Accord Park Drive
Norwell, MA 02061
Main: (781) 982-5400 • www.chacompanies.com

Designed: MWC
Drawn: MWC
Checked: NIL

NORTHLAND RESIDENTIAL CORP.
135 GREAT PLAIN AVENUE
WELLESLEY, MA
EXISTING CONDITIONS PLAN

Date: 1-05-2015 Project No.: 28219 Scale: 1"=40'

FOR REGISTRY USE ONLY

MATCH LINE SEE SHEET 1

LOT 78-17
N/F
TOWN OF WELLESLEY
BK. 3663, PG. 234

LOT 79-2
N/F
JEFFREY T. WARD &
MICHELLE THOMAS WARD
BK. 13981, PG. 387

LOT 79-3
N/F
ROBERT L. HUGHES &
JACQUELINE B. FINARD-HUGHES
BK. 22374, PG. 114

LOT 79-4-A
N/F
CHARLES R. PIERCE
BK. 9649, PG. 655

LOT 68-4
N/F
JOAN B. DIGIANDO TRUST
BK. 30666, PG. 455

LOT 69-5
N/F
ALBERT L. SKINNER &
DONNA FUREY SKINNER
BK. 11884, PG. 511

LOT 69-3
N/F
RONALD & MARY A.
HAIGH
BK. 23871, PG. 546

LOT 68-1
525,031 S.F.
OR
12.053 ACRES

TBM
 DUPLEX NAIL SET IN 28" PINE
 ELEV.=143.79 (TOWN OF WELLSELEY)

LEGEND:

- | | | | |
|---|--------------------|---|----------------------------------|
|  | CONCRETE BOUND |  | TELEPHONE MANHOLE |
|  | STONE BOUND |  | GAS SHUT OFF |
|  | REBAR |  | GAS VALVE |
|  | DRILL HOLE |  | UTILITY POLE |
|  | IRON PIPE |  | LIGHT POLE |
|  | IRON ROD |  | MANHOLE |
|  | FLOOR DRAIN |  | MAILBOX |
|  | SQUARE CATCH BASIN |  | POST |
|  | STORM MANHOLE |  | BORDERING VEGETATED WETLAND FLAG |
|  | WATER SHUT OFF |  | TOP OF BANK FLAG |
|  | WATER VALVE |  | TREE AND NUMBER |
|  | HYDRANT | | |

BUILDING LINE
PARCEL BOUNDARY LINE
ADJOINING PARCEL LINE
EDGE OF ASPHALT
STONE WALL

OVERHEAD UTILITY LINES
WATER UTILITY LINES
DRAINAGE UTILITY LINES
SEWER UTILITY LINES
GAS UTILITY LINES

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS, AND THE PROPERTY LINES SHOWN ARE THE LINES OF EXISTING OWNERSHIP, AND THE LINES OF STREETS AND WAYS ARE THOSE OF PUBLIC OR PRIVATE STREETS AND WAYS ALREADY ESTABLISHED, AND THAT NO LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

NORMAN I. LIPSITZ PLS# 28446

DATE: 1/5/15

[illegible]

Prepared For:

NORTHLAND RESIDENTIAL CORP.
20 BURLINGTON MALL ROAD
SUITE 220
BURLINGTON, MA 01803

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Designed:	Drawn: MWC	Checked: NIL
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NORTHLAND RESIDENTIAL CORP.
135 GREAT PLAIN AVENUE
WELLESLEY, MA

EXISTING CONDITIONS PLAN

Date: 1-05-2015	Project No.: 29219	Scale: 1"=40'
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SHEET 2 OF 2



ISSUED		Review and Coordination
1	02-16-18	
2		
3		
4		
5		
6		

L-1.0

Landscape Site Plan

SCALE: 20' 0 40'

Comprehensive Permit
Application

135 Great Plain Avenue
Wellesley, MA

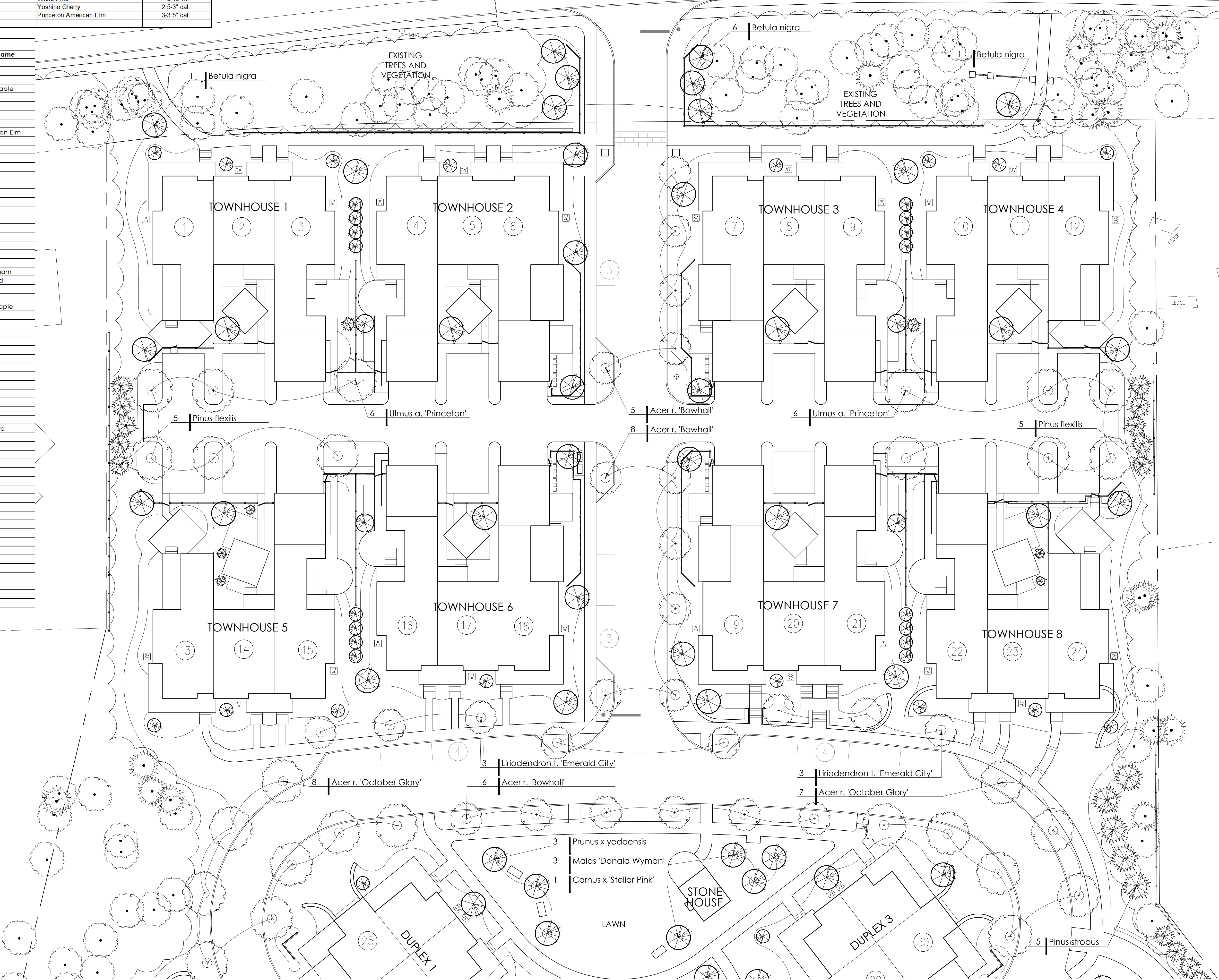
RYAN

ASSOCIATES
LANDSCAPE ARCHITECTURE AND PLANNING
144 Moody Street, Building 4
Waltham, MA 02453-5532
ph: 781-314-0401
www.ryan-assoc.com

TOWNHOUSE AREA STREET TREES - PLANT LIST			
	BOTANICAL NAME	COMMON NAME	SIZE - TYP
Trees			
19	<i>Acer rubrum</i> 'Bowhall'	Bowhall Maple	3-3.5" cal.
15	<i>Acer rubrum</i> 'October Glory'	October Glory Red Maple	3-3.5" cal.
8	<i>Betula nigra</i>	River Birch	10' ht. (multi-stem)
1	<i>Cornus x</i> 'Stellar Pink'	Stellar Pink Dogwood	8-10' ht.
6	<i>Liriodendron t.</i> 'Emerald City'	Emerald City Tulip Tree	3-3.5" cal.
3	<i>Malus</i> 'Donald Wyman'	Donalds Wyman Flowering Crab	2-5-3" cal.
10	<i>Pinus flexilis</i> 'Vanderwolf's Pyramid'	Limber Pine	8-10' ht.
5	<i>Pinus strobus</i>	White Pine	8-10' ht.
3	<i>Prunus x yedoensis</i>	Yoshino Cherry	2-5-3" cal.
12	<i>Ulmus a.</i> 'Princeton'	Princeton American Elm	3-3.5" cal.

PLANT LIST -- TYPICAL	
Botanical Name	Common Name
STREET TREES / SPECIMEN TREES	
<i>Acer rubrum</i>	Red Maple
<i>Acer rubrum</i> 'Bowhall'	Columnar Red Maple
<i>Ginkgo biloba</i>	Ginko
<i>Gleditsia triacanthos</i>	Honey Locust
<i>Liriodendron tulipifera</i>	Tulip Tree
<i>Platanus x acerifolia</i>	Planetree
<i>Ulmus americana</i> 'Princeton'	Princeton American Elm
<i>Zelkova serrata</i>	Zelkova
EVERGREEN TREES	
<i>Abies</i> sp.	Fir
<i>Picea</i> sp.	Spruce
<i>Pinus</i> sp.	Pine
COLUMNAR EVERGREENS	
<i>Chamaecyparis</i> sp.	Cedar
<i>Juniperus</i> sp.	Juniper
<i>Thuja</i> sp.	Arborvitae
FLOWERING / UNDERSTORY TREES	
<i>Amelanchier canadensis</i>	Serviceberry
<i>Betula nigra</i>	River Birch
<i>Carpinus betulus</i> 'Fastigiata'	Fastigiate Hornbeam
<i>Cornus kousa</i>	Korean Dogwood
<i>Hamamelis</i> sp.	Witchhazel
<i>Magnolia</i> sp.	Magnolia
<i>Malus</i> sp.	Flowering Crabapple
<i>Prunus</i> sp.	Flowering Cherry
DECIDUOUS / EVERGREEN SHRUBS	
<i>Azalea</i>	Azalea
<i>Buxus</i> sp.	Boxwood
<i>Clethra alnifolia</i>	Summersweet
<i>Cornus</i> sp.	Dogwood
<i>Deutzia</i> sp.	Duetzia
<i>Forsythia</i> sp.	Forsythia
<i>Fothergilla gardenii</i>	Dwarf Fothergilla
<i>Hydrangea</i> sp.	Hydrangea
<i>Ilex glabra</i>	Inkberry
<i>Ilex</i> sp.	Holly
<i>Itea virginica</i>	Virginia Sweetspire
<i>Juniperus</i> sp.	Juniper
<i>Ligustrum ovalifolium</i>	Privet
<i>Physocarpus opulifolius</i>	Ninebark
<i>Rhododendron</i> sp.	Rhododendron
<i>Rosa</i> sp.	Rose
<i>Spiraea</i> sp.	Spiraea
<i>Syringa</i> sp.	Lilac
<i>Thuja</i> sp.	Arborvitae
<i>Viburnum</i> sp.	Viburnum
PERENNIALS	
<i>Hemerocallis</i>	Daylilies
<i>Festuca</i> sp.	Fescue
<i>Panicum</i> sp.	Switch Grass
<i>Pennisetum</i> sp.	Fountain Grass
<i>Sedum</i> sp.	Sedum
GROUND COVER	
<i>Vinca minor</i>	Vinca

7 68-4
N/F
GIANDO TRUST
66, PG. 455



LOT 69-6
N/F
KEVIN HANRAN &
NANCY CADARIO HANRAN
BK. 10523, PG. 444

ISSUED	1	2	3	4	5	6
1	02-16-18					
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Review and Coordination

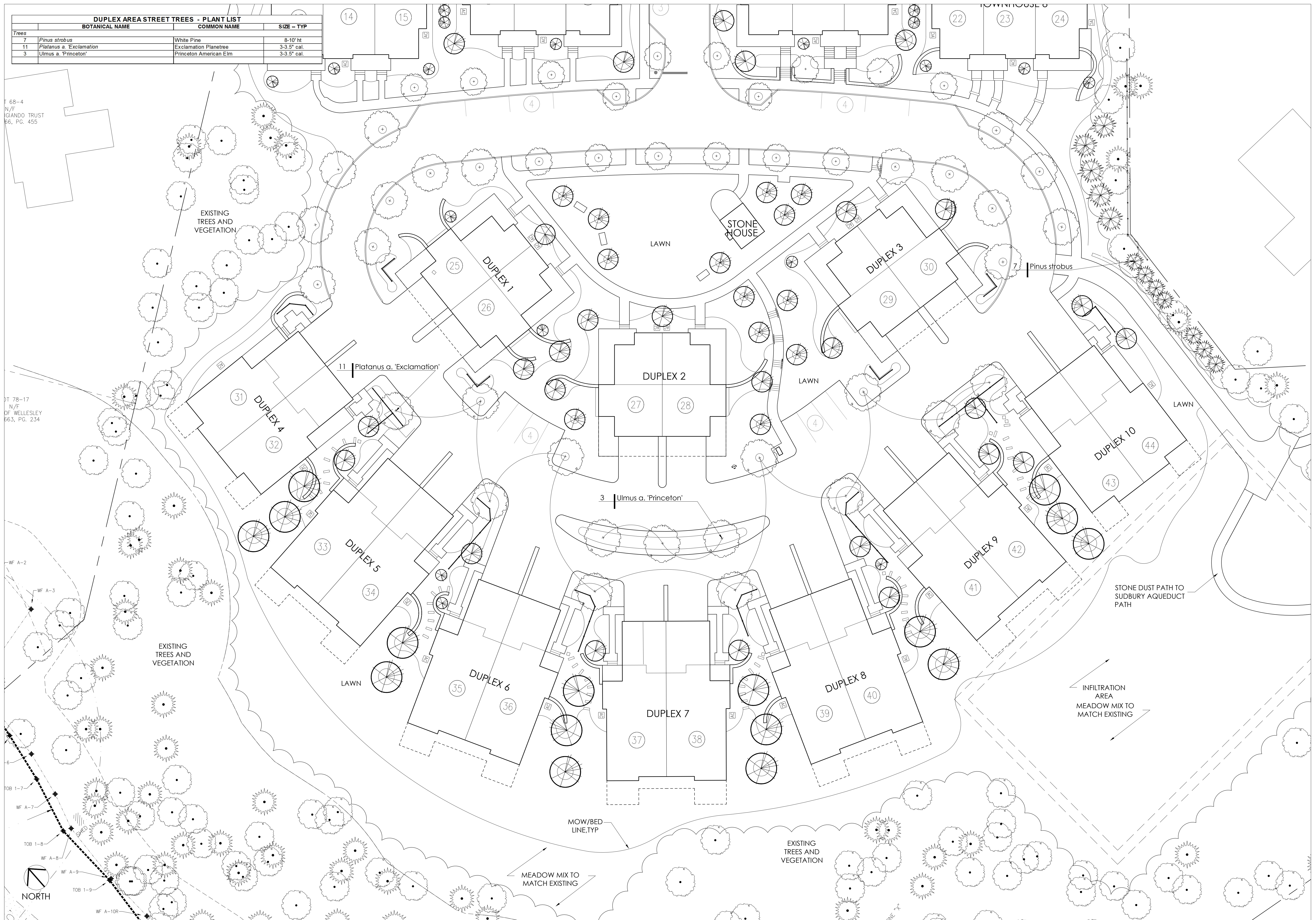
L-2.0

Comprehensive Permit
Application
135 Great Plain Avenue
Wellesley, MA

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LANDSCAPE ARCHITECTURE AND PLANNING
144 Moody Street, Building 4
Waltham, MA 02453-5532
ph: 781-314-0401
www.ryan-assoc.com

DUPLEX AREA STREET TREES - PLANT LIST			
	BOTANICAL NAME	COMMON NAME	SIZE – TYP
Trees			
7	<i>Pinus strobus</i>	White Pine	8-10' ht
11	<i>Platanus a. 'Exclamation'</i>	Exclamation Planetree	3-3.5" cal.
3	<i>Ulmus a. 'Princeton'</i>	Princeton American Elm	3-3.5" cal.



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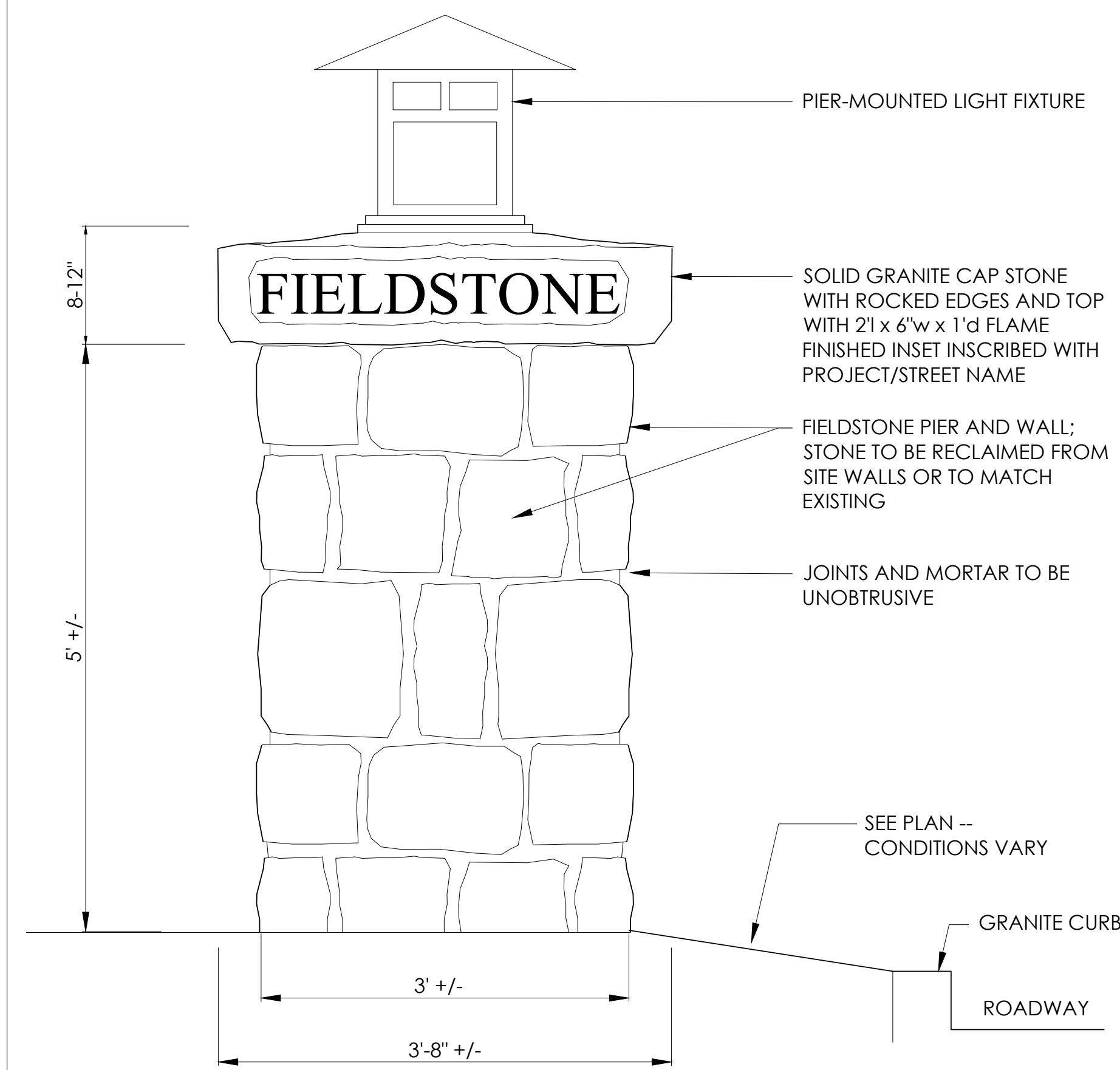
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Comprehensive Permit
Application
135 Great Plain Avenue
Wellesley, MA

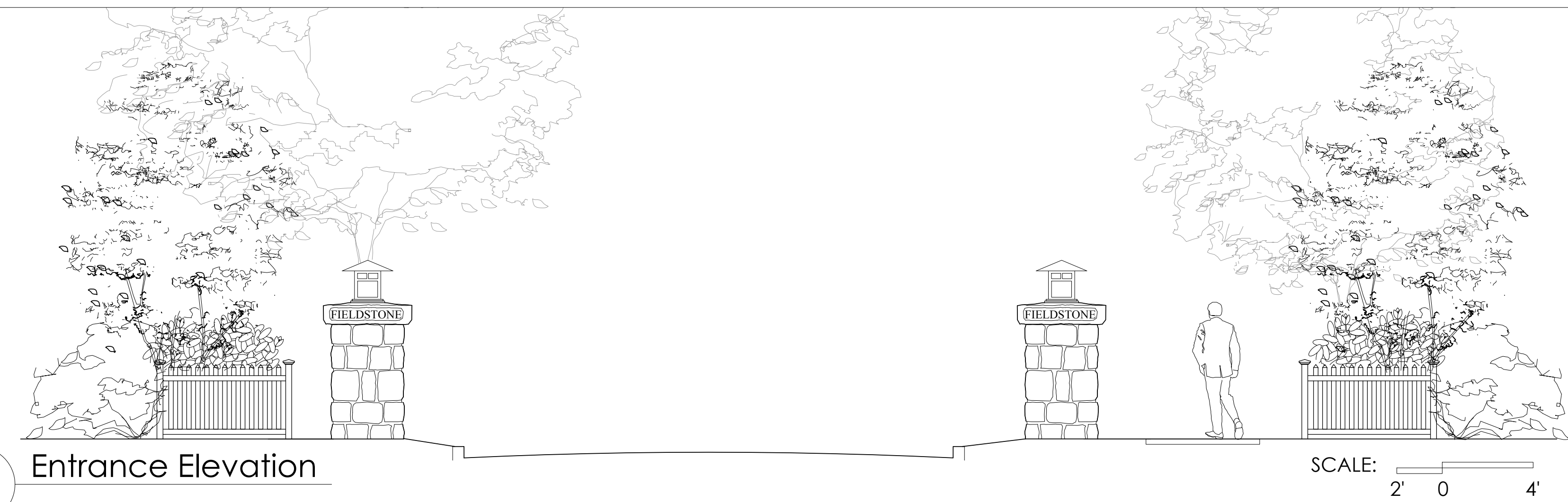
Street Tree and Buffer Planting Plan

ISSUED	
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L-2.1



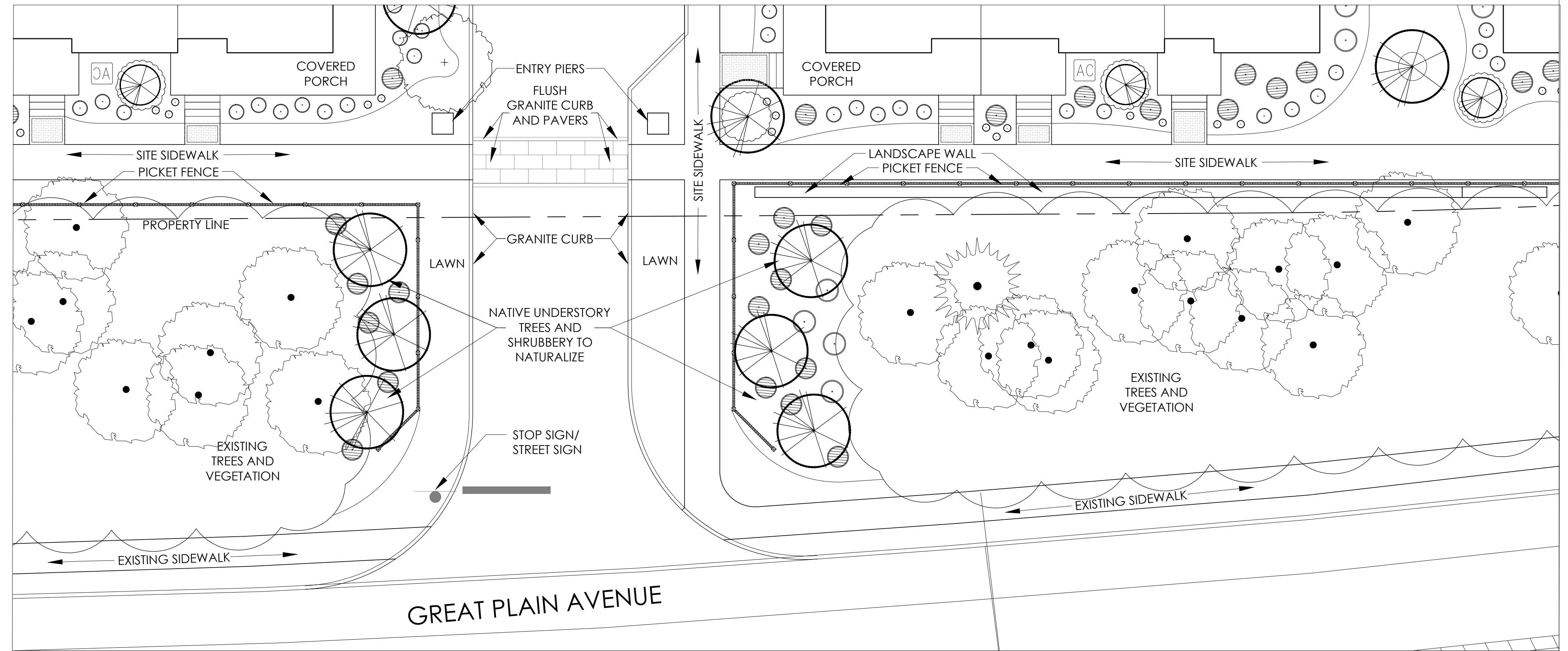
3 Entrance Elevation



2

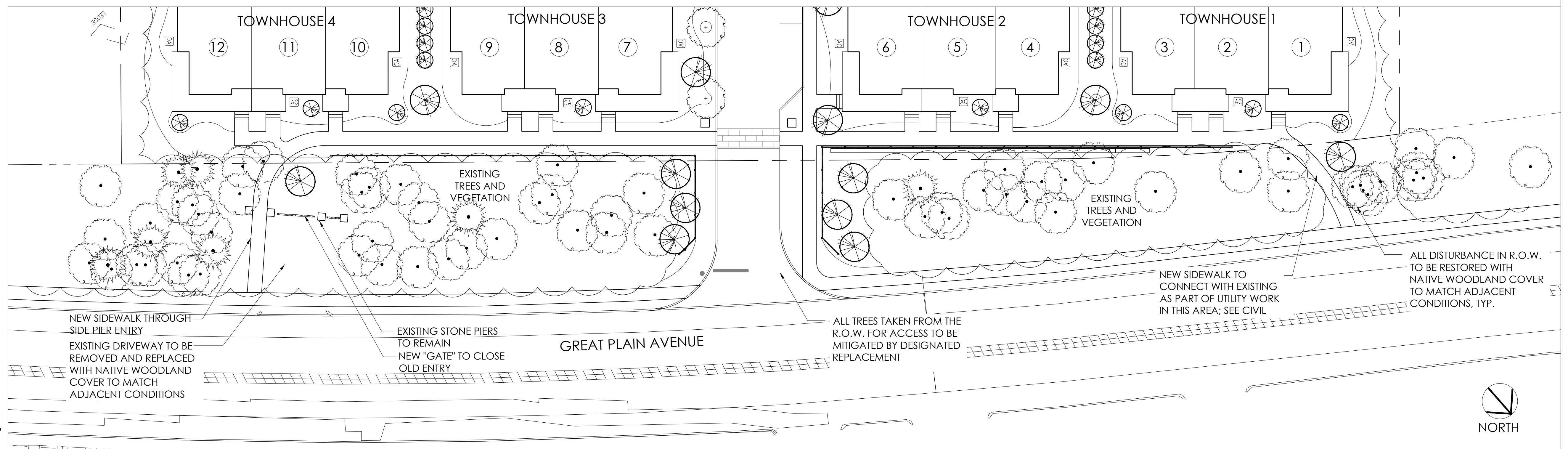
Entrance Landscape Plan -- Detail

SCALE: 5' 0 10'



1 Entrance Landscape Plan -- Overall

SCALE: 10' 0 20'



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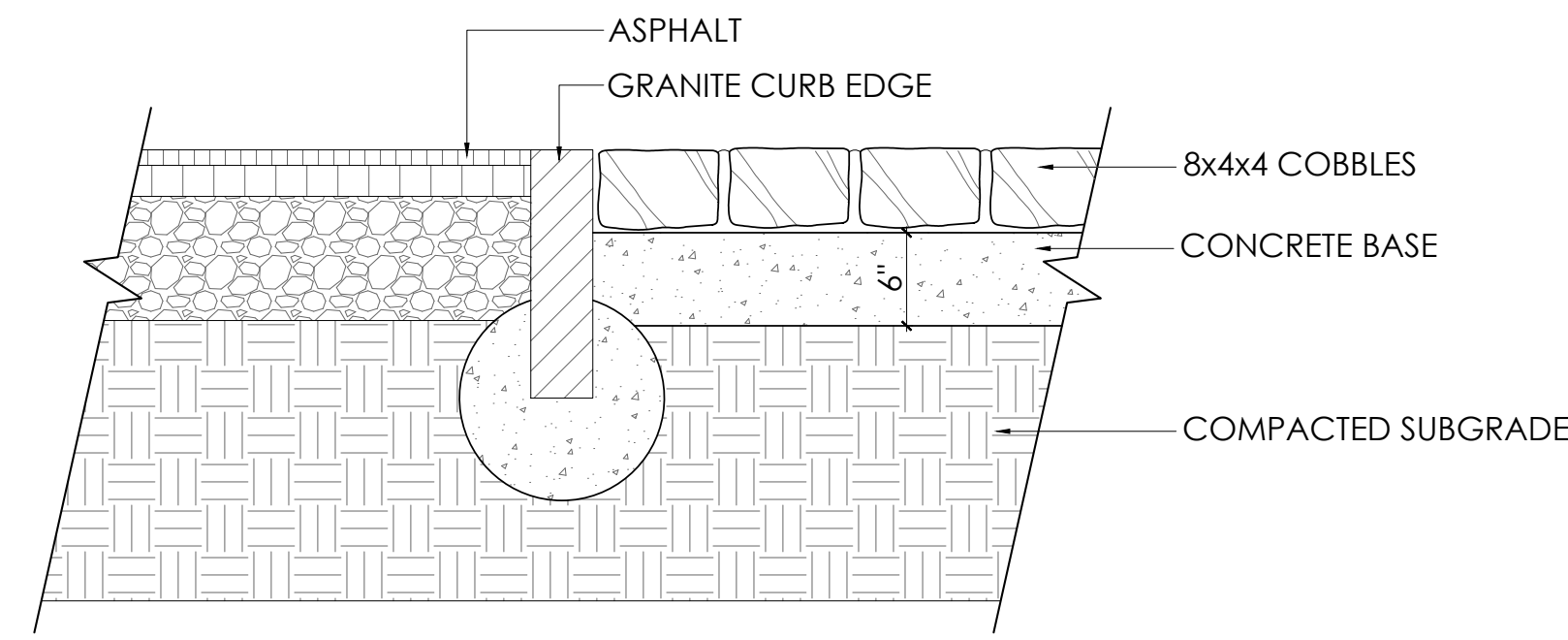
Comprehensive Permit
Application
135 Great Plain Avenue
Wellesley, MA

Entrance
Landscape Plan
SCALE: 10' 0 20'

ISSUED	1	02-16-18	Review and Coordination
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5			
6			

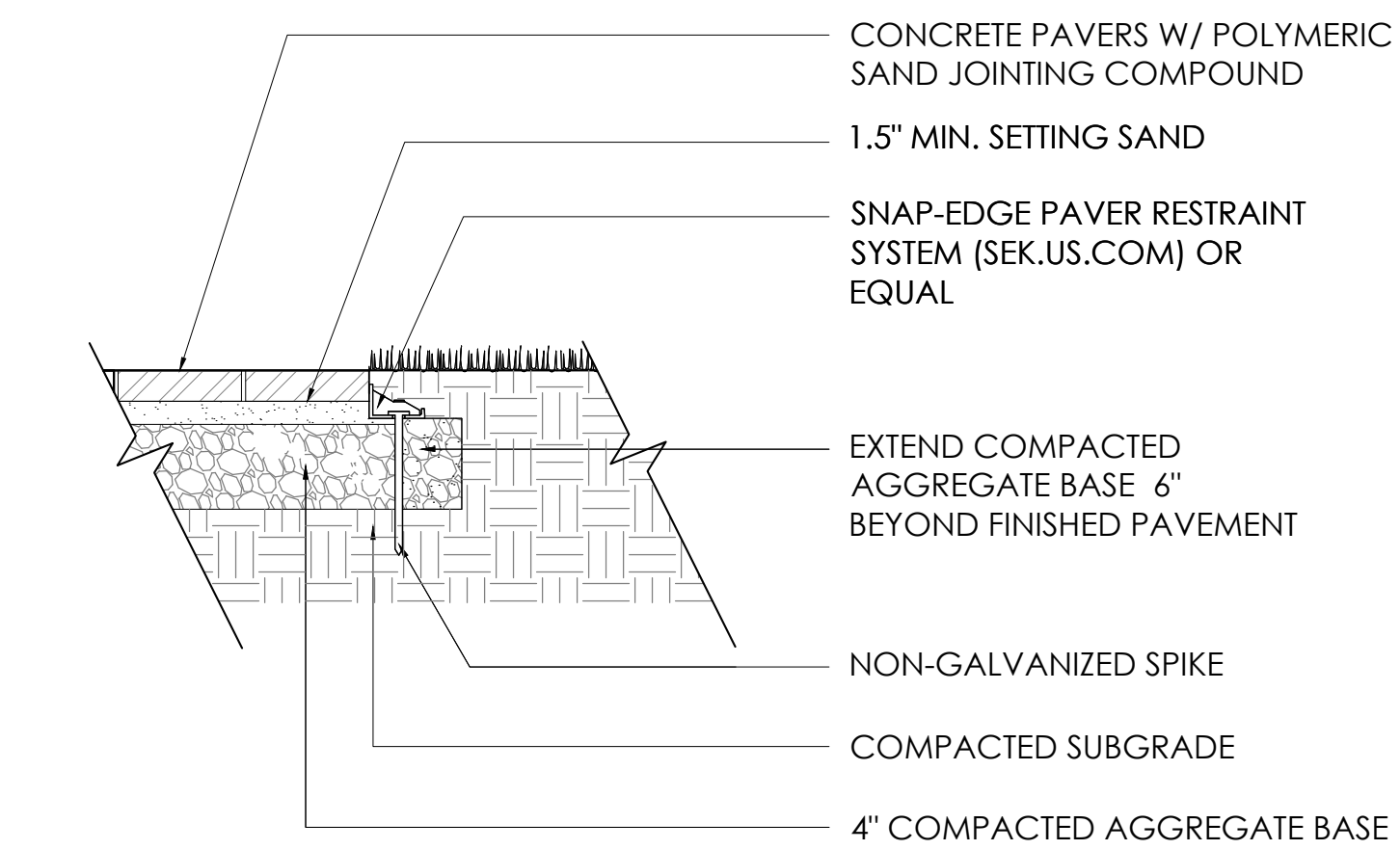
L-3.0

TYPICAL PAVING DETAILS



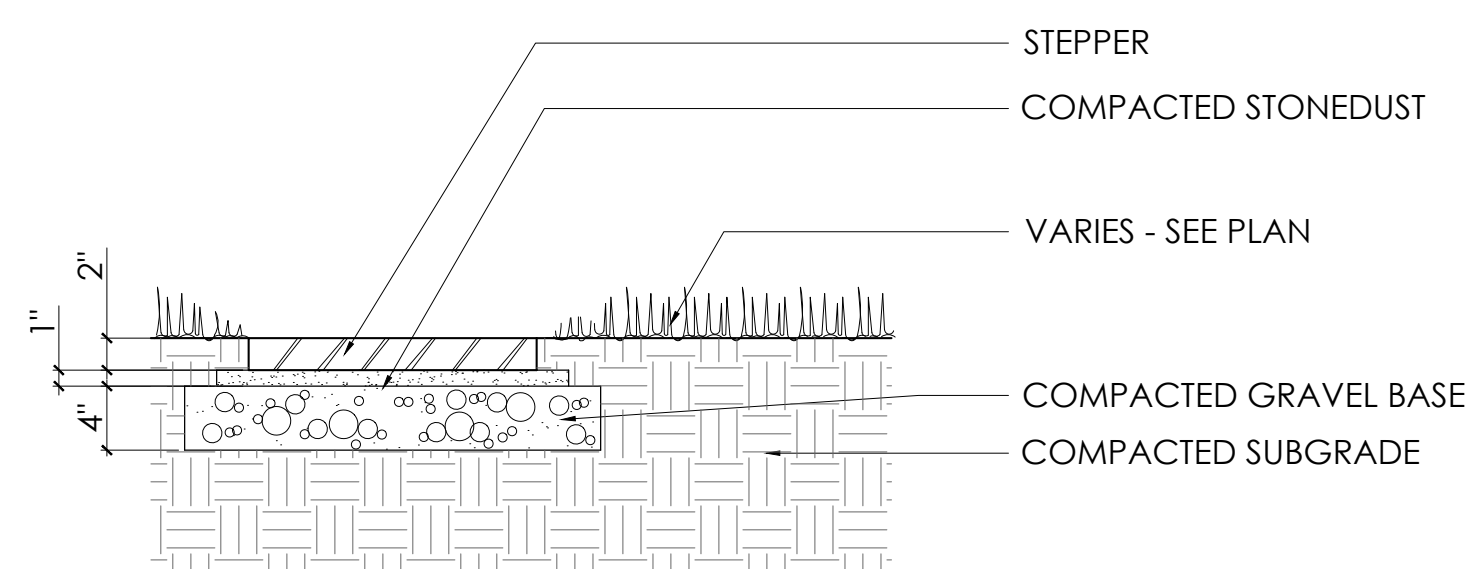
1 Granite Pavers and Flush Curb

SCALE: 1" = 1'-0"



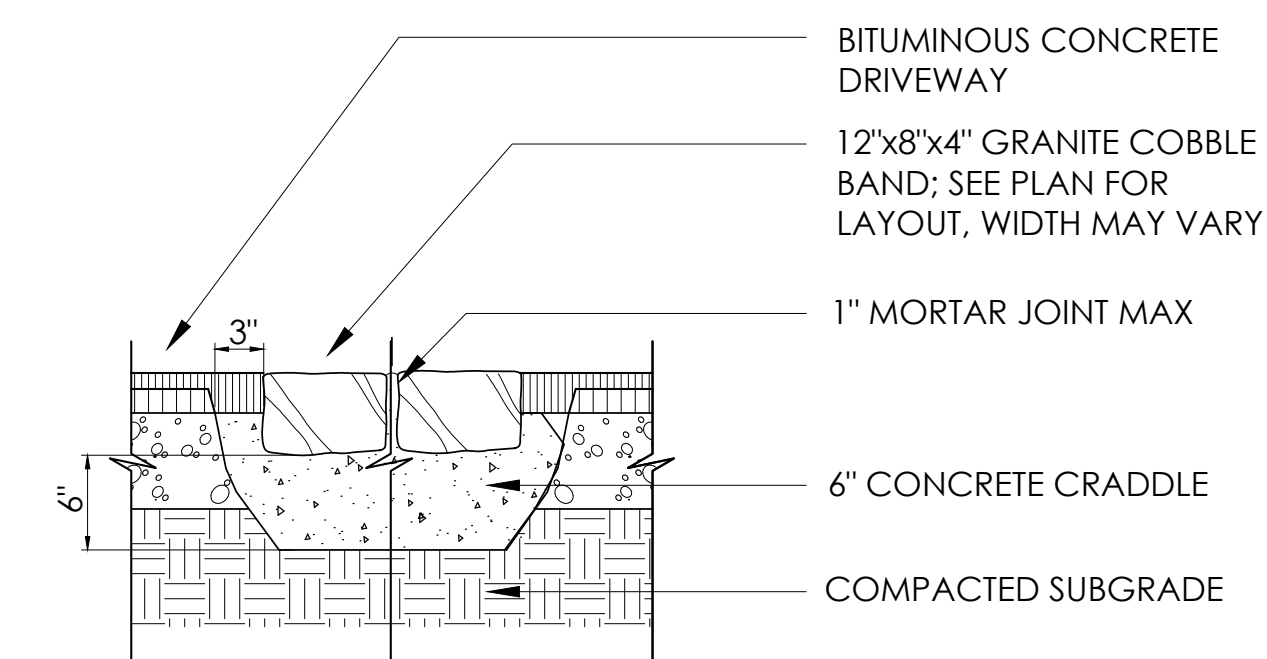
2 Concrete Pavers on Aggregate Base

SCALE: 1" = 1'-0"



3 Stepping Stone

SCALE: 1" = 1'-0"

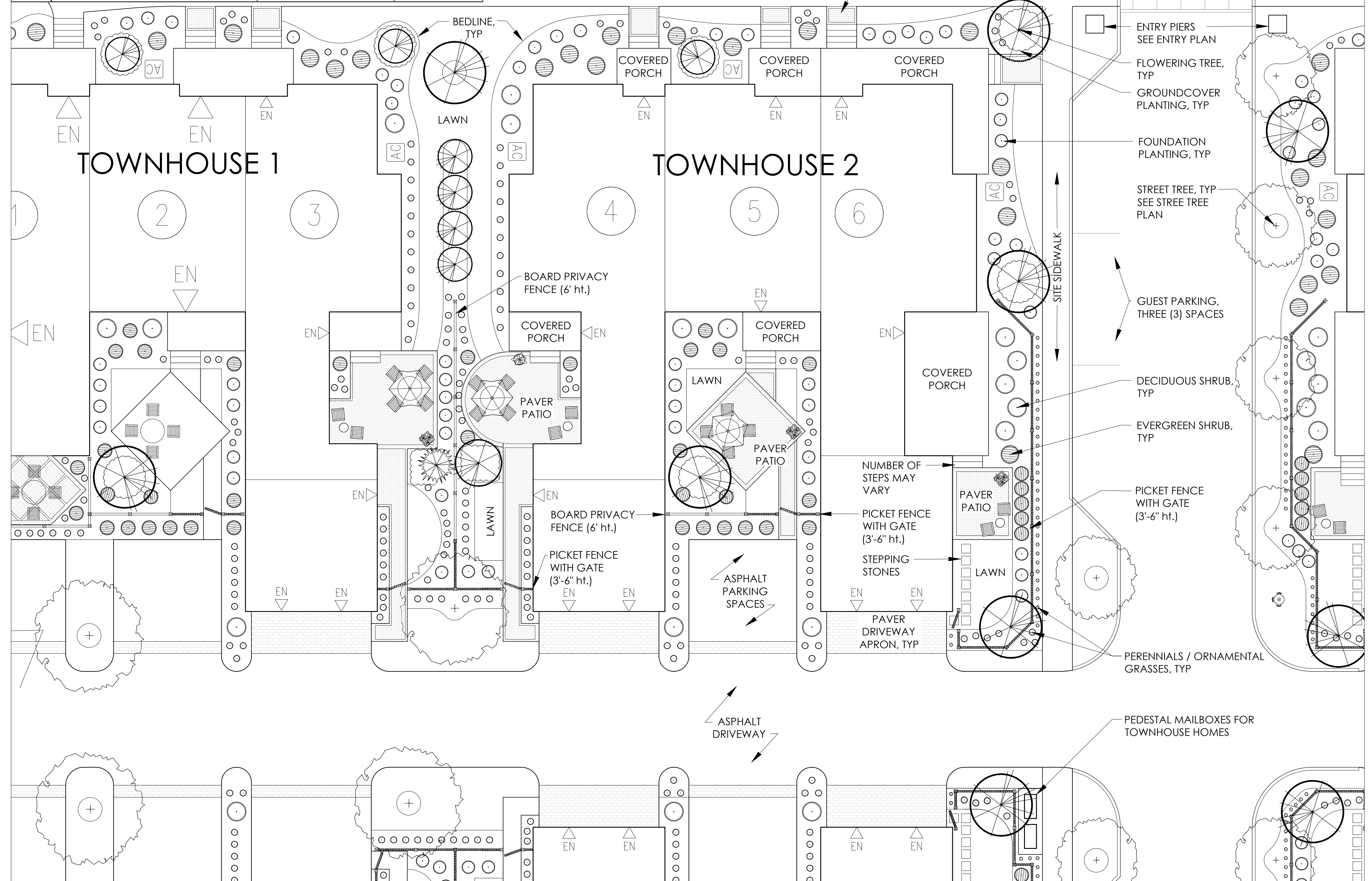


4 GRANITE COBBLE BAND

SCALE: 1" = 1'-0"

REPRESENTATIVE BUILDING PLANT LIST

TYPICAL BUILDING - REPRESENTATIVE PLANT LIST			
	BOTANICAL NAME	COMMON NAME	SIZE - TYP
Trees			
	<i>Acer palmatum</i> 'Bloodgood'	Bloodgood Japanese Maple	2.5' cal. 8' ht.
	<i>Acer rubrum</i> 'October Glory'	October Glory Red Maple	3.5' cal.
	<i>Betula nigra</i>	River Birch	10' (multi-stem)
	<i>Carpinus betulus</i> 'Fastigiata'	Hornbeam	2.5' cal.
	<i>Cornus</i> sp.	Dogwood	8-10'
	<i>Malus</i> sp.	Flowering Crab	2.5-3' cal.
	<i>Picea pungens</i>	Spruce	8-10' ht
	<i>Ulmus</i> a. 'Princeton'	Princeton American Elm	3.5' cal.
Shrubs			
	<i>Aronia arbutifolia</i>	Chokeberry	3'
	<i>Buxus</i> 'Green Gem'	Green Gem Boxwood	18"
	<i>Buxus</i> 'Green Mountain'	Green Mountain Boxwood	2.5'
	<i>Clethra alnifolia</i>	Summersweet	2.5'
	<i>Cornus alba</i> 'Ballhalo'	Ivory Halo Tatarian Dogwood	2.5'
	<i>Deutzia gracilis</i> 'Nikko'	Slender Deutzia	2'
	<i>Hydrangea paniculata</i> 'Pee Gee'	Pee Gee Hydrangea	6-7' Tree-Form
	<i>Ilex crenata</i> 'Sky Pencil'	Sky Pencil Japanese Holly	3'
	<i>Ilex meserveae</i> 'Mesd'	Blue Maid Holly	4'
	<i>Ilex meserveae</i> 'Mesdob'	China Boy Holly	2.5'
	<i>Ilex opaca</i>	American Holly	6-8'
	<i>Ilex verticillata</i> 'Winter Red'	Winter Red Winterberry	3'
	<i>Rhododendron</i> 'Chionoides'	Chinoiodes Rhododendron	3'
	<i>Rhus aromatica</i> 'Gro-Low'	Gro-Low Fragrant Sumac	2'
	<i>Spiraea japonica</i> 'Goldmound'	Japanese Spirea	2.5'
	<i>Taxus cuspidata</i> 'Greenwave'	Greenwave Spreading Yew	2'
	<i>Taxus x media</i> 'Hickii'	Hick's Yew	3'
	<i>Thuja</i> sp.	Arborvitae	7-8'
	<i>Viburnum carlesii</i>	Korean Spice Viburnum	3'
	<i>Weigela florida</i> 'Alexandra'	Wine and Roses Weigela	2'
Perennials and Grasses			
	<i>Astilbe</i>	<i>Astilbe</i>	2 gal.
	<i>Hakonechloa</i>	Japanese forest Grass	2 gal.
	<i>Hemerocallis</i>	Daylily	2 gal.
	<i>Hosta</i> sp.	Hosta	2 gal.
	<i>Nepeta</i>	Catmint	2 gal.
	<i>Pennisetum alopecuroides</i>	Fountain Grass	2 gal.
	<i>Sedum</i> 'Autumn Joy'	Autumn Joy Sedum	2 gal.
	<i>Vinca minor</i>	Vinca	12" o.o. flats



GREAT PLAIN AVENUE



ASSOCIATES
LANDSCAPE ARCHITECTURE AND PLANNING

RYAN

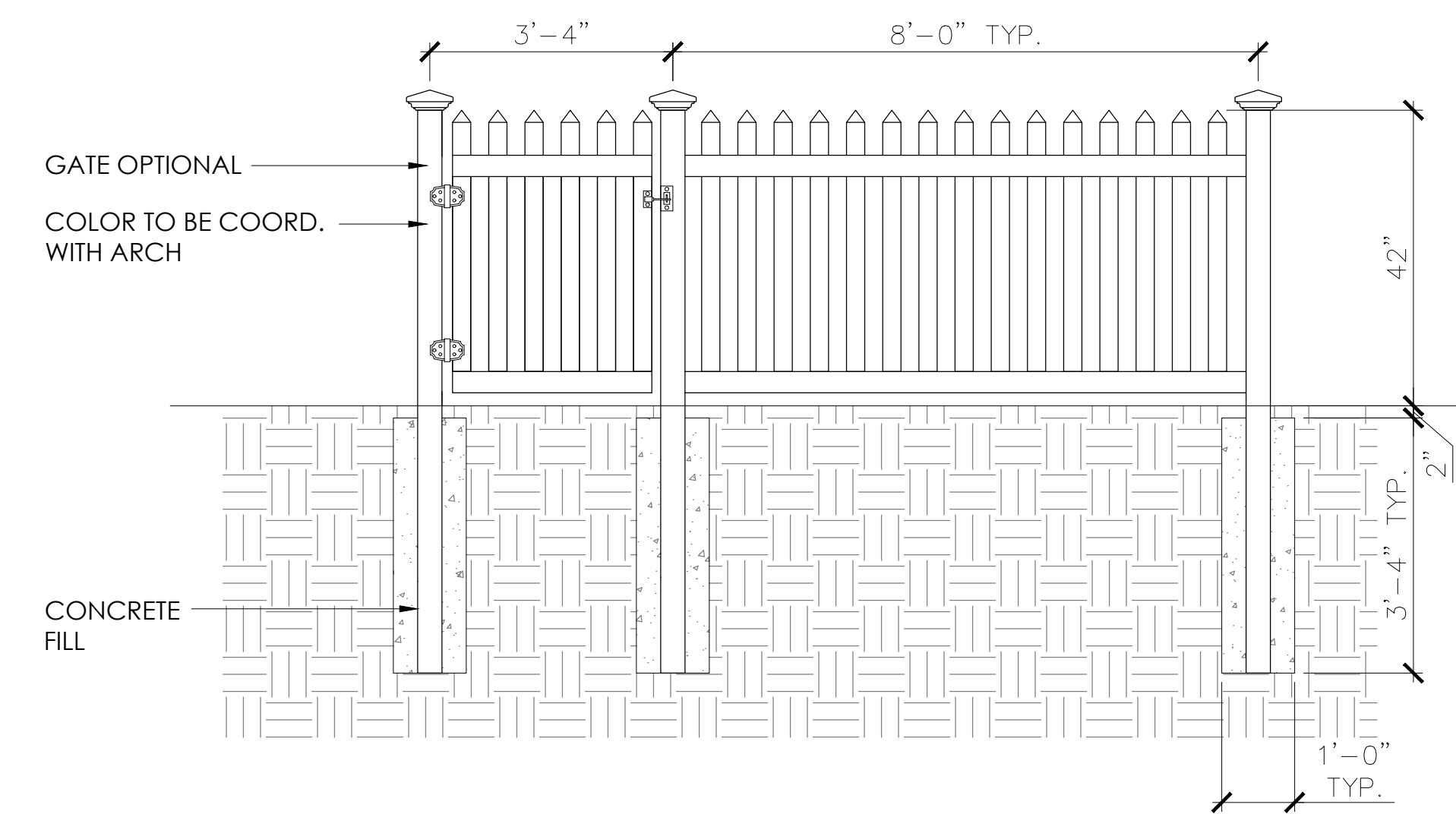
Comprehensive Permit Application

Typical Landscape Plan
-- Townhouses --

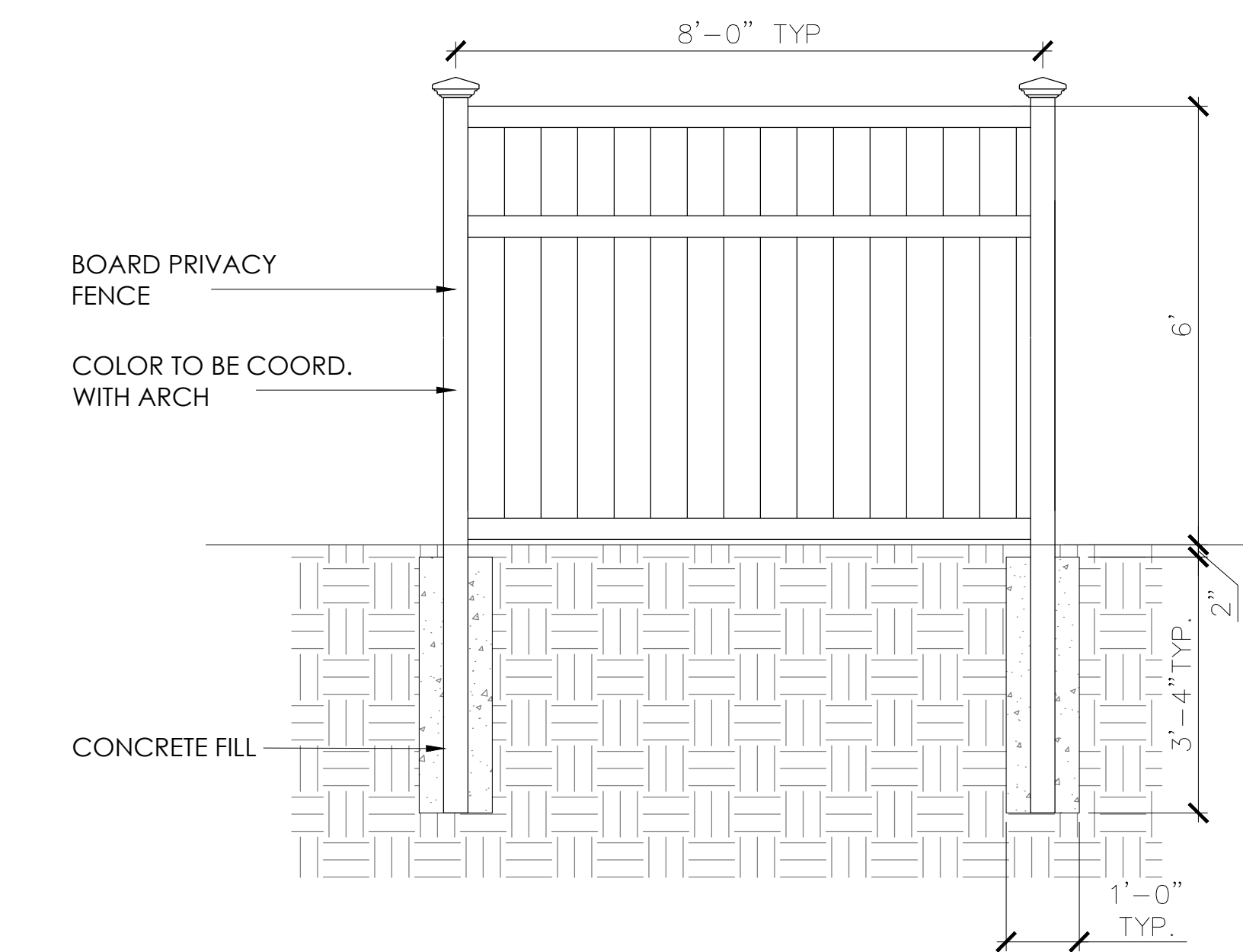
1	02-16-18	Review and Coordination
2		
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-4.0

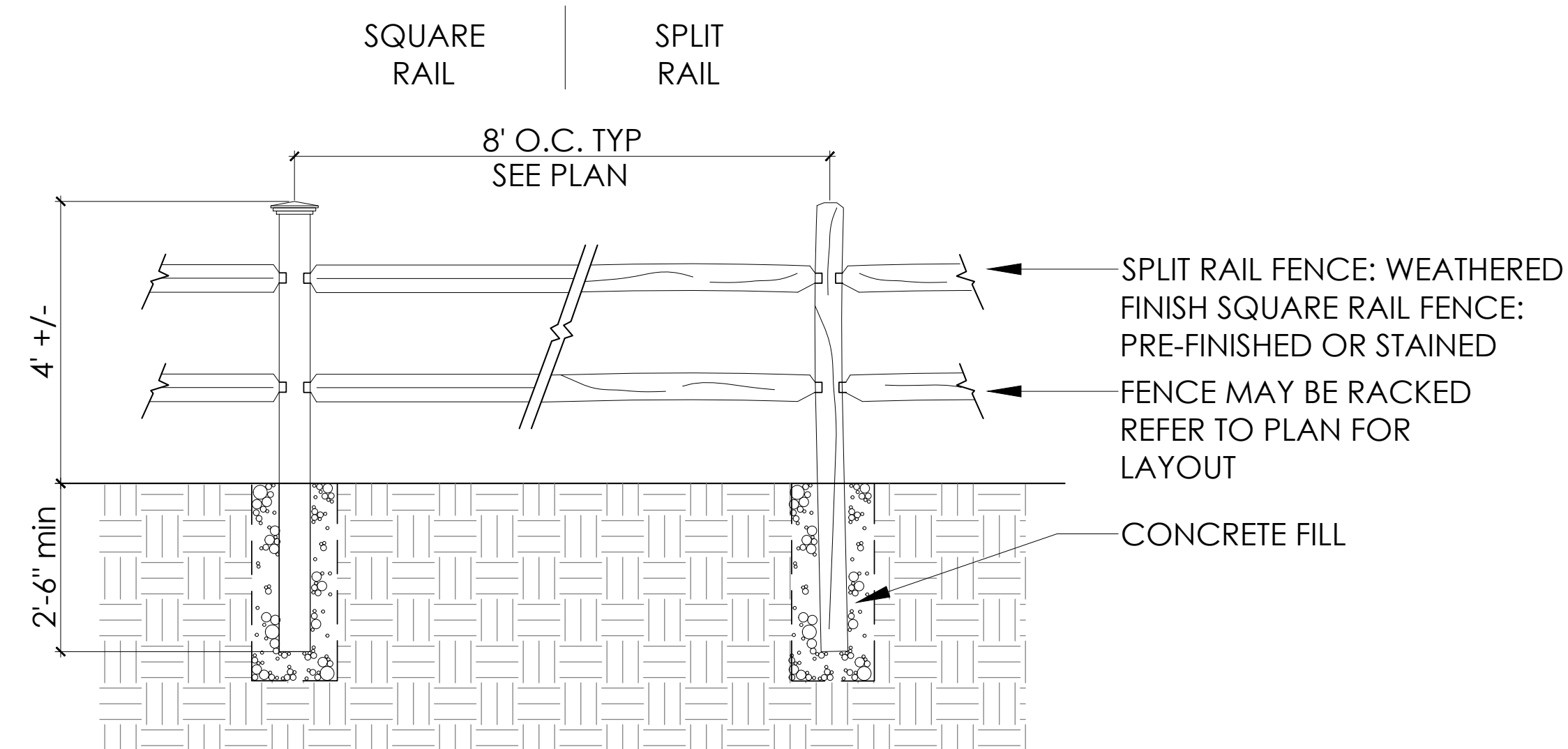
TYPICAL FENCE PLANTING DETAILS



1 PICKET FENCE WITH GATE

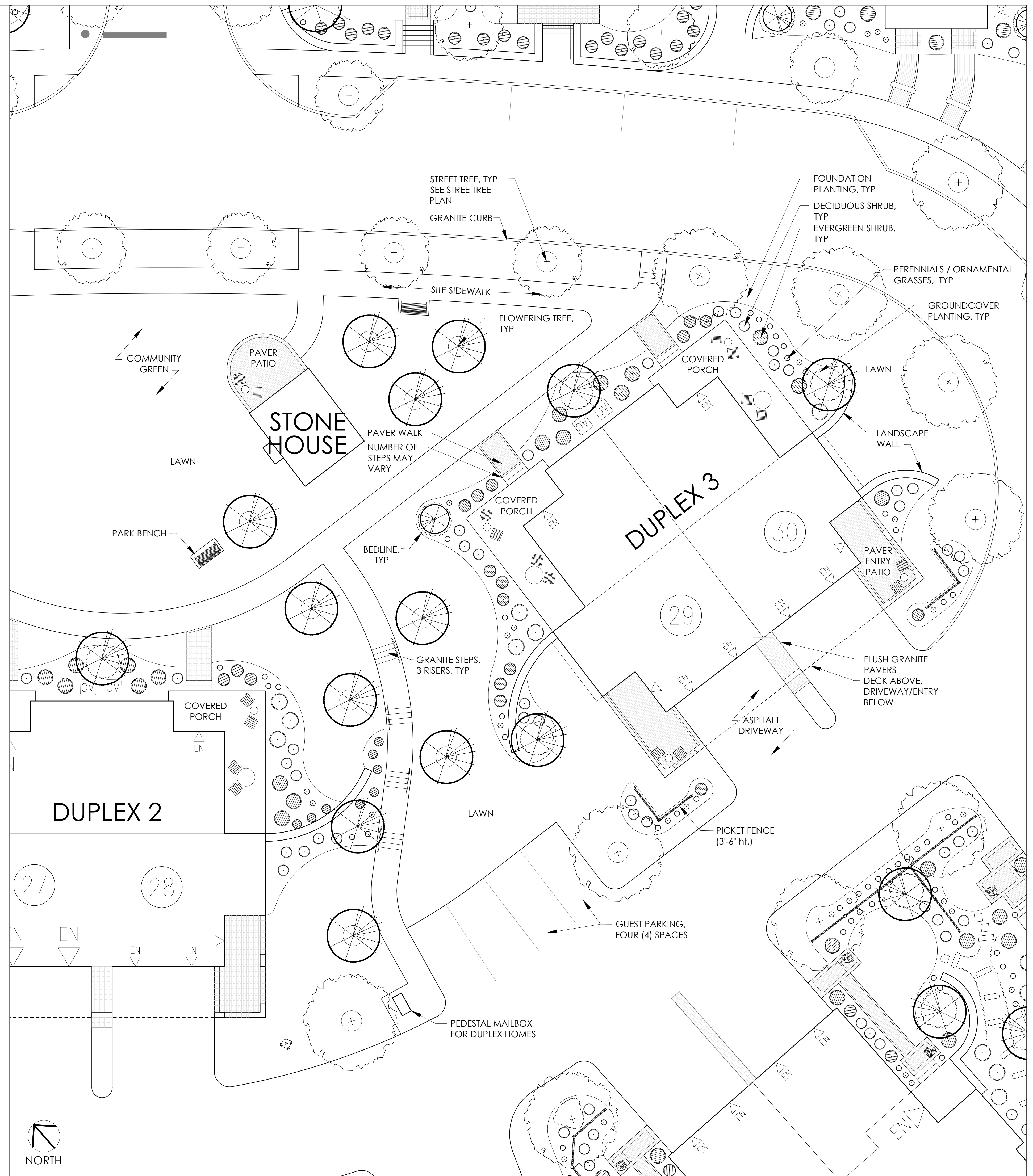


2 PRIVACY FENCE



3 RAIL FENCE

SCALE: 1/2" = 1'-0"



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Waltham, MA 02453-5332

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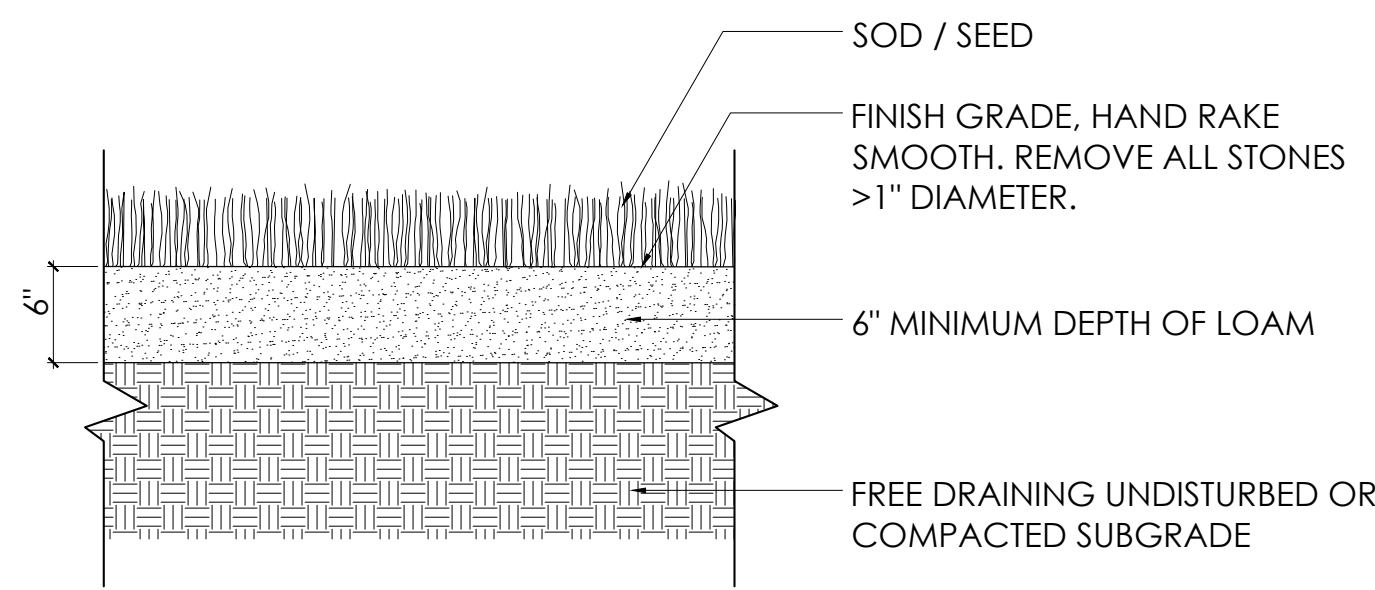
Comprehensive Permit
Application
135 Great Plain Avenue
Wellesley, MA

SCALE: 5' 0 10'

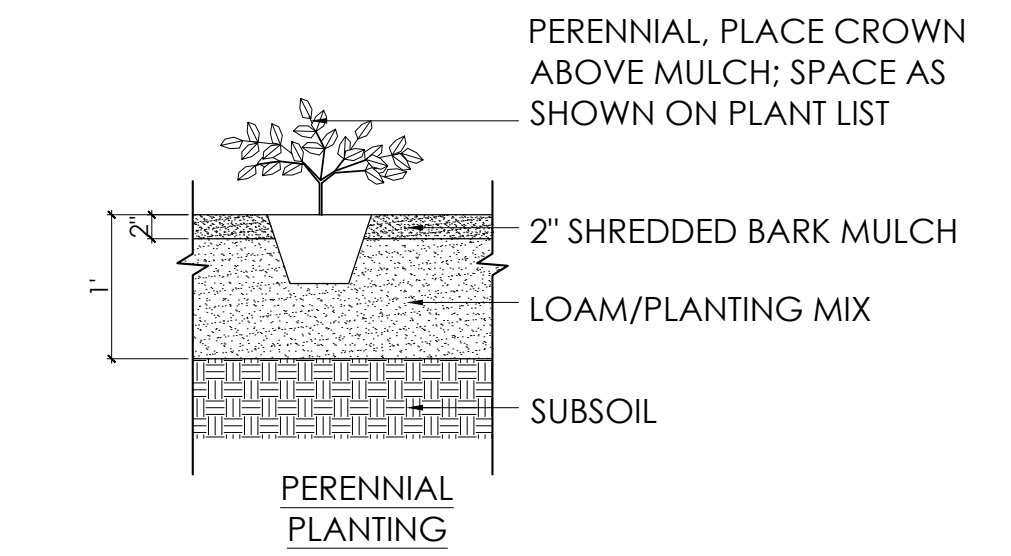
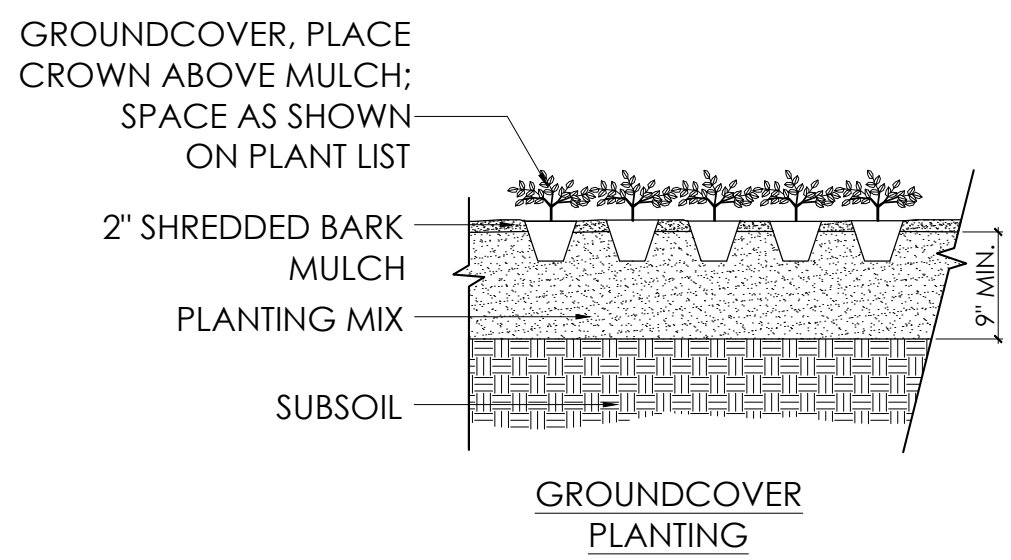
1	02-16-18	Review and Coordination
2		
3		
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5		
6		

L-4.1

TYPICAL PLANTING DETAILS

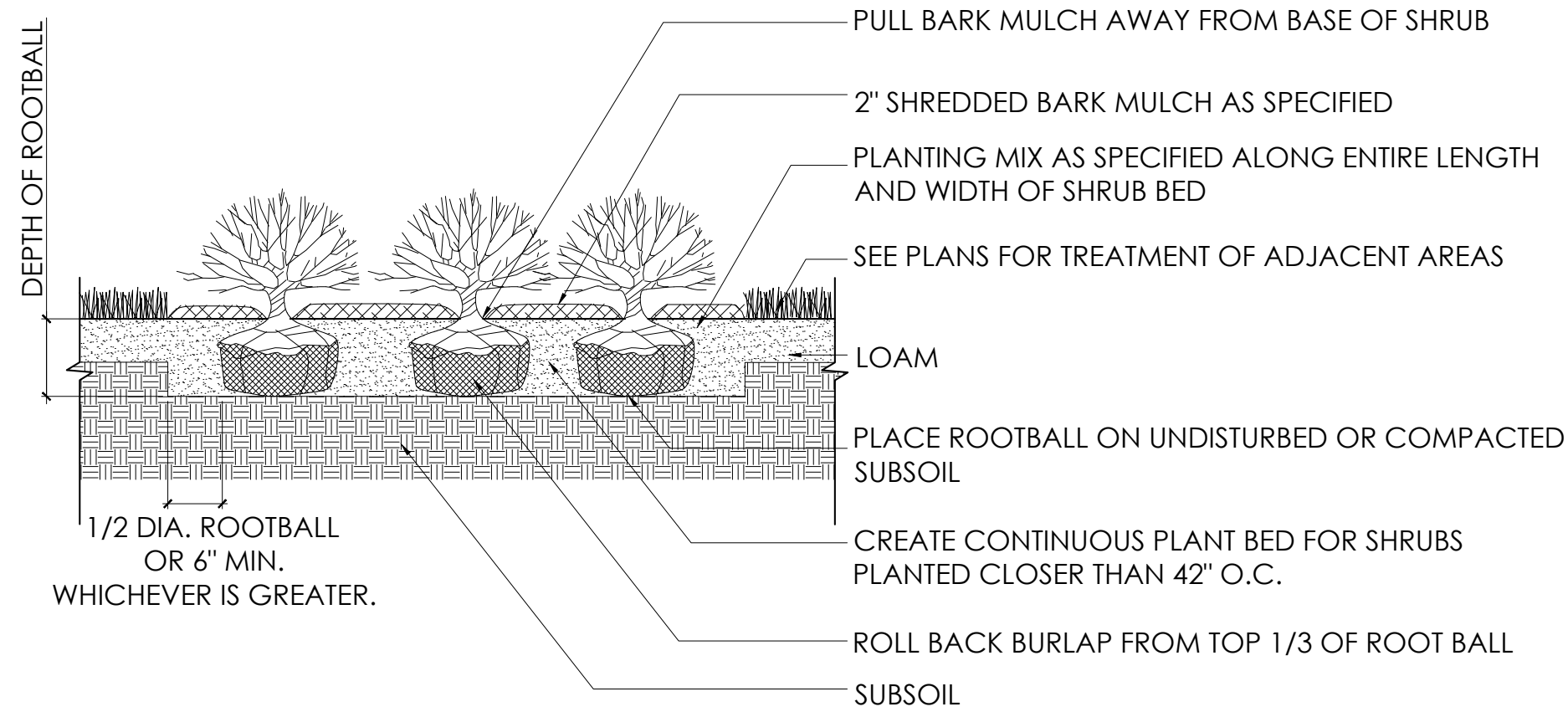


1 LAWN: SOD / SEED
SCALE: 1" = 1'-0"



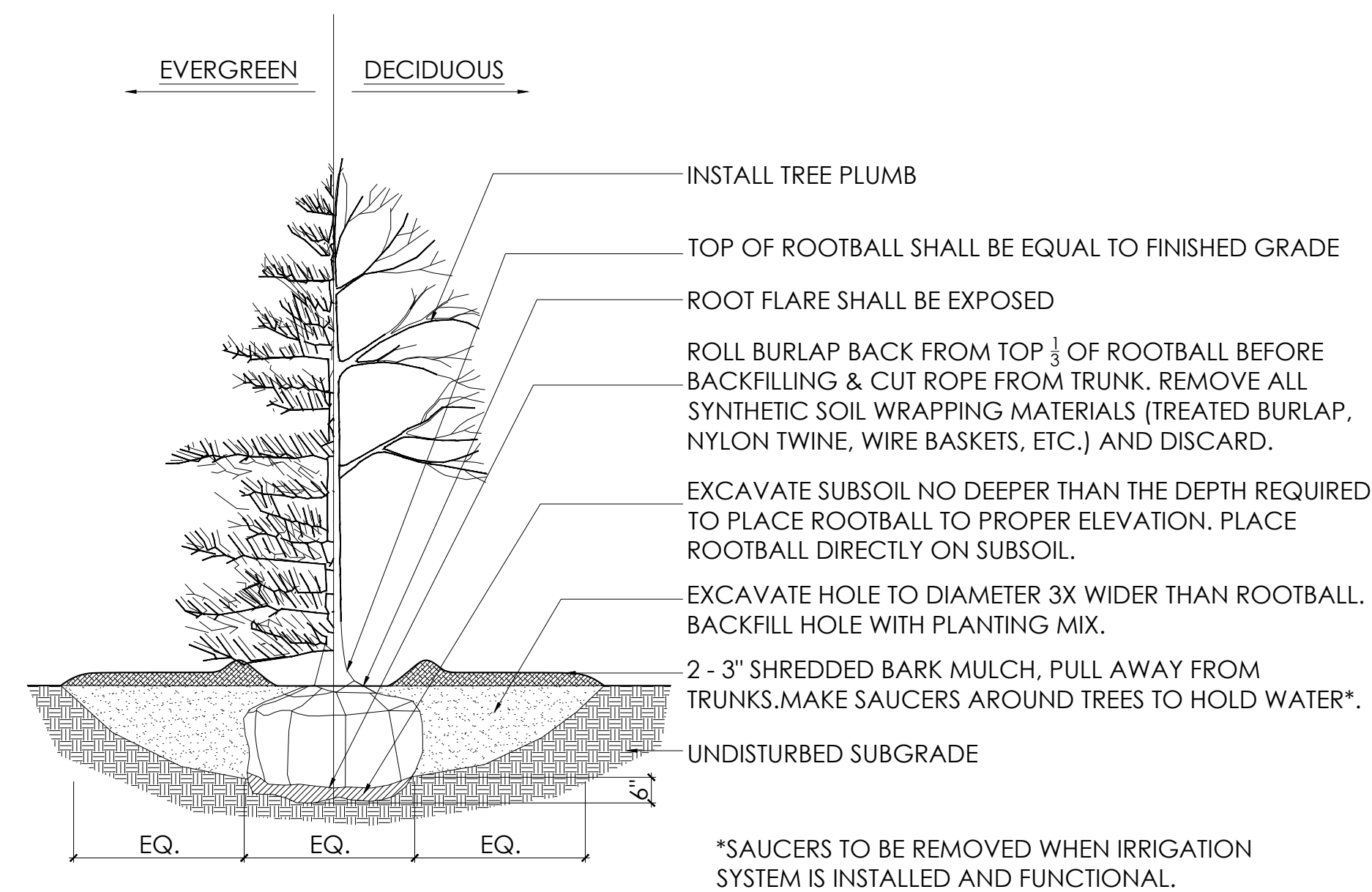
NOTE: SEE PLANTING PLAN FOR PLANT SPACING.
PLANTS TO BEAR SAME RELATIONSHIP TO
FINISHED GRADE AS TO PREVIOUS GRADE.

2 GROUNDCOVER / PERENNIAL PLANTING
SCALE: 3/4" = 1'-0"



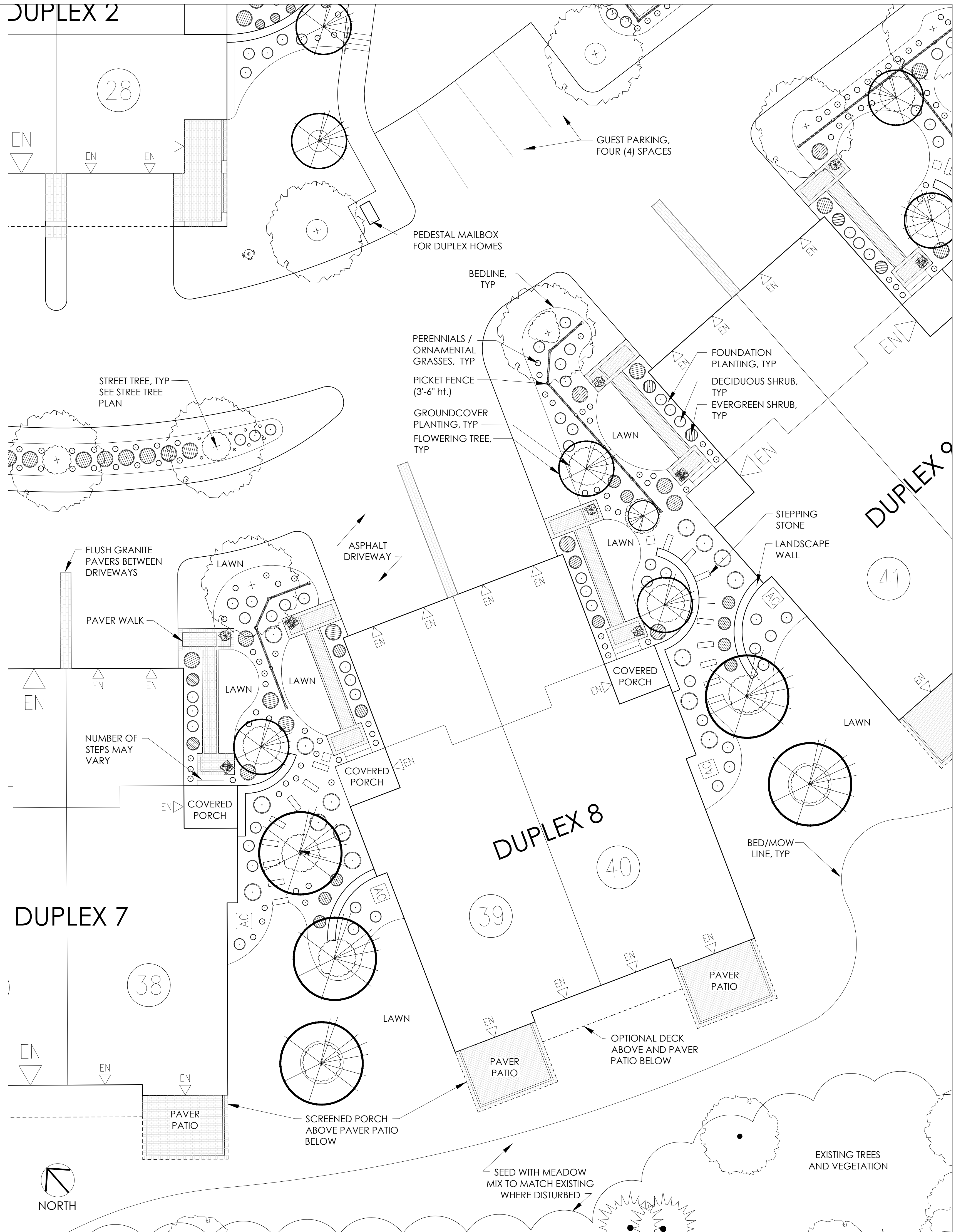
NOTE: SEE PLANTING PLAN FOR PLANT SPACING.
PLANTS TO BEAR SAME RELATIONSHIP TO
FINISHED GRADE AS TO PREVIOUS GRADE.

3 SHRUB PLANTING
SCALE: 3/8" = 1'-0"



NOTE: STAKED/GUYED PER AS DIRECTED OR
CONTRACTOR'S OPTION.

3 TREE PLANTING
SCALE: 3/8" = 1'-0"



ASSOCIATES
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Comprehensive Permit
Application
135 Great Plain Avenue
Wellesley, MA

Typical Landscape Plan
-- Duplexes 4-10 --
SCALE: 5' 0' 10'

ISSUED	1	02-02-18	Review and Coordination
2			
3			
4			
5			
6			

L-4.2

